

**CITY OF VESTAVIA HILLS  
DESIGN REVIEW BOARD  
AGENDA  
MARCH 1, 2018  
6:00 P.M.**

Roll Call.

Approval of minutes – January 4, 2018

- (1) **D-1117-15** TDG Vestavia, LLC is requesting **Landscape Review & Final Review of Materials** for the property located at **1942 Merryvale Rd.** The purpose of this request is renovation of an existing building. The property is owned by TDG Vestavia, LLC and is zoned Vestavia Hills R-5.
- (2) **D-0318-02** Aldon Dental, LLC is requesting **Landscape Review, Architectural Review, & Final Review of Materials** for the property located at **4221 Dolly Ridge Rd.** The purpose of this request is for a new building. The property is owned by Aldon Dental, LLC and is zoned Vestavia Hills B-3.
- (2) **D-0318-03** The Barber Companies is requesting **Landscape Review** for the property located at **1069 Montgomery Hwy.** The purpose of this request is for an update of an existing landscaping plan. The property is owned by The Barber Companies and is zoned Vestavia Hills B-2.

Time of Adjournment.

**CITY OF VESTAVIA HILLS**  
**DESIGN REVIEW BOARD**  
**MINUTES**

**JANUARY 4, 2018**

The Vestavia Hills Landscape and Architectural Control Board met in a regular session on this date at 6:00 PM. The roll was called with the following:

**MEMBERS PRESENT:** Robert Thompson, Chairman  
David Giddens  
Mae Coshatt  
Chris Pugh  
Joe Ellis  
Rip Weaver

**MEMBERS ABSENT:** Jeff Slaton

**OTHER OFFICIALS PRESENT:** Conrad Garrison, City Planner

**APPROVAL OF MINUTES**

The minutes for December 7, 2017 were presented for approval.

**MOTION** Motion to dispense with the reading of the minutes for December 7, 2017 was made by Mr. Giddens and 2<sup>nd</sup> was by Mrs. Coshatt. Motion as carried on a voice vote as follows:

Mrs. Coshatt – yes	Mr. Giddens – yes
Mr. Ellis – yes	Mr. Weaver – yes
Mr. Pugh – yes	Mr. Thompson – yes
Motion carries.	

**Architectural Review & Final Review of Materials**

**D-0118-01** Regions Bank is requesting **Architectural Review and Final Review of Materials** for the property located at **529 Montgomery Hwy.** The purpose of this request is for renovation of an existing building. The property is owned by Regions Bank and is zoned Vestavia Hills B-2.

Mr. Garrison described the background of the request.

Anthony Oliver was present to present renderings and materials.

The Board agreed with the presentation but asked that the new landscaping plan be submitted.

**MOTION** Motion to approve Architectural Review and Final Review of Materials with the condition that a new landscaping plan be submitted for the property located at 529 Montgomery Hwy. was made by Mr. Ellis. Second was made by Mr. Weaver. Voice vote as follows:

Mrs. Coshatt – yes

Mr. Ellis – yes

Mr. Pugh – yes

Motion carries.

Mr. Giddens – yes

Mr. Weaver – yes

Mr. Thompson – yes

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Conrad Garrison  
City Planner

## CITY OF VESTAVIA HILLS DESIGN REVIEW BOARD PREPARATION CHECKLIST

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### Section I. Instructions, Information and Checklist:

Below is a checklist detailing the actions in the processing of the above referenced application before the Vestavia Hills Design Review Board. These are outlined in detail in the Vestavia Hills Zoning Code (approved December 13, 2010, as amended) and Design Review Regulations (approved March 10, 2011).

The Design Review Board meets the 1<sup>st</sup> Thursday of every month. Application dates vary and must be received in the Office on or before these dates. Be sure to submit the correct application for your request. **Please note, these application dates are prescribed by law and cannot be amended by staff. There are no exceptions.** Application deadlines are outlined as follows:

- Landscape Approval Requests – 15 days prior to the meeting
- Architectural Approval Requests – 15 days prior to the meeting

Below is a checklist of all information needed in order to process your request? This information must be supplied in its entirety or the item will not be properly filed and will (a) not be accepted by the Office; or (b) not be presented to the Board. Acceptance by the Clerk does not constitute acceptance of complete and proper filing. **Please submit this checklist with your application.**

Applicant must submit all documentation designed by an “\*”. The remaining information is supplied by staff.

