

**CITY OF VESTAVIA HILLS
BOARD OF ZONING ADJUSTMENT
AGENDA
MARCH 15, 2018
6:00 P.M.**

Roll Call.

Approval of Minutes: February 15, 2018.

- (1) **BZA-0318-03** Charles Terry, Jr. w/ McConnell White & Terry is requesting a **Front Setback Variance** for the property located at **732 Montgomery Highway**. The purpose of this request is for a 22' front setback variance to reduce the setback to 8' in lieu of the required 30'. The property is owned by Charles Terry, Jr. w/ McConnell White & Terry and is zoned Vestavia Hills B-2.

- (2) **BZA-0318-04** Jamie & Haley Pursell is requesting a **Side Setback Variance** for the property located at **3100 Starview Cir**. The purpose of this request is for a 7' side setback variance to reduce the setback to 8' in lieu of the required 15'. The property is owned by Jamie & Haley Pursell and is zoned Vestavia Hills R-2.

Time of Adjournment.

CITY OF VESTAVIA HILLS
BOARD OF ZONING ADJUSTMENT
MINUTES

FEBRUARY 15, 2018

The Board of Zoning Adjustment of the City of Vestavia Hills met in regular session on this date at 6:00 PM. The roll was called with the following:

MEMBERS PRESENT: Rick Rice, Chairman
Loring Jones, III
Robert Gower
George Ponder
Jim Griffo

MEMBERS ABSENT: Tony Renta
Brendan Fuller

OTHER OFFICIALS PRESENT: Conrad Garrison, City Planner

APPROVAL OF MINUTES

The minutes of January 18, 2018 were presented for approval.

MOTION Motion to dispense with the reading of the minutes of January 18, 2018 as made by Mr. Jones and 2nd was by Mr. Gower. Motion as carried on a voice vote as follows:

Mr. Jones – yes
Mr. Gower – yes
Mr. Rice – yes
Motion carried.

Mr. Griffo – yes
Mr. Ponder – yes

VARIANCE FOR A FENCE IN THE FRONT YARD

BZA-1217-28 Bruce & Lorraine Nelson is requesting a **Variance For a Fence In the Front Yard** for the property located at **1015 Haviland Dr.** The property is owned by Bruce & Lorraine Nelson and is zoned Vestavia Hills R-3.

Mr. Garrison described the area where the property is located and read the review which included the purpose of the request, comprehensive plan and staff review. He stated the fence is already constructed.

Walter Scott, attorney for the applicant, stated the hardship was the configuration of the street and surrounding properties. Additionally, he stated *Farro v. Jefferson County* provided guidance for approval.

Mr. Jones asked if the fence is finished why the applicants only submitted pictures of the unfinished posts.

Mr. Ponder did not agree a hardship had been presented. Mr. Jones concurred.

Mr. Rice opened the floor for a public hearing.

Bruce Nelson, owner of the property, stated the fence was constructed to create peace between himself and his neighbor and his elderly mother.

Mr. Garrison stated that the mother has since passed and that the neighbor's house is being prepared to be on the market.

Mr. Rice closed the public hearing and opened the floor for a motion.

MOTION Motion to approve a fence in the front yard for the property at 1015 Haviland Dr. was made by Mr. Jones and 2nd was by Mr. Griffo. Motion was carried on a roll call vote as follows:

Mr. Jones – no

Mr. Griffo – no

Mr. Gower – no

Mr. Ponder – no

Mr. Rice – no

Motion failed due to a lack of hardship.

VARIANCE FOR A FENCE IN THE FRONT YARD

BZA-0218-02

Chappell Reeves is requesting a **Front Setback Variance** for the property located at **3317 Mountainside Rd.** The purpose of this request is for a 15' front setback variance to reduce the setback to 25' in lieu of the required 40'. The property is owned by Chappell Reeves and is zoned Vestavia Hills R-4.

Mr. Garrison described the area where the property is located and read the review which included the purpose of the request, comprehensive plan and staff review.

Chappell Reeves explained the request and stated the shape of the lot and the septic system causes a hardship.

Mr. Rice opened the floor for a public hearing. There being no one present in regard to the request, Mr. Rice closed the public hearing and opened the floor for a motion.

MOTION Motion to approve 15' front setback variance to reduce the setback to 25' in lieu of the required 40' for the property at 3317 Mountainside Rd. was made by Mr. Jones and 2nd was by Mr. Gower. Motion was carried on a roll call vote as follows:

Mr. Jones – yes
Mr. Gower – yes
Mr. Rice – yes
Motion carried.

Mr. Griffo – yes
Mr. Ponder – yes

Conrad Garrison
City Planner

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE BOARD OF ZONING ADJUSTMENT

Date: **MARCH 15, 2018**

- **CASE:** BZA-0318-03
- **REQUESTED ACTION:** 22' front setback variance to reduce the setback to 8' in lieu of the required 30'
- **ADDRESS/LOCATION:** 732 Montgomery Highway
- **APPLICANT/OWNER:** Charles Terry, Jr. w/ McConnell White & Terry
- **GENERAL DISCUSSION:** Applicants are seeking a variance to build a rear addition to the UPS Store. Lot has three frontages, including an unopened rear alley. Applicant contends this causes a hardship. The applicant's property is zoned Vestavia Hills B-2.
- **VESTAVIA HILLS COMPREHENSIVE PLAN:** This request is consistent with the Comprehensive Plan for commercial;
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** No problems noted.
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted.
 4. **Building Safety Review:** No problems noted.

CITY OF VESTAVIA HILLS BOARD OF ZONING ADJUSTMENT APPLICATION

~~The owner of the property understands that variances are granted based on the zoning code. Variances are not granted on any kind of covenants. Covenants are between property owners.~~

EXAMPLE: If you are asking for a variance from a building setback line and the building setback line is recorded on the plat and matches the Zoning Code, then the Board of Zoning Adjustment would only hear the case based on the Zoning Code requirements, not what is on the recorded plat. The recorded plat is a covenant between property owners of the subdivision. You must have signatures of every property owner on the recorded plat map to change the covenant portion of the setback. ~~The letter of signatures approving the amendment of the covenants must be filed with the Office of the Probate Court. Again, we can only give a variance based on the Zoning Code and that is the only portion of the building setback changes that the Board of Zoning Adjustment will vote on. Once filed with the Office of the Probate, please bring a copy of the recorded amendment to the Office of the City Clerk and we will place it in the file.~~

I. APPLICANT INFORMATION:

~~Owner of Property (This Section Must Be Completed)~~

Name: Charles Terry, Jr. w/ McConnell White and Terry

Address: 2925 Cahaba Road
Birmingham, AL 35223

Phone #: 205-870-0400 Other #: 205-266-0440

E-Mail: mwti@att.net

~~Representing Attorney/Other Agent~~

Name: Robert Thompson w/ Thompson Architecture, Inc.

Address: 2913n Cahaba Road
Birmingham, AL 35223

Phone #: 205-414-1272 Other #: 205-999-6461

E-Mail: rthompson@thompsonarchitecture.com

II. DESCRIPTION OF PROPER B-2

LOCATION: 732 Montgomery Highway, Vestavia hills, AL 35216

Street Address

Lot #1, Second Addition to Vestavia Hills Shopping Center

Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST (PLEASE FILL IN APPLICABLE STATEMENTS):

1. A request to vary:
_____ ' variance to reduce the lot width to _____ ' in lieu of the required _____ ' ;
_____ square foot variance to reduce the lot area to _____ square feet in lieu of the required _____ square feet.
22' ' front/side/rear (circle one) setback variance to reduce the setback to 8' ' in lieu of the required 30' ' ;
_____ ' front/side/rear (circle one) setback variance to reduce the setback to _____ ' in lieu of the required _____ ' ;
_____ ' front/side/rear (circle one) setback variance to reduce the setback to _____ ' in lieu of the required _____ ' ;
2. A decision of the Zoning Official which the applicant believes to be contrary to the meaning of the Zoning Ordinance.
3. An application to establish a use which must be approved by the Board of Zoning Adjustment (See Section _____).
4. A request for extension of non-conforming use (See Section _____).
5. Sign Code Variance (See Section _____).
6. Other - Explain (See Section _____).

IV. ZONING

Vestavia Hills Zoning for the subject property is B-2.

V. HARDSHIP

~~Describe those things which you feel justify the action requested. List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. (Use additional space on separate page if necessary).~~

There is a legally defined alley on the West side of the subject property (between the rear of the property and the Publix Shopping Center) that was never developed as an actual alley. Because this alley is legally defined, a 30' front setback has been assigned to this side of the subject property. This means that 3 sides of the property have a front setback. The hardship is that the property is assigned a front setback where there is no frontage to any actual road or alley, and it inhibits any expansion to the building.