*	\$50 Application Fee
*	Application (original) completed with owner’s signature notarized and representing agent designated (if applicable)
*	One (1) vicinity sketch
*	Three (3) full size sets <b><i>folded</i></b> to a size of 8 ½” X 11” and One (1) electronic copy (.pdf format) burned on c.d. Complete sets including but not limited to: application, color rendering, drawings, renderings, survey, etc. <b><u>ALL SETS MUST INCLUDE A COPY OF THE APPLICATION. SETS ARE TO BE PUT TOGETHER IN THE MANNER YOU WOULD LIKE THE BOARD TO RECEIVE THEM.</u></b>
*	If applicable, Design Review Board Ordinance Checklist
*	Materials need to be <b><u>brought to the scheduled hearing</u></b> are including but not limited to the following samples: brick, mortar, siding, paint, stain, glass, aluminum, etc. Assign Case Number

-	Label File contents and folder
-	Insert Staff Feedback form in folder
-	Deposit application fee
+	Obtain Staff feedback from Engineer
+	Obtain Staff feedback from Fire Marshal
+	Obtain Staff feedback from Building Safety
+	Obtain Staff feedback from City Clerk
+	Schedule case for presentation to Board
+	Place request on agenda
+	Request is presented to Commission
+	Request is Approved
+	Request is not approved



**CITY OF VESTAVIA HILLS  
DESIGN REVIEW BOARD  
APPLICATION**

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**I. APPLICANT INFORMATION:**

**Owner of Property (This Section Must Be Completed)**

Name: TDG Vestavia, LLC DBA Dobbins Group

Address: 2914 Linden Ave  
Homewood, AL 35209

Phone #: 205-503-4000 Other #: \_\_\_\_\_

E-Mail: thornton@dobbinsgroup.net

**Representing Attorney/Other Agent**

Name: David Blackmon

Address: PO Box 530031  
Birmingham, AL 35253

Phone #: 205-447-1226 Other #: \_\_\_\_\_

E-Mail: david@blackmonrogers.com

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**II. DESCRIPTION OF PROPERTY:**

LOCATION: 1922 Tree Top LN, Vestavia Hills, AL 35216  
*Street Address*

\_\_\_\_\_  
*Subdivision name, Lot #, Block #, etc.*

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**III. REASONS FOR REQUEST:**

1. ( ) Preliminary Review
  2. ( x ) Landscape Review
  3. ( x ) Architectural Review
  5. ( ) Final Review of Materials
  6. ( ) Other - Explain \_\_\_\_\_
- 

**IV. PROCESS:**

1. ( ) New Building
  2. ( X ) Renovation of Existing Building
  3. ( ) New Landscape Plan
  4. ( ) Renovation to Existing Landscaping Plan
  7. ( ) Other - Explain \_\_\_\_\_
- 


**V. ZONING**


Vestavia Hills Zoning for the subject property is R5.

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**VI. OWNER AFFIDAVIT:**

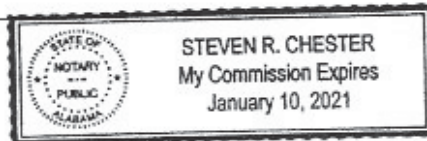
I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

  
\_\_\_\_\_  
Owner Signature/Date

  
\_\_\_\_\_  
Representing Agent (if any)/date

Given under my hand and seal  
this 18 day of October, 2017.

  
\_\_\_\_\_  
Notary Public



My commission expires 10th  
day of January, 2021.

### Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

- General: Provide fifteen copies plus one 8½" by 11" copy of all drawings or plans required below for review. Drawings must be to scale. These drawings should be turned in with the application.
1. Architectural Review
    - a. Site plan showing roadways, entrances, exits and parking.
    - b. Building elevations showing construction material, material colors, context, and protrusions. Color rendering is preferred. Roof design must be detailed.
    - c. Presentation by architect or owner with knowledge of compatibility with adjacent structures, city context, etc.
  2. Landscape Review
    - a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
    - b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
    - c. Parking lots: Provide calculations of total square footage and square footage designated for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
    - d. Irrigation plan for all landscaped areas.
    - e. Statement of maintenance policy and provisions.



[Home](#) / [Building Materials](#) / [Roofing & Gutters](#) / [Roofing](#) / [Roof Shingles](#)

Model # 0670900

Internet #202052357

Store SKU #510890



[Share](#)

[Save to List](#)

[Print](#)

## GAF Timberline HD Weathered Wood Lifetime Architectural Shingles with StainGuard (33.3 sq. ft. Per Bundle)

★★★★★ (1,590)

[Write a Review](#)

[Questions & Answers \(94\)](#)

- Architectural asphalt shingles covered by Lifetime Ltd. Warranty
- Enhanced shadow effect for a genuine wood shake look
- Class A fire rating & 130 mph wind warranty provide peace of mind

**\$27.00** / bundle

If you buy **36** or more

**\$21.60** / bundle

### Choose Your Options

Color/Finish

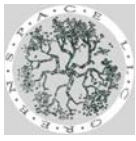


Weathered Wood

Quantity







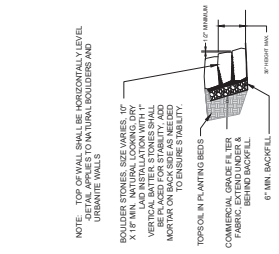
205-585-7918  
jsmile@engrprospace-llc.com