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. I, also, understand that I am asking for a variance based on the Zoning Code only and not on any or all covenants that are on the subject property.

Cherry 2/12/18
Owner Signature/Date

Robert Thompson 2/12/18
Representing Agent (if any)/date

Given under my hand and seal
this 12th day of February, 2018.

Louise Carson
Notary Public

My commission expires August
day of 23, 2020.



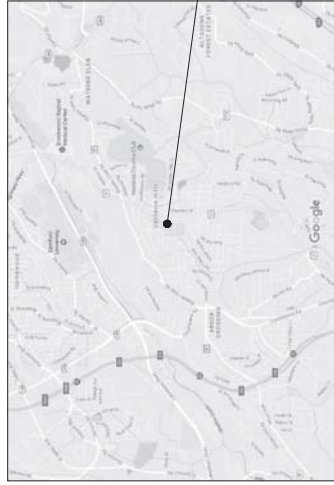
BZA0318-03//28-30-2-8-1
736 Montgomery Hwy.
Rear Setback Variance
McConnell White & Terry
B-2

ADDITION TO UPS STORE

732 MONTGOMERY HIGHWAY

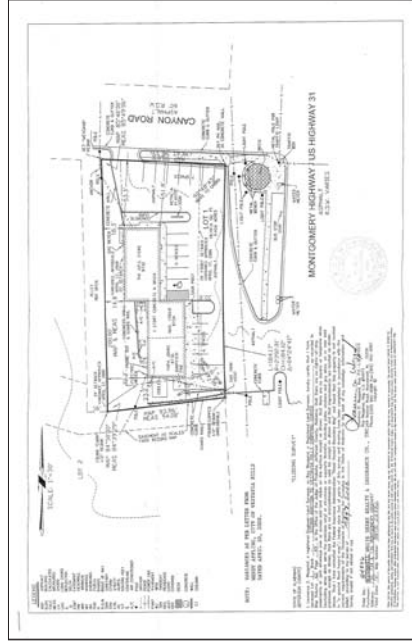
VESTAVIA, ALABAMA 35216

**ISSUED FOR CONSTRUCTION:
JUNE 1, 2017**



**PROJECT
LOCATION**

VICINITY MAP



SURVEY

GENERAL NOTES:

1. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. BRING DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CODES AS ENFORCED BY THE LOCAL CITY'S INSPECTION DEPARTMENT AND OTHER GOVERNING AUTHORITIES. PROJECT SHALL BE PERMITTED BEFORE CONSTRUCTION BEGINS. CONTRACTOR SHALL CALL FOR ALL INSPECTIONS AT APPROPRIATE TIMES TO INSURE THE OWNER CAN RECEIVE A CERTIFICATE OF OCCUPANCY IN A TIMELY MANNER.
3. ALL WORK SHALL BE PERFORMED WITH A HIGH STANDARD OF QUALITY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. CONTRACTOR SHALL PERFORM ALL WORK EQUAL TO OR EXCEEDING THE STANDARDS SET BY EACH INDIVIDUAL TRADE ASSOCIATION. WORK SHALL BE PERFORMED BY SKILLED CRAFTSMEN ONLY. EACH TRADE WILL BE DETERMINED TO HAVE ACCEPTED THE QUALITY OF WORK OF OTHERS UPON WHICH HIS WORK MUST BE APPLIED UNLESS THE GC AND ARCHITECT IS INFORMED TO THE CONTRARY AT LEAST 24 HOURS BEFORE COMMENCING WORK.
4. FOR INSTALLATION OF FACTORY MANUFACTURED ITEMS, PERFORM ALL WORK IN ACCORDANCE WITH EACH MANUFACTURER'S SPECIFIC INSTRUCTIONS. IF CONTRACT DOCUMENTS VARY FROM MANUFACTURERS RECOMMENDED INSTALLATION, NOTIFY THE ARCHITECT BEFORE PROCEEDING.

TABLE OF CONTENTS

A100	TITLE SHEET
A101	SITE, LANDSCAPING PLAN
A200	FLOOR PLAN, ROOF PLAN
A301	REFLECTED CEILING, ELECTRICAL PLAN
A400	EXTERIOR ELEVATIONS
A500	CROSS SECTION
S100	ABBREVIATIONS, NOTES, LEGENDS
S101	TYPICAL DETAILS
S200	FOUNDATION AND ROOF FRAMING PLAN
S300	SECTIONS

**ADDITION
TO
UPS
STORE**

**VESTAVIA HILLS,
ALABAMA**

DRAWING NAME
**FLOOR
PLAN**

COM	UPA-17007
DRAWN BY	RT
CHECKED	RT
APPROVED	RT
DATE	06-01-17

A100



**THOMPSON ARCHITECTURE
INCORPORATED**
3845 Oakdale Road, Birmingham, AL 35225
PHONE: 205.963.1111
WWW.THOMPSONARCHITECTURE.COM



**ISSUED FOR
CONSTRUCTION:
06-01-17**



THOMPSON ARCHITECTURE
ARCHITECTS

2015 Columbia Street, Suite 101, N. 30223
Tomball, Texas 77375
PH: (281) 351-1212
FAX: (281) 351-1212
WWW.THOMPSONARCHITECTS.COM



ISSUED FOR
CONSTRUCTION:
06-01-17

ADDITION
TO

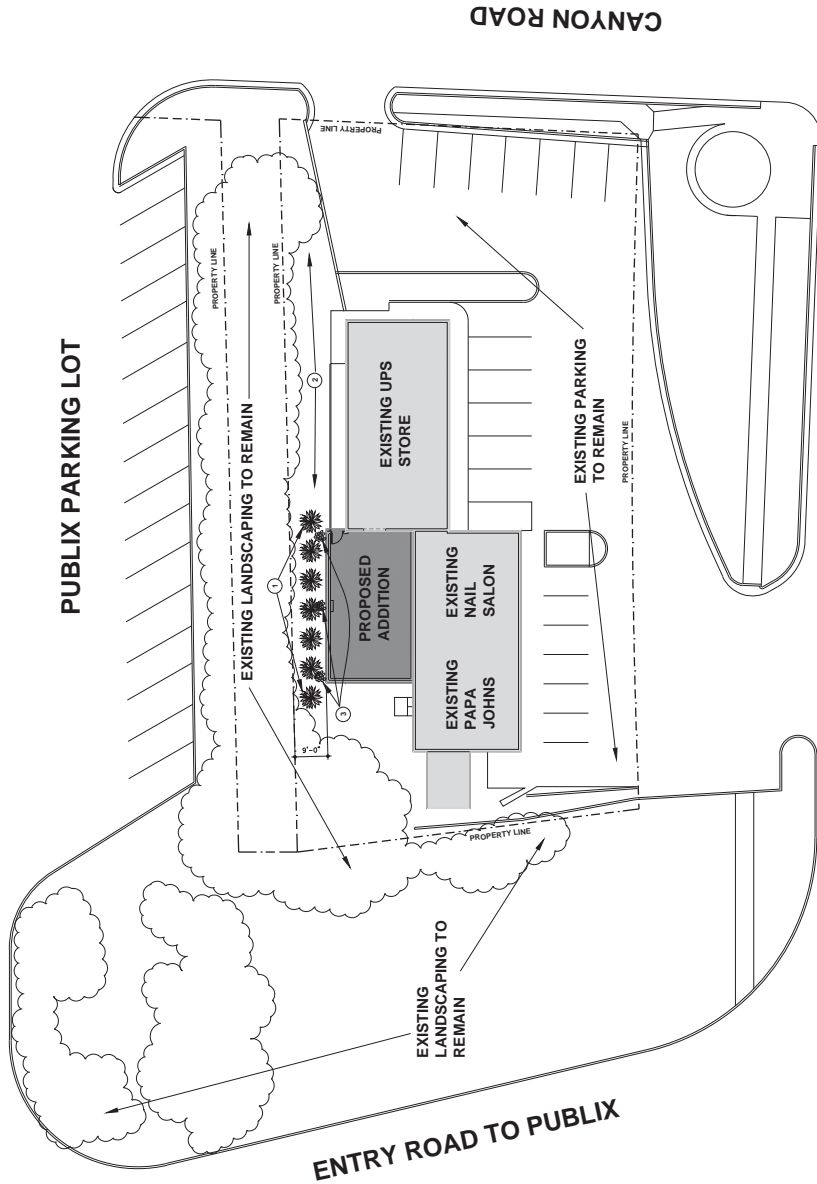
**UPS
STORE**

VESTAVIA HILLS,
ALABAMA

DRAWING NAME
**SITE, LANDSCAPING
PLAN**

CCM	UPN-17007
DRAWN BY	RT
CHECKED	RT
APPROVED	RT
DATE	06-01-17

A101



U.S. HIGHWAY 31

SITE, LANDSCAPING PLAN SCALE: 1/16" = 1'-0"

LEGEND

- 1 (1) JAPANESE CYPRESS - 6'-0" HIGH - 8'-0" O.C.
- 2 3" THICK PINE STRAW MULCH
- 3 8" SQUARE FEET OF RIVER ROCK ON GROUND AT BEND OF EACH TREE

NOTES

- 1. EXCAVATE HOLE FOR TREE ROOT BALLS TO 2X SIZE OF BALL.
- 2. BACK FILL HOLE WITH 1 PART SAND TO 1 PART PINE BARK FINES TO 3 PARTS TOPSOIL.
- 3. THICK PINE STRAW MULCH AROUND BASES OF EACH TREE.
- 4. 8" SQUARE FEET OF RIVER ROCK ON GROUND AT BEND OF EACH TREE.