**HARDSCAPE DETAILS**  
**Tree Top Apartment Renovation**  
Meryvale Road Vestavia Hills, Alabama  
for DobbinsGroup LLC

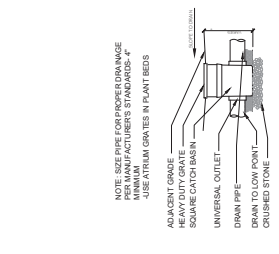
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Drawn By: J. Collins  
Revised:

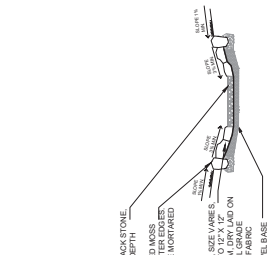
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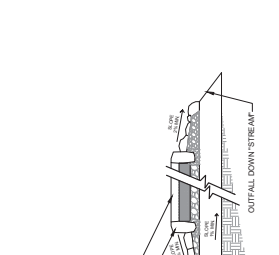
**1** PLANT BED DRAINAGE AT WALL  
NO SCALE



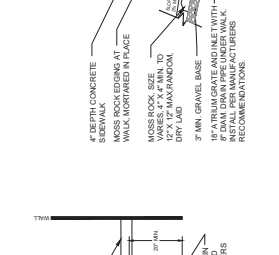
**2** STONE SWALE WITH DRAIN INLET  
NO SCALE



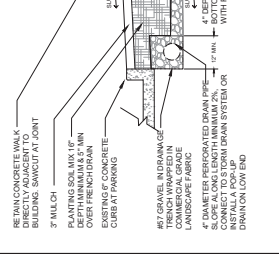
**3** STONE SWALE DETAIL  
NO SCALE



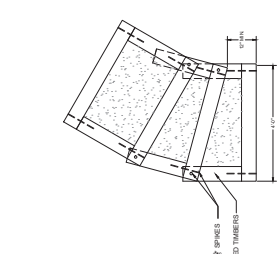
**4** DRAIN INLET DETAIL  
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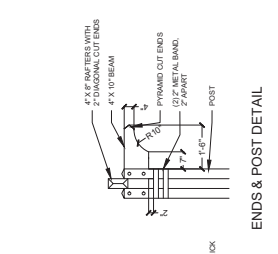
**5** BOULDER WALL  
NO SCALE



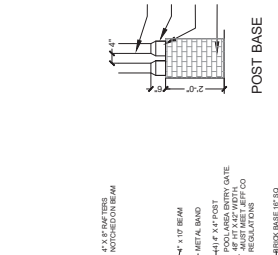
**12** FIREPIT DETAIL  
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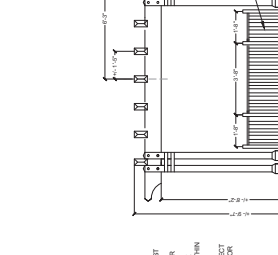
**13** FIREPIT PATIO - PAVERS ADD ALTERNATE SECTION  
NO SCALE



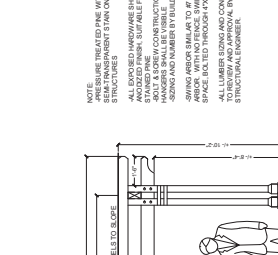
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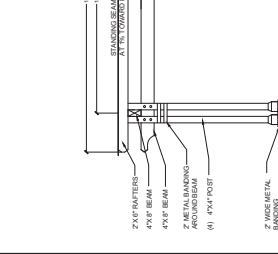
**ENDS & POST DETAIL**



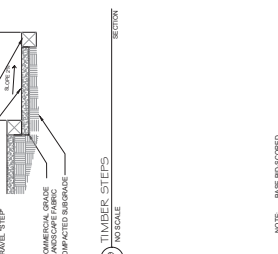
**10** BATH DRAINAGE  
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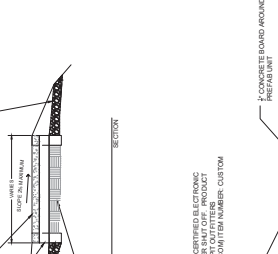
**11** WOOD ARBORES ARBOR ELEVATION  
NO SCALE



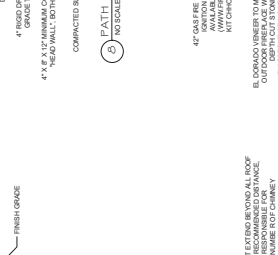
**12** WOOD ARBORES PLAN VIEW  
NO SCALE