THOMAS ARCHITECTURE
VESTAVIA HILLS

2815 Columbia Road
 Vestavia Hills, AL 35296
 Phone: 205.978.1234
 Email: thomas@thomasarchitecture.com



ISSUED FOR CONSTRUCTION:
06-01-17

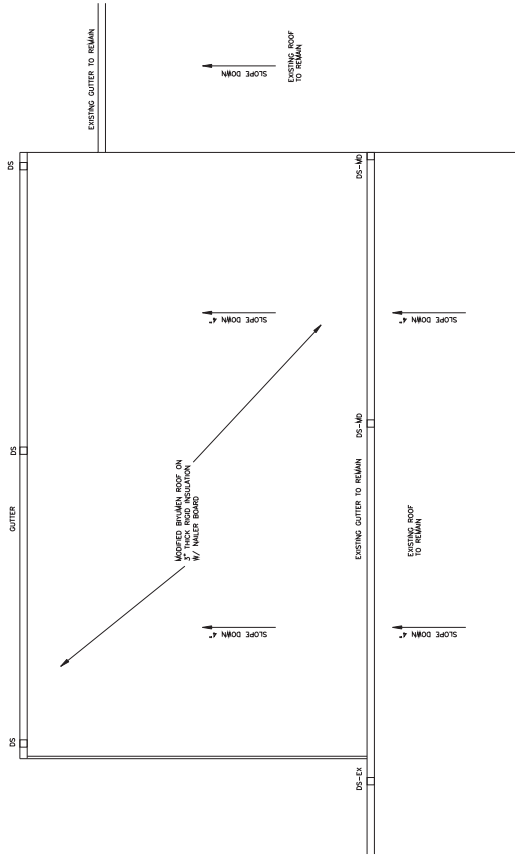
ROOF PLAN



SCALE: 1/4"=1'-0"

LEGEND

- DS-D 4" x 4" PREFINISHED DOWNSPOUT
- DS-E-D EXISTING DOWNSPOUT TO REMAIN
- DS-M-D NEWLY EXISTING DOWNSPOUT CHG AND ADD FLARE-OUT
- DS-W-D 50' WIDE LANS ON TOP OF NEW ROOF
- GUTTER 6" WIDE PREFINISHED METAL BUILDING GUTTER



FLOOR PLAN



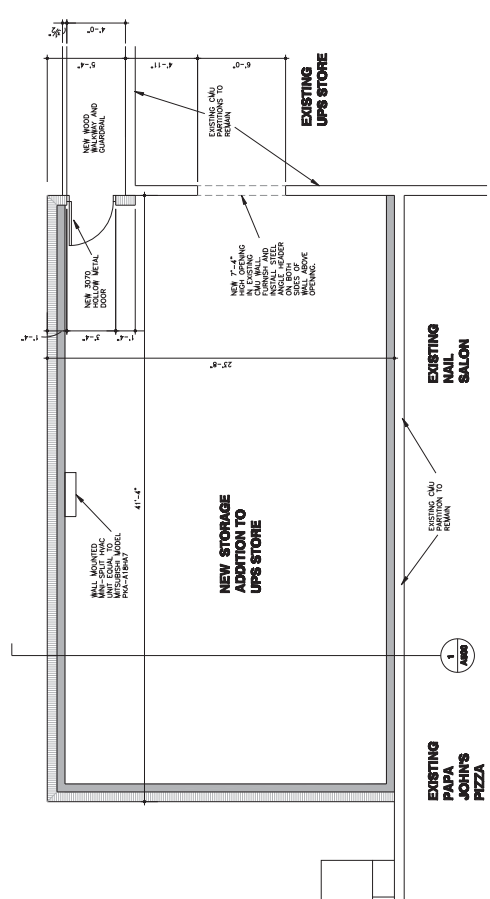
SCALE: 1/4"=1'-0"

NOTES

1. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK. ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.
2. DO NOT DEMOLISH OR CONSTRUCTION THAT WILL DAMAGE THE ANY EXISTING PARTS INCLUDING THIS WATER DRAINING CONSTRUCTION. CONSULT WITH THE ARCHITECT BEFORE PROCEEDING.
3. ALL NEW WALLS AND PARTITIONS SHALL BE CONSTRUCTED TO THE OUTSIDE FACE OF CHG AT INSIDE FACE OF EXISTING WALL. ALL EXTERIOR WALL DIMENSIONS ARE TO FACE OF CHG.

LEGEND

- EXISTING PARTITION TO REMAIN
- NEW EXTERIOR PARTITION, 6" THICK CMU WITH AWDED EXTERIOR. INTERIOR SHALL BE LAG WITH 1" INSULATION IN STUP SPACES.



NOTES

1. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK. ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.
2. DO NOT DEMOLISH OR CONSTRUCTION THAT WILL DAMAGE THE ANY EXISTING PARTS INCLUDING THIS WATER DRAINING CONSTRUCTION. CONSULT WITH THE ARCHITECT BEFORE PROCEEDING.
3. ALL NEW WALLS AND PARTITIONS SHALL BE CONSTRUCTED TO THE OUTSIDE FACE OF CHG AT INSIDE FACE OF EXISTING WALL. ALL EXTERIOR WALL DIMENSIONS ARE TO FACE OF CHG.

LEGEND

- EXISTING PARTITION TO REMAIN
- NEW EXTERIOR PARTITION, 6" THICK CMU WITH AWDED EXTERIOR. INTERIOR SHALL BE LAG WITH 1" INSULATION IN STUP SPACES.

ADDITION TO UPS STORE

VESTAVIA HILLS, ALABAMA

DRAWING NAME	UPV-17007
DRAWN BY	RT
CHECKED	RT
APPROVED	RT
DATE	06-01-17

FLOOR PLAN, ROOF PLAN

A200



**THOMPSON ARCHITECTURE
INCORPORATED**

2815 Columbia Road
Birmingham, AL 35226
Phone: 205.988.6127
Email: thompson@thompsonarch.com



**ISSUED FOR
CONSTRUCTION:**
06-01-17



ELECTRICAL PLAN

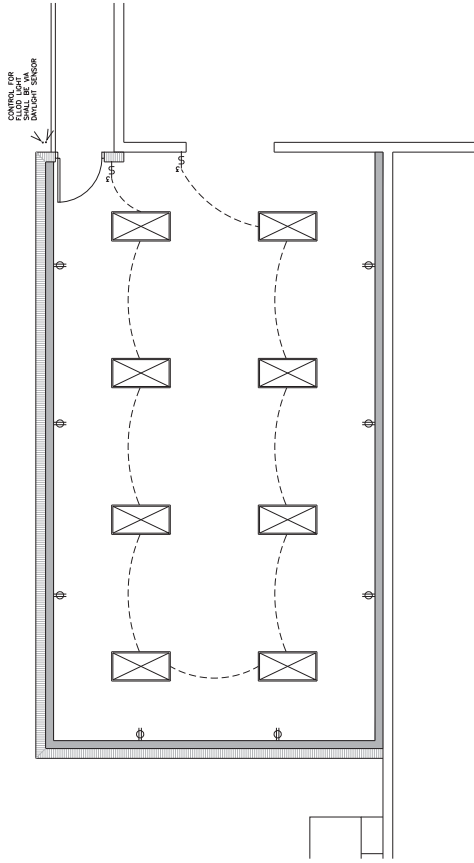
SCALE: 1/4"=1'-0"

NOTES

1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE ALABAMA ELECTRICAL CODE. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE ALABAMA ELECTRICAL CODE. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE ALABAMA ELECTRICAL CODE. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN.
2. PROVIDE POWER FOR NEW HVAC UNIT.
3. LIGHT SWITCHES SHALL BE EQUIPPED WITH OCCUPANCY SENSORS.