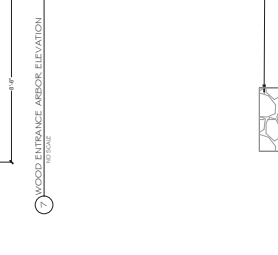
**9** TIMBER STEPS  
NO SCALE



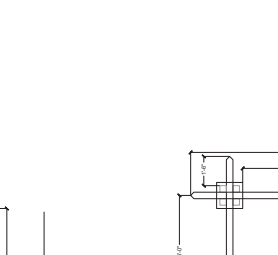
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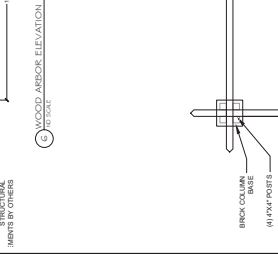
**13** FIREPIT PATIO - PAVERS ADD ALTERNATE SECTION  
NO SCALE



**11** WOOD ARBORES ARBOR ELEVATION  
NO SCALE



**12** WOOD ARBORES PLAN VIEW  
NO SCALE



**12** WOOD ARBORES PLAN VIEW  
NO SCALE

NOTE: TOP OF WALL SHALL BE HORIZONTALLY LEVEL. UNLESS NOTED OTHERWISE.

NOTE: SIZE PIPE FOR SLOPE DRAINAGE PER MANUFACTURER'S STANDARDS. USE INTERLUM GRATES IN PLANT BEDS.

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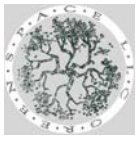
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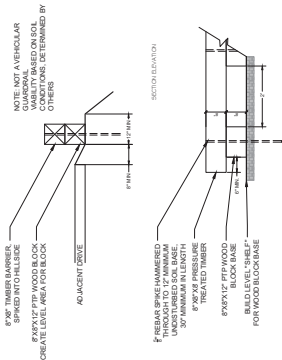
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jemite@jenspace-llc.com

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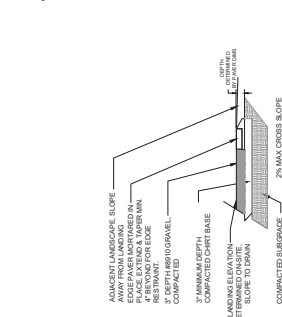
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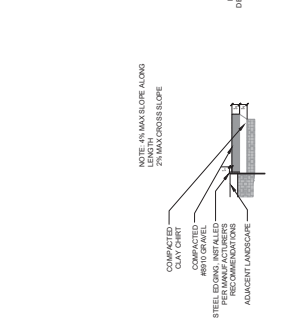
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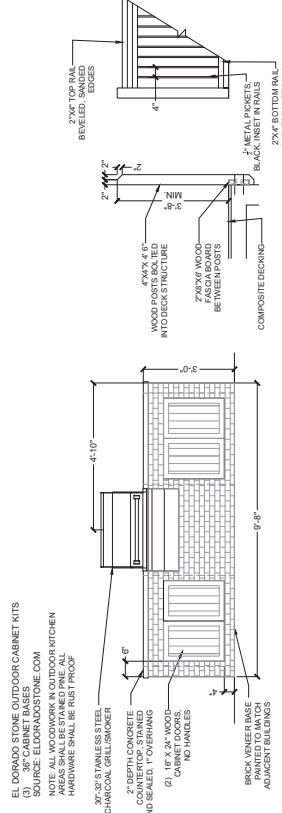
3 NO DIG RAVINE BARRIER



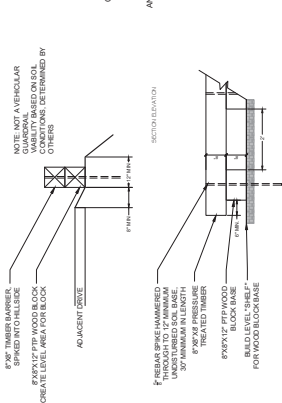
2 BRICK EDGE LANDING



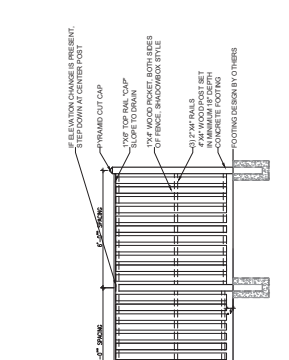
1 STEEL EDGED GRAVEL PATH



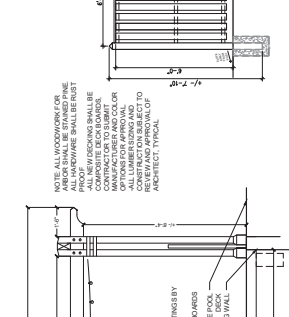
4 CHARCOAL GRILL AREA AT LAMINAMETRY AREA



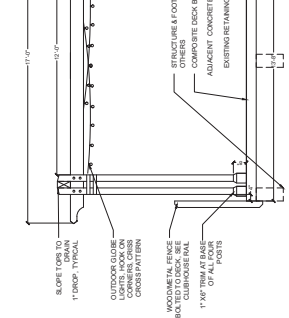
5 CLUBHOUSE DECK RAIL DETAIL



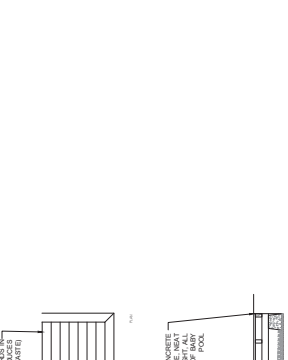
3 GAS GRILL AREA AT POOL DECK



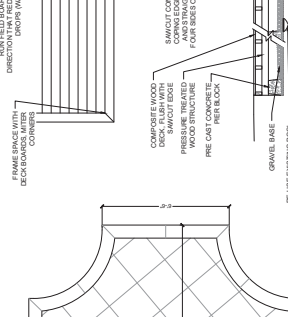
1 BRICK COLUMN WALL SECTION



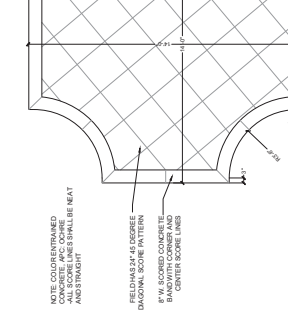
6 BRICK EDGE BRICK DECK



2 BRICK COLUMN WALL SECTION



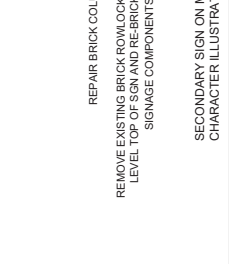
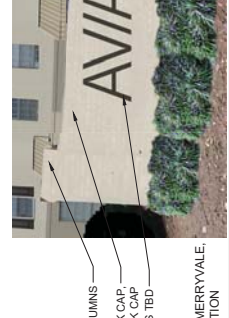
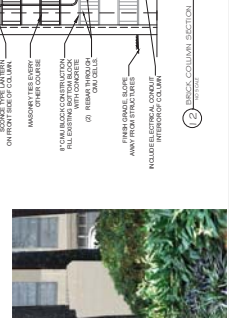
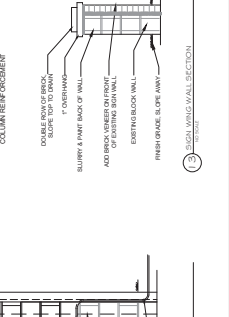
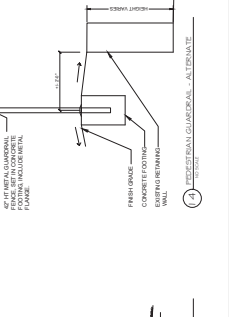
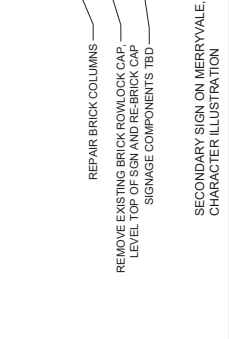
4 BRICK COLUMN WALL SECTION



4 BRICK COLUMN WALL SECTION



REPAIR BRICK COLUMNS  
REMOVE EXISTING BRICK ROWLOCK CAP LEVEL TOP OF SIGN AND RE-BRICK CAP SIGNAGE COMPONENTS TBD  
SECONDARY SIGN ON MERRIVALE CHARACTER ILLUSTRATION



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GE  
Lighting

# Evolve™ LED Roadway Lighting

LED Streetlight (ERL1)



imagination at work

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## Product Features

The Evolve™ LED Streetlight is optimized for customers requiring a basic LED solution for local and collector roadways. GE's unique reflective optics are designed to optimize application efficiency and minimize glare. The modern design incorporates the heat sink directly into the unit for heat transfer to prolong LED life. This reliable unit has a 50,000 hour rated life, significantly reducing maintenance needs and expense over the life of the fixture. This efficient solution lowers energy consumption compared to traditional HID fixture for additional operating cost savings.

### Applications

- Designed to meet recommended luminance and illuminance requirements for local and collector roadway/street classifications.



### Housing

- The modern design incorporates Casting-integral heatsink for maximum heat transfer
- Meets 3G vibration standards per ANSI C136.31-2010.
- Metal door

### LED & Optical Assembly

- Structured LED array for optimized roadway photometric distribution.
- Evolve™ light engine consisting of reflective technology designed to optimize application efficiency and minimize glare.
- Utilizes high brightness LEDs, 70 CRI at 3000K & 4000K typical.
- LM-79 tests and reports are performed in accordance with IESNA standards.