LEGEND

- 110V DUPLEX OUTLET, MOUNT HORIZONTALLY IN BASE MOUNTING UNLESS HEIGHT NOTED OTHERWISE
- 3 WAY SWITCH
- 3 WAY SWITCH
- 2x4 FLUORESCENT / LED (48"-H) LIGHT FIXTURE
- FLOOD TROUGH (SIGNAL TO PROGRESS 1000-20)
- WALL MOUNTED DRY / EMERGENCY LIGHT



**ADDITION
TO
UPS
STORE**

**VESTAVIA HILLS,
ALABAMA**

DRAWING NAME

**CEILING PLAN,
ELECTRICAL PLAN**

CCM	UPN-17007
DRAWN BY	RT
CHECKED	RT
APPROVED	RT
DATE	06-01-17

A201



REFLECTED CEILING PLAN

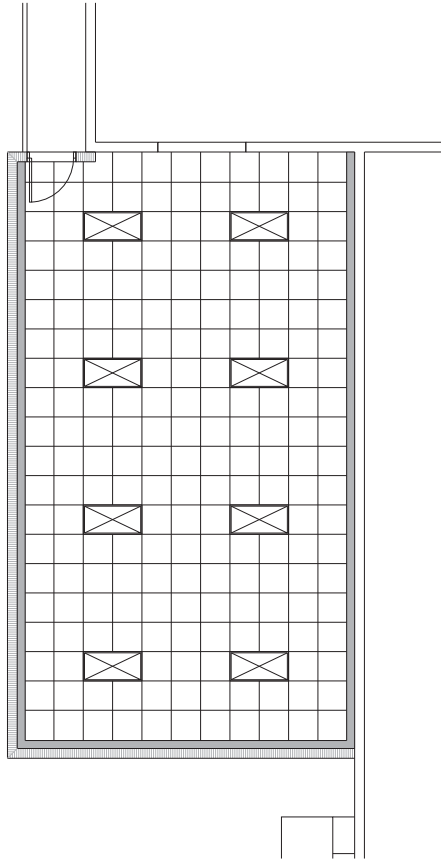
SCALE: 1/4"=1'-0"

NOTES

1. NEW 48"-H CEILING SHALL BE 8'-0" X 7'-0".

LEGEND

- NEW 2x4 FLUORESCENT / LED (48"-H) LIGHT FIXTURE
- NEW 2x4 FLUORESCENT / LED (48"-H) LIGHT FIXTURE
- NEW 2x4 FLUORESCENT / LED (48"-H) LIGHT FIXTURE
- 2x4 FLUORESCENT / LED (48"-H) LIGHT FIXTURE





THOMAS ARCHITECTURE
REGISTERED ARCHITECT

2815 Cahaba Road
 Birmingham, AL 35295
 Telephone 205.943.8272
 E-MAIL: thomas@thomasarchitecture.com



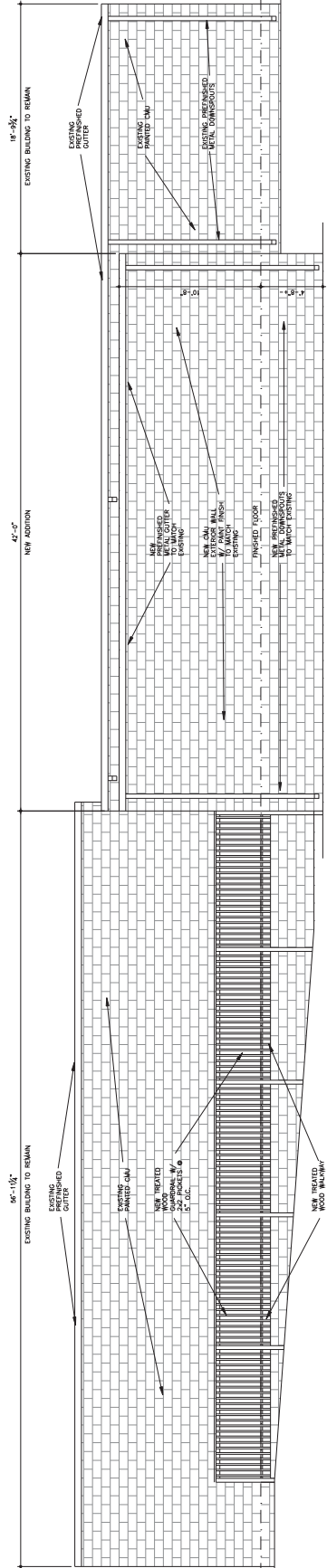
ISSUED FOR CONSTRUCTION:
06-01-17

**ADDITION TO
 UPS STORE
 VESTAVIA HILLS,
 ALABAMA**

DRAWING NAME
EXTERIOR ELEVATIONS

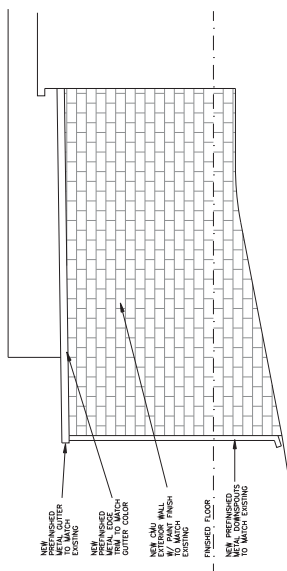
CCM	UPA-17007
DRAWN BY	RT
CHECKED	RT
APPROVED	RT
DATE	06-01-17

A400



WEST SIDE ELEVATION

SCALE: 1/4"=1'-0"



SOUTH SIDE ELEVATION

SCALE: 1/4"=1'-0"



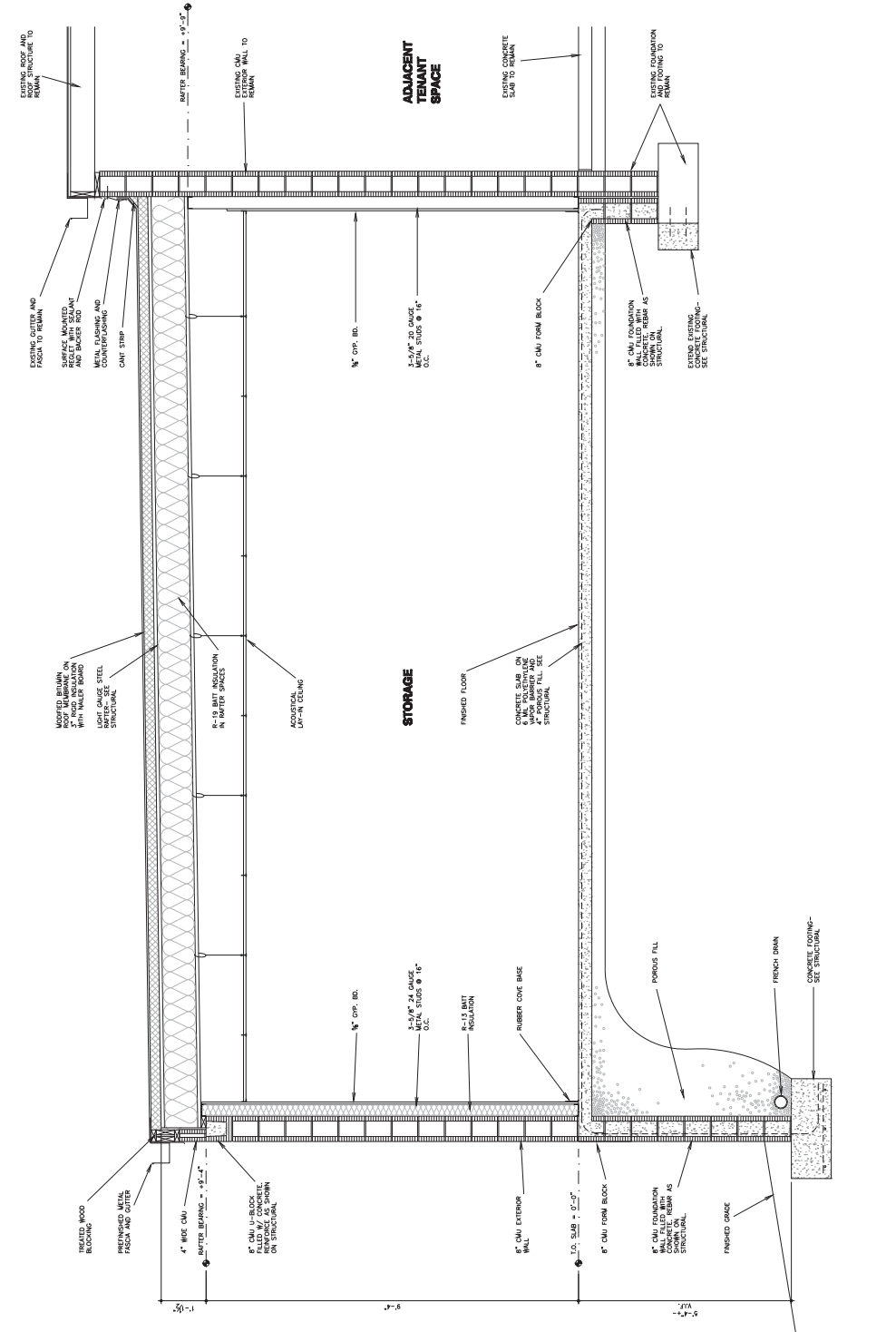
ISSUED FOR CONSTRUCTION:
08-01-17

**ADDITION TO
UPS STORE
VESTAVIA HILLS,
ALABAMA**

DRAWING NAME
CROSS SECTION

COM	UPV-17007
DRAWN BY	RT
CHECKED	RT
APPROVED	RT
DATE	08-01-17

A500



SECTION 1 SCALE: 3/4" = 1'-0"



ISSUED FOR CONSTRUCTION:
06-01-17

ADDITION TO

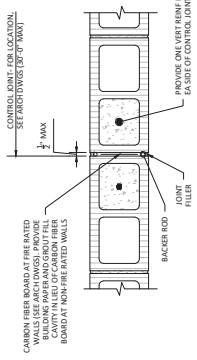
UPS STORE

VESTAVIA HILLS, ALABAMA

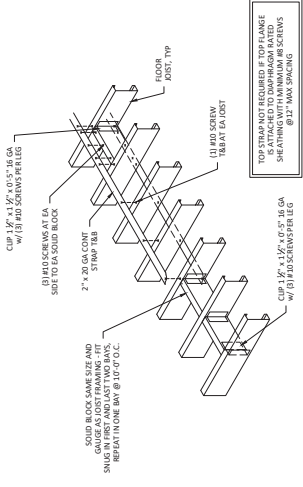
DRAWING NAME
TYPICAL DETAILS

DATE	06-01-17
APPROVED	MAK
CHECKED	MAK
DRAWN BY	MAK
UPP-17027	

S101

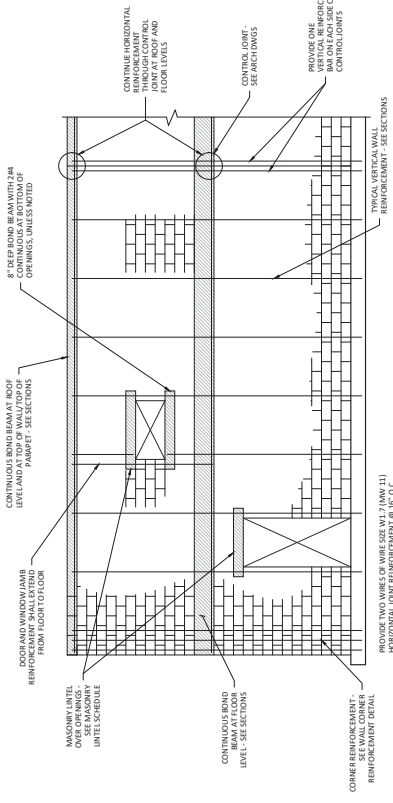


CMU CONTROL JOINT DETAIL
 TYPICAL

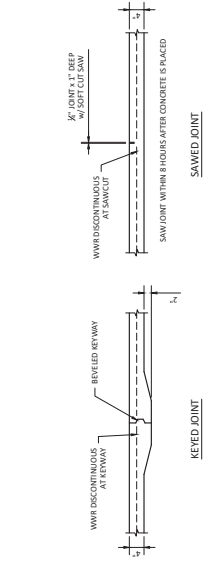


BRIDGING SCHEDULE	
SPANS	REQUIRED
14 TO 20'	TWO ROWS @ 1/4\"/>
20 TO 26'	THREE ROWS @ QUARTER POINTS

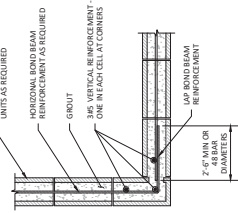
COLD FORMED JOIST BRIDGING DETAIL
 TYPICAL



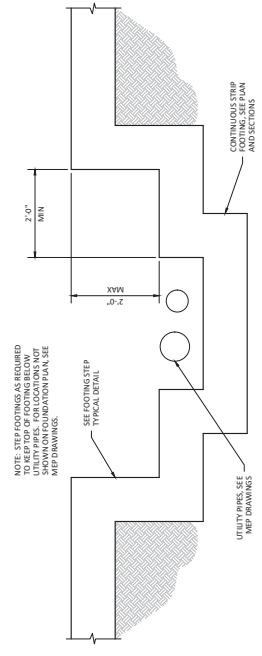
MASONRY WALL REINFORCEMENT LAYOUT
 TYPICAL



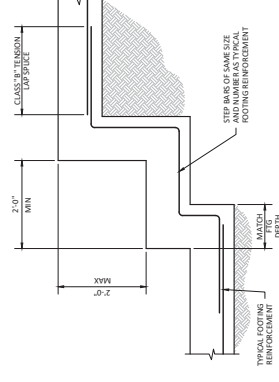
**4\"/>
 TYPICAL**



MASONRY WALL CORNER REINFORCEMENT
 TYPICAL



FOUNDATION WALL AT PIPING DETAIL
 TYPICAL



FOOTING STEP DETAIL
 TYPICAL



ISSUED FOR CONSTRUCTION:
06-01-17

ADDITION TO
UPS STORE
VESTAVIA HILLS, ALABAMA

DRAWING NAME
FOUNDATION & GROUND FLOOR PLAN

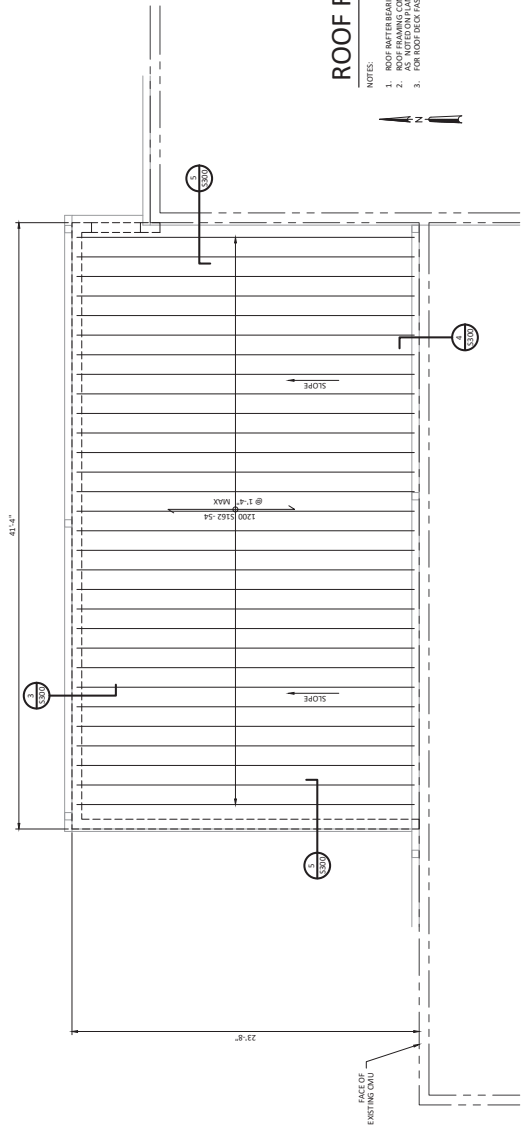
DATE	06-01-17
APPROVED	MAK
CHECKED	MAK
DRAWN BY	UPP-17027