### Ratings

- /A/ listed, suitable for wet locations per UL 1598.
- IP65 rated optical enclosure per ANSI C136.25-2009.
- Temperature rated at -40° to 40°C.
- Upward Light Output Ratio (ULOR) = 0
- Compliant with the material restriction requirements of RoHS.
- DLC listed.

### Mounting

- 2 or 4 Bolt Slipfitter with +/- 5 degree of adjustment for leveling.
- Integral die cast mounting pipe stop feature.
- Adjustable for 1.25 in. or 2 in. mounting pipe.

### Finish

- Corrosion resistant polyester powder paint, minimum 2.0 mil. thickness.
- Standard colors: Black and Gray.
- RAL & custom colors available.
- Coastal Finish.

### Electrical

- 120-277 volt and 347-480 volt.
- System power factor is >90% and THD <20%.\*
- Class "A" Sound rating.
- Surge Protection per ANSI C136.2-2014
  - Standard: 6kV/3kA "Basic" (w/extended C62.41.2 Combination Wave capacity of 120 events)
  - Optional: 10kV/5kA "Enhanced"
- Photo electric sensors (PE) available for all voltages.  
*\* System THD < 26% for 347/480V supply with A7 power level*

### Lumen Maintenance

- Projected L87 (10K) ≥ 50,000 at Ta 25C (Power Levels: A7, B7, C7).
- Projected L90 (16K) ≥ 50,000 at Ta 25C (Power Levels: D3, E3).
- Projected L70 (10K) > 100,000 at Ta 25C.



# Ordering Number Logic

## Evolve™ LED Streetlight (ERL1)



**ERL1**

**A**

**R**

PROD. ID	VOLTAGE	POWER LEVEL	PHOTOMETRIC TYPE	LED COLOR TEMP	PE FUNCTION	COLOR	OPTIONS
<b>E</b> = Evolve <b>R</b> = Roadway <b>L</b> = Local <b>1</b> = Single Module	<b>0</b> = 120-277* <b>1</b> = 120 <b>2</b> = 208 <b>3</b> = 240 <b>4</b> = 277 <b>5</b> = 480 <b>D</b> = 347 <b>H</b> = 347-480* * Not available with Fusing. Must choose a discrete voltage with F option.	<b>A7</b> <b>B7</b> <b>C7</b> <b>D3</b> <b>E3</b>	<b>A1</b> = Extra Narrow Asymmetric <b>B1</b> = Narrow Asymmetric (Medium) <b>C1</b> = Asymmetric (Short) <b>D1</b> = Asymmetric Forward <b>E1</b> = Asymmetric (Medium)	<b>30</b> = 3000K <b>40</b> = 4000K	<b>2</b> = STD PE Rec <b>4</b> = STD PE Rec with Shorting Cap <b>5</b> = STD PE Rec with PE # <b>A</b> = ANSI C136.41 7 pin <b>D</b> = 7 pin receptacle with Shorting Cap # PE control not available for 347-480V. Must be a discrete voltage (347V or 480V).	<b>GRAY</b> = Gray <b>BLCK</b> = Black	<b>A</b> = 4 Bolt Slipfitter* <b>F</b> = Fusing <b>I</b> = IP66 Optical <b>R</b> = Secondary Enhanced Surge Protection (10kV/5kA) <b>L</b> = Tool-Less Entry <b>XXX</b> = Special Options <b>X</b> = Single Package <b>Y</b> = Coastal Finish  <b>NOTE:</b> Standard Package is 20 fixtures/Skid * Contact manufacturer for Lead-Time.