S200



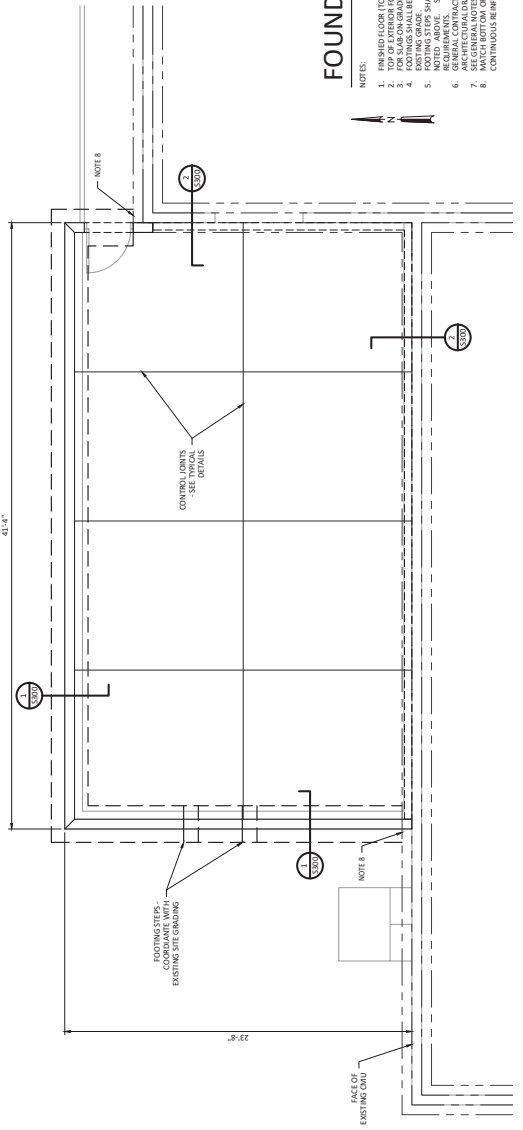
ROOF FRAMING PLAN

- NOTES: 1/4" = 1'-0"
1. ROOF BATTER BEARING (RATE HEIGHT) VARIES. SEE ARCHITECTURAL DRAWINGS.
 2. ROOF FRAMING CONSTRUCTION: "X" PLYWOOD DECKING ON COLD FORMED STEEL BATTER FRAMING.
 3. FOR ROOF DECK FASTENING INFORMATION, SEE GENERAL NOTES.



FOUNDATION / FIRST FLOOR PLAN

- NOTES: 1/4" = 1'-0"
1. FINISHED FLOOR (TOP OF SLAB) REFERENCE ELEVATION = 6.07' (MATCH EXISTING).
 2. FOUNDATION SHALL BE CONSTRUCTED TO REMAIN ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
 3. FOR SLAB ON GRADE CONSTRUCTION, SEE GENERAL NOTES.
 4. EXISTING GRADE SHALL BE MAINTAINED UNLESS NOTED OTHERWISE.
 5. EXISTING GRADE SHALL ALSO BE MAINTAINED UNLESS NOTED OTHERWISE.
 6. MATCH BOTTOM OF FOOTING ELEVATION WITH EXISTING FOOTING ELEVATION. DRILL AND GROUT CONTINUOUS REIN INTO EXISTING FOOTINGS WITH HIT HY-200 ADHESIVE SYSTEM W/ 6" X 1" REBAR.
 7. ARCHITECTURAL DRAWINGS SHALL BE USED TO DETERMINE EXISTING CONDITIONS.
 8. ARCHITECTURAL DRAWINGS SHALL BE USED TO DETERMINE EXISTING CONDITIONS.





ISSUED FOR CONSTRUCTION:
06-01-17

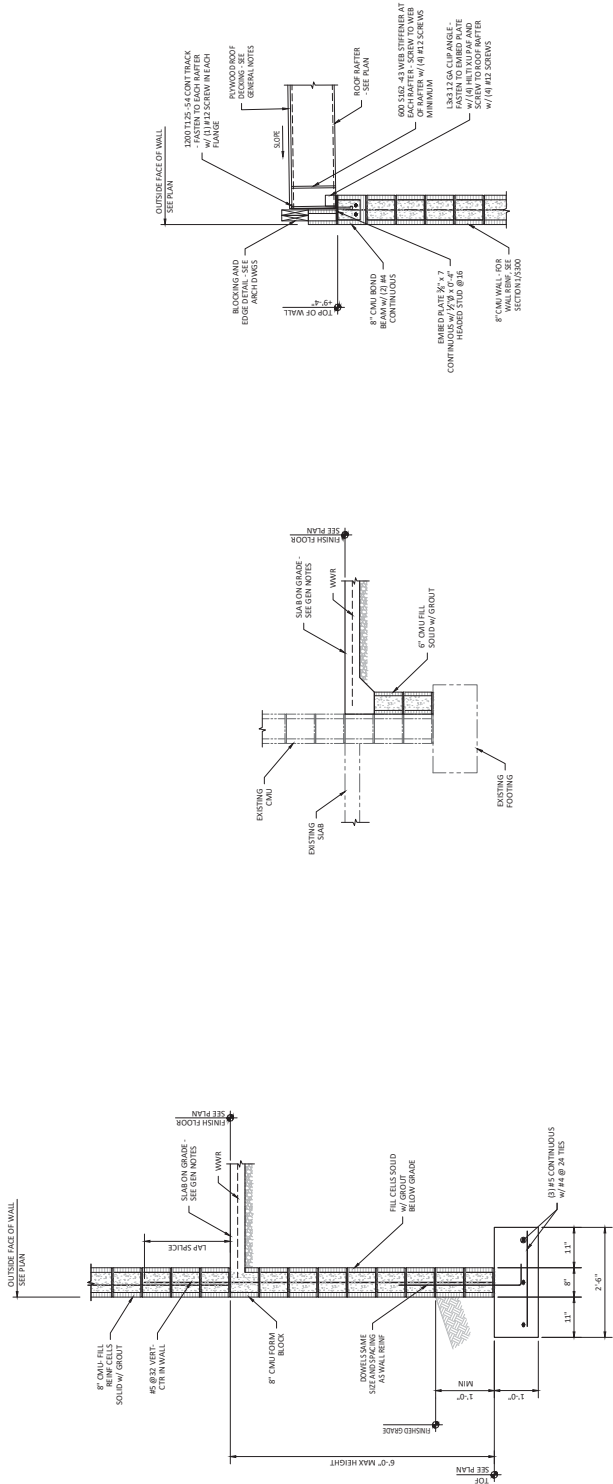


S300

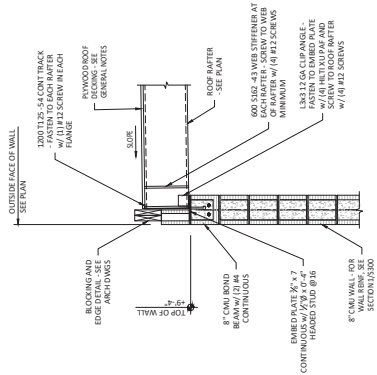
ADDITION TO UPS STORE
VESTAVIA HILLS, ALABAMA

SECTIONS

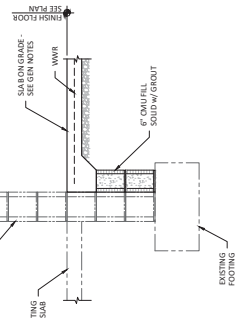
DATE	06-01-17
APPROVED	MAK
CHECKED	MAK
DRAWN BY	UPP-17927
DATE	UPP-17927



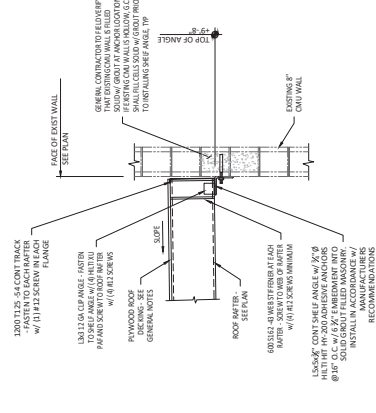
1 SECTION
3/4" = 1'-0"



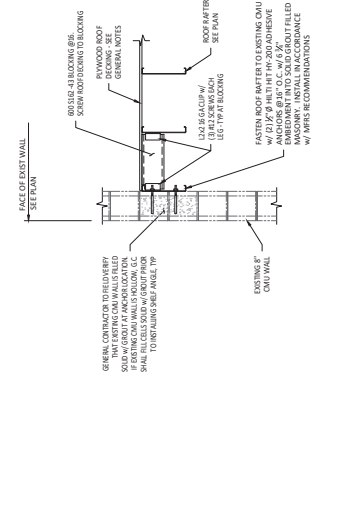
2 SECTION
3/4" = 1'-0"



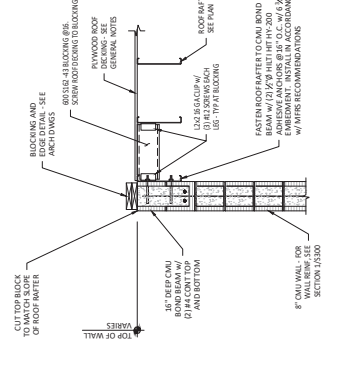
3 SECTION
3/4" = 1'-0"



4 SECTION
3/4" = 1'-0"



5 SECTION
3/4" = 1'-0"



6 SECTION
3/4" = 1'-0"

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE BOARD OF ZONING ADJUSTMENT

Date: **MARCH 15, 2018**

- **CASE:** BZA-0318-04
- **REQUESTED ACTION:** 7' side setback variance to reduce the setback to 8' in lieu of the required 15'
- **ADDRESS/LOCATION:** 3100 Starview Cir.
- **APPLICANT/OWNER:** Jamie & Haley Pursell
- **GENERAL DISCUSSION:** Applicants are seeking a variance to build an attached carport addition. Applicant contends the shape of the lot causes a hardship. The applicant's property is zoned Vestavia Hills R-2.
- **CAHABA HEIGHTS COMMUNITY PLAN:** This request is consistent with the Community Plan for residential.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** No problems noted.
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted.
 4. **Building Safety Review:** No problems noted.

CITY OF VESTAVIA HILLS BOARD OF ZONING ADJUSTMENT APPLICATION

The owner of the property understands that variances are granted based on the zoning code. Variances are not granted on any kind of covenants. Covenants are between property owners.

EXAMPLE: If you are asking for a variance from a building setback line and the building setback line is recorded on the plat and matches the Zoning Code, then the Board of Zoning Adjustment would only hear the case based on the Zoning Code requirements, not what is on the recorded plat. The recorded plat is a covenant between property owners of the subdivision. You must have signatures of every property owner on the recorded plat map to change the covenant portion of the setback. The letter of signatures approving the amendment of the covenants must be filed with the Office of the Probate Court. Again, we can only give a variance based on the Zoning Code and that is the only portion of the building setback changes that the Board of Zoning Adjustment will vote on. Once filed with the Office of the Probate, please bring a copy of the recorded amendment to the Office of the City Clerk and we will place it in the file.

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: James T. Pursell, III + Haley Pursell

Address: 3100 Starview Circle

Phone #: 205-337-1765 Other #: 205-337-1764

E-Mail: halopursell@gmail.com

Representing Attorney/Other Agent

Name: _____

Address: _____

Phone #: _____ Other #: _____

E-Mail: _____

II. DESCRIPTION OF PROPERTY

LOCATION: 3100 Starview Circle, Vestavia, AL 35243
Street Address

Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST (PLEASE FILL IN APPLICABLE STATEMENTS):

1. A request to vary:
 - variance to reduce the lot width to in lieu of the required ;
 - square foot variance to reduce the lot area to square feet in lieu of the required square feet.
 - 7 front/side/rear (circle one) setback variance to reduce the setback to 8 in lieu of the required 15;
 - front/side/rear (circle one) setback variance to reduce the setback to in lieu of the required ;
 - front/side/rear (circle one) setback variance to reduce the setback to in lieu of the required ;
2. A decision of the Zoning Official which the applicant believes to be contrary to the meaning of the Zoning Ordinance.
3. An application to establish a use which must be approved by the Board of Zoning Adjustment (See Section).
4. A request for extension of non-conforming use (See Section).
5. Sign Code Variance (See Section).
6. Other - Explain (See Section).

IV. ZONING

Vestavia Hills Zoning for the subject property is R-2


V. HARDSHIP

Describe those things which you feel justify the action requested. List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. (Use additional space on separate page if necessary).

Wish to cover the existing improved driveway surface w/ roof. We have business & personal equipment out in our yard & driveway that need to be put away for visual & security improvements. We turned our garage into a living space for safety after the 2011 tornadoes & we have no place to store outside tools, garden equipment, mowers, weed eaters, blowers, etc. now. Please consider allowing us to further improve our home for our benefit and for our neighbors' pleasure.

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. I, also, understand that I am asking for a variance based on the Zoning Code only and not on any or all covenants that are on the subject property.



Owner: Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this 9 day of February, 20 18.



Notary Public

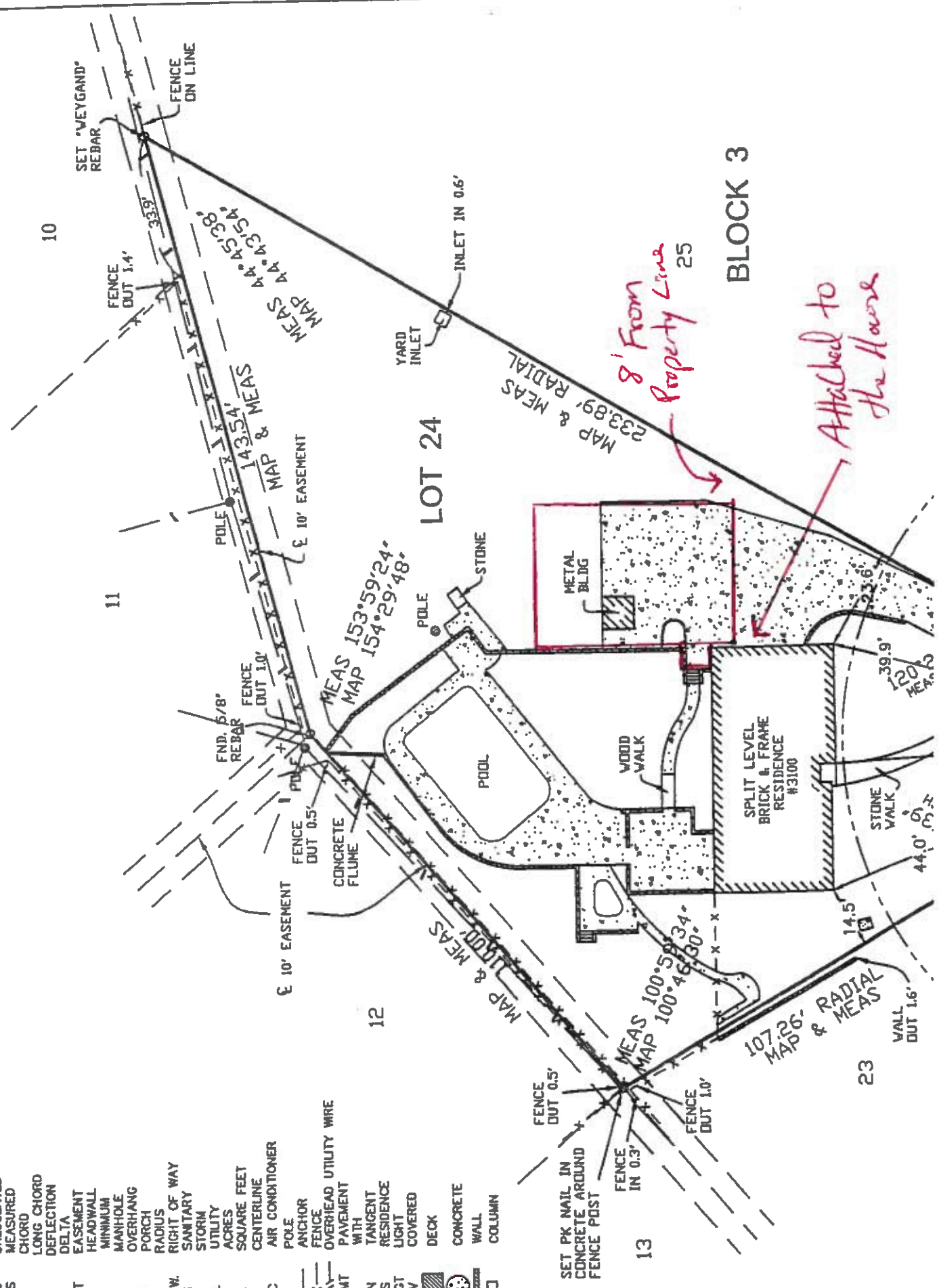
My commission expires May 15, 2018
day of _____, 20_____.