PRODUCT ID	POWER LEVEL	PHOTOMETRIC TYPE	TYPICAL INITIAL WATTAGE 120-277V	TYPICAL INITIAL WATTAGE 347-480V	TYPICAL INITIAL LUMENS		TYPICAL INITIAL LPW				BUG RATING 3000K	BUG RATING 4000K
					3000K	4000K	120-277V		347-480V			
ERL1	A7	A1	29	34	3000	3100	103	107	88	91	1-0-1	1-0-1
ERL1		B1			3100	3200	107	110	91	94	1-0-1	1-0-1
ERL1		C1			3100	3200	107	110	91	94	1-0-1	1-0-1
ERL1		D1			3000	3100	103	107	88	91	1-0-1	1-0-1
ERL1		E1			3100	3200	107	110	91	94	1-0-1	1-0-1
ERL1	B7	A1	39	44	3800	3900	97	100	86	89	1-0-1	1-0-1
ERL1		B1			4000	4100	103	105	91	93	1-0-1	1-0-1
ERL1		C1			4000	4100	103	105	91	93	1-0-1	1-0-1
ERL1		D1			3800	3900	97	100	86	89	1-0-1	1-0-1
ERL1		E1			4000	4100	103	105	91	93	1-0-1	1-0-1
ERL1	C7	A1	51	55	4700	4800	92	94	85	87	2-0-1	2-0-1
ERL1		B1			4900	5000	96	98	89	91	2-0-1	2-0-1
ERL1		C1			4900	5000	96	98	89	91	2-0-1	2-0-1
ERL1		D1			4700	4800	92	94	85	87	1-0-1	1-0-1
ERL1		E1			4900	5000	96	98	89	91	1-0-1	2-0-1
ERL1	D3	A1	70		5500	6700	79	96	79	96	2-0-1	2-0-2
ERL1		B1			5800	7000	83	100	83	100	2-0-1	2-0-1
ERL1		C1			5800	7000	83	100	83	100	2-0-1	2-0-1
ERL1		D1			5500	6700	79	96	79	96	1-0-1	2-0-1
ERL1		E1			5800	7000	83	100	83	100	2-0-1	2-0-1
ERL1	E3	A1	91		6700	8400	74	92	74	92	2-0-2	2-0-2
ERL1		B1			6800	8500	75	93	75	93	2-0-1	2-0-1
ERL1		C1			6800	8500	75	93	75	93	2-0-1	2-0-1
ERL1		D1			6700	8400	74	92	74	92	2-0-1	2-0-2
ERL1		E1			6800	8500	75	93	75	93	2-0-1	2-0-1

**NOTES:**

- Max Operating Temp 40° C

# Product IES Files

## Evolve™ LED Streetlight (ERL1)

PRODUCT ID	POWER LEVEL	PHOTOMETRIC TYPE	IES FILE NUMBERS 3000K 120-277V		IES FILE NUMBERS 3000K 347-480V		IES FILE NUMBERS 4000K 120-277V		IES FILE NUMBERS 4000K 347-480V	
			IES FILE NUMBER	IES FILE NUMBER	IES FILE NUMBER	IES FILE NUMBER	IES FILE NUMBER	IES FILE NUMBER		
ERL1	A7	A1	ERL1_A7A130	-120-277V.IES	ERL1_A7A130	-347-480V.IES	ERL1_A7A140	-120-277V.IES	ERL1_A7A140	-347-480V.IES
ERL1		B1	ERL1_A7B130	-120-277V.IES	ERL1_A7B130	-347-480V.IES	ERL1_A7B140	-120-277V.IES	ERL1_A7B140	-347-480V.IES
ERL1		C1	ERL1_A7C130	-120-277V.IES	ERL1_A7C130	-347-480V.IES	ERL1_A7C140	-120-277V.IES	ERL1_A7C140	-347-480V.IES
ERL1		D1	ERL1_A7D130	-120-277V.IES	ERL1_A7D130	-347-480V.IES	ERL1_A7D140	-120-277V.IES	ERL1_A7D140	-347-480V.IES
ERL1		E1	ERL1_A7E130	-120-277V.IES	ERL1_A7E130	-347-480V.IES	ERL1_A7E140	-120-277V.IES	ERL1_A7E140	-347-480V.IES
ERL1	B7	A1	ERL1_B7A130	-120-277V.IES	ERL1_B7A130	-347-480V.IES	ERL1_B7A140	-120-277V.IES	ERL1_B7A140	-347-480V.IES
ERL1		B1	ERL1_B7B130	-120-277V.IES	ERL1_B7B130	-347-480V.IES	ERL1_B7B140	-120-277V.IES	ERL1_B7B140	-347-480V.IES
ERL1		C1	ERL1_B7C130	-120-277V.IES	ERL1_B7C130	-347-480V.IES	ERL1_B7C140	-120-277V.IES	ERL1_B7C140	-347-480V.IES
ERL1		D1	ERL1_B7D130	-120-277V.IES	ERL1_B7D130	-347-480V.IES	ERL1_B7D140	-120-277V.IES	ERL1_B7D140	-347-480V.IES
ERL1		E1	ERL1_B7E130	-120-277V.IES	ERL1_B7E130	-347-480V.IES	ERL1_B7E140	-120-277V.IES	ERL1_B7E140	-347-480V.IES
ERL1	C7	A1	ERL1_C7A130	-120-277V.IES	ERL1_C7A130	-347-480V.IES	ERL1_C7A140	-120-277V.IES	ERL1_C7A140	-347-480V.IES
ERL1		B1	ERL1_C7B130	-120-277V.IES	ERL1_C7B130	-347-480V.IES	ERL1_C7B140	-120-277V.IES	ERL1_C7B140	-347-480V.IES
ERL1		C1	ERL1_C7C130	-120-277V.IES	ERL1_C7C130	-347-480V.IES	ERL1_C7C140	-120-277V.IES	ERL1_C7C140	-347-480V.IES
ERL1		D1	ERL1_C7D130	-120-277V.IES	ERL1_C7D130	-347-480V.IES	ERL1_C7D140	-120-277V.IES	ERL1_C7D140	-347-480V.IES
ERL1		E1	ERL1_C7E130	-120-277V.IES	ERL1_C7E130	-347-480V.IES	ERL1_C7E140	-120-277V.IES	ERL1_C7E140	-347-480V.IES
ERL1	D3	A1		ERL1_D3A130 .IES				ERL1_D3A140 .IES		
ERL1		B1		ERL1_D3B130 .IES				ERL1_D3B140 .IES		
ERL1		C1		ERL1_D3C130 .IES				ERL1_D3C140 .IES		
ERL1		D1		ERL1_D3D130 .IES				ERL1_D3D140 .IES		
ERL1		E1		ERL1_D3E130 .IES				ERL1_D3E140 .IES		
ERL1	E3	A1		ERL1_E3A130 .IES				ERL1_E3A140 .IES		
ERL1		B1		ERL1_E3B130 .IES				ERL1_E3B140 .IES		
ERL1		C1		ERL1_E3C130 .IES				ERL1_E3C140 .IES		
ERL1		D1		ERL1_E3D130 .IES				ERL1_E3D140 .IES		
ERL1		E1		ERL1_E3E130 .IES				ERL1_E3E140 .IES		