Pursell

LEGEND

- ASP ASPHALT
- BLDG BUILDING
- CALC CALCULATED
- MEAS MEASURED
- CH CHORD
- LNG LONG CHORD
- d DEFLECTION
- Δ DELTA
- ESMT EASEMENT
- HW HEADWALL
- MIN MINIMUM
- MH MANHOLE
- OH OVERHANG
- POR PORCH
- R RADIUS
- R.O.W. RIGHT OF WAY
- SAN SANITARY
- STM STORM
- UTIL UTILITY
- AC ACRES
- S.F. SQUARE FEET
- CL CENTERLINE
- A/C AIR CONDITIONER
- ⊙ POLE
- ⊙ ANCHOR
- X- FENCE
- OVERHEAD UTILITY WIRE
- P/WT PAVEMENT
- W/ WITH
- TAN TANGENT
- RES RESIDENCE
- GLGT LIGHT
- COV COVERED
- DECK DECK
- CONCRETE CONCRETE
- WALL WALL
- COLUMN COLUMN



BLOCK 3

LOT 24

10

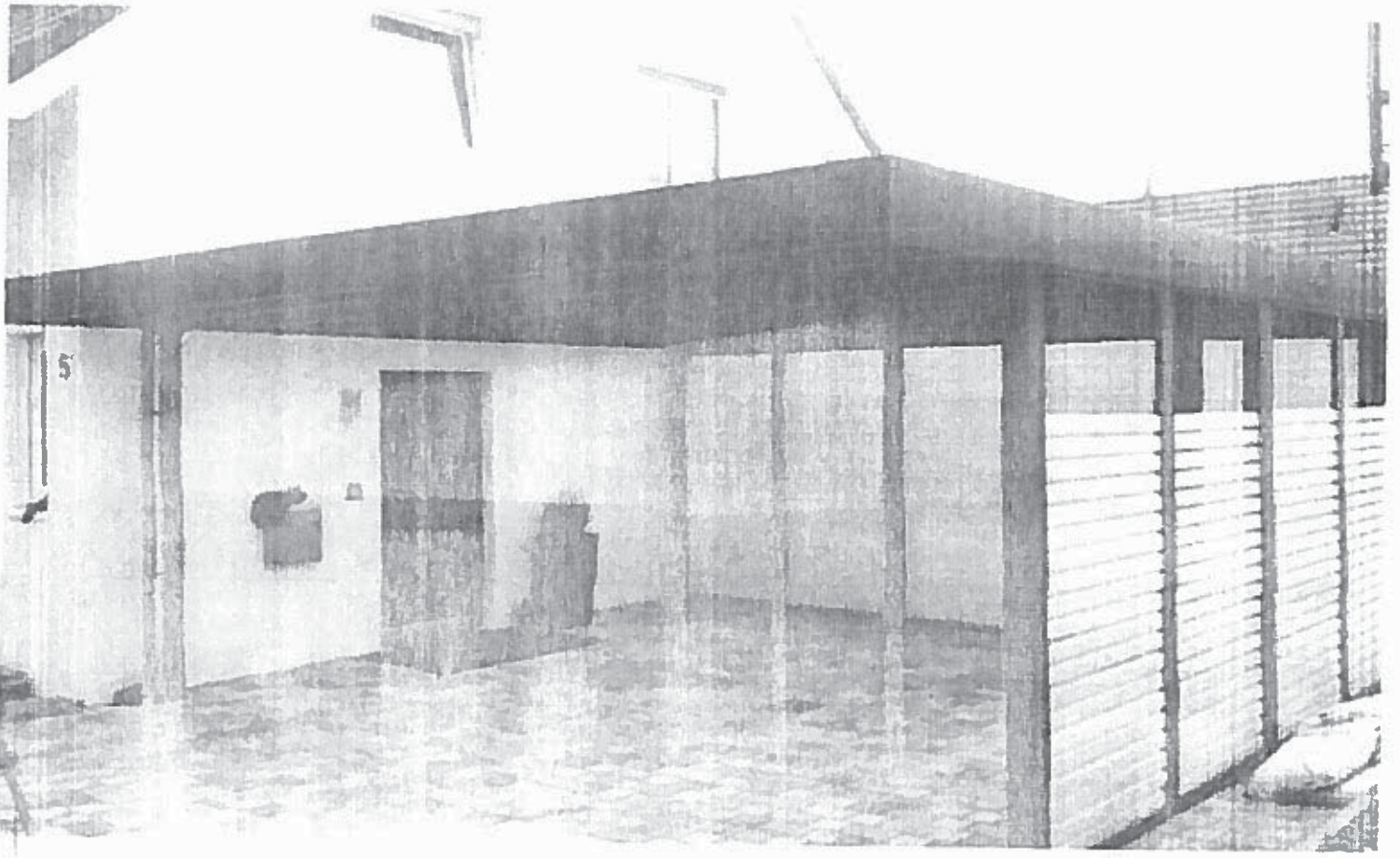
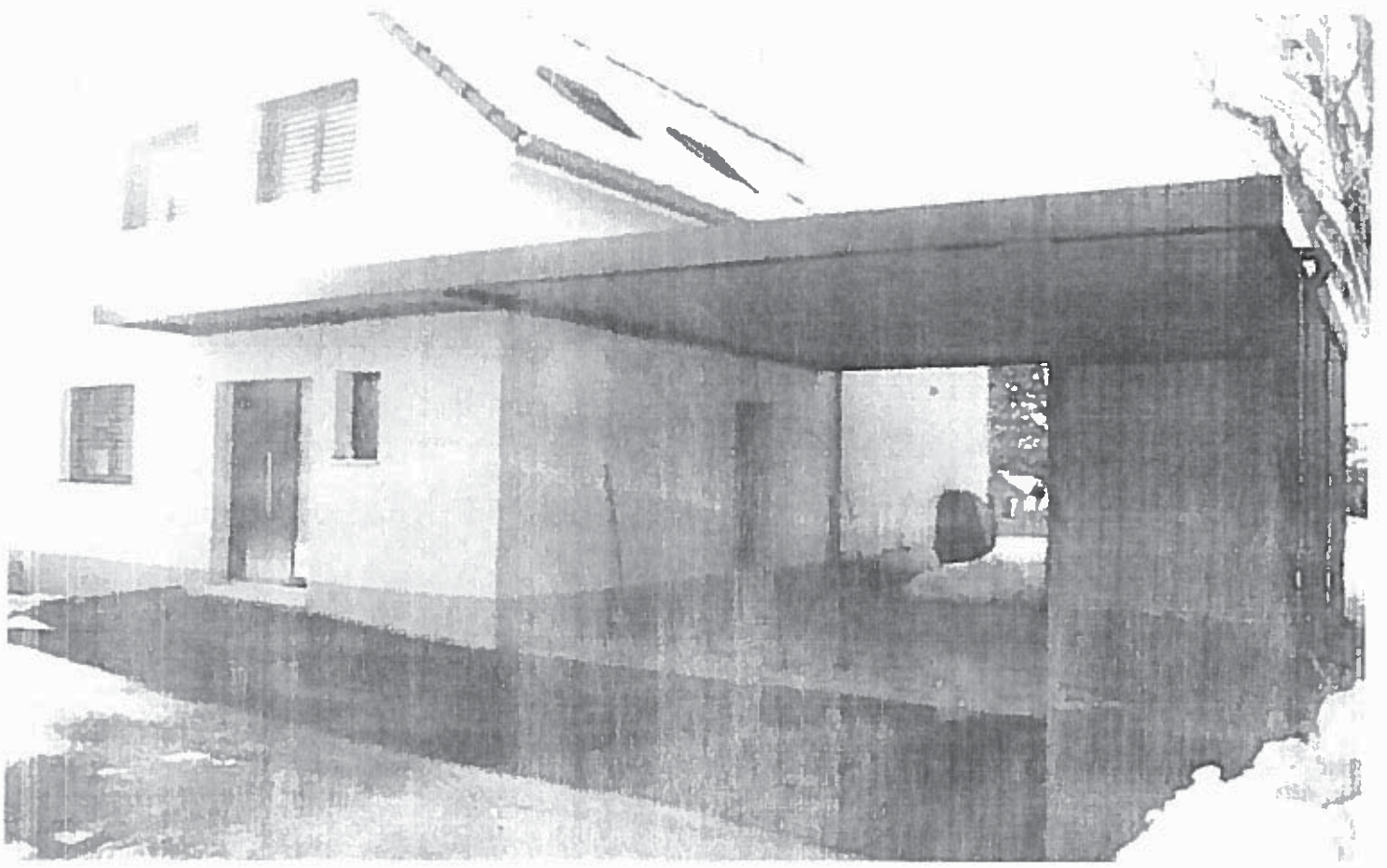
11

12

13

23

25



Style / Design