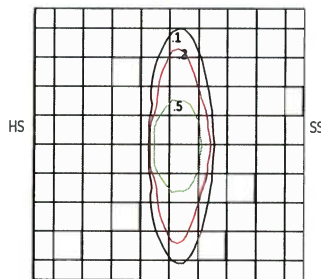
# Photometrics

## Evolve™ LED Streetlight (ERL1)

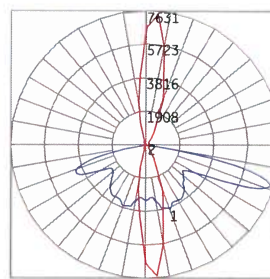
**ERL1**  
Extra Narrow Asymmetric  
(E3A1)

8,400 Lumens  
4000K  
ERL1\_E3A140

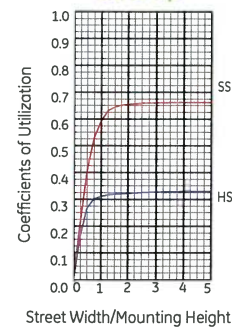
ISO Plot



Polar Curve

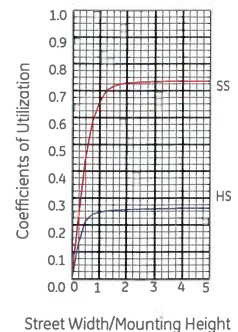
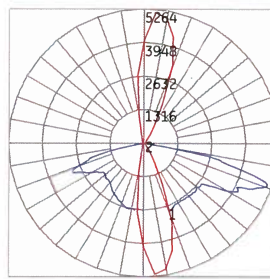
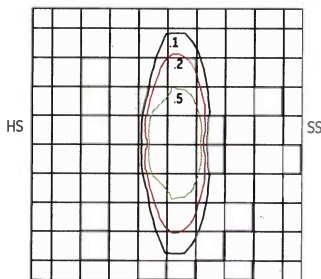


CU Graph



**ERL1**  
Narrow Asymmetric  
(E3B1)

8,500 Lumens  
4000K  
ERL1\_E3B140



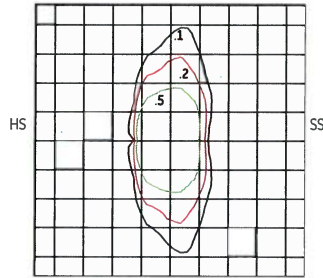
# Photometrics

## Evolve™ LED Streetlight (ERL1)

**ERL1**  
Asymmetric Short  
(E3C1)

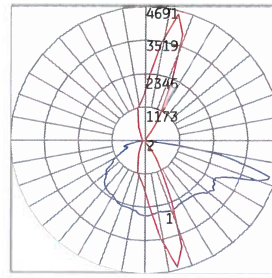
8,500 Lumens  
4000K  
ERL1\_E3C140

ISO Plot



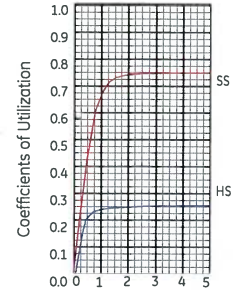
Grid Distance in Units of Mounting Height at 30' Initial Footcandle Values at Grade

Polar Curve



— Vertical plane through horizontal angle of maximum candepower at 75°  
— Vertical plane through horizontal angle of 74°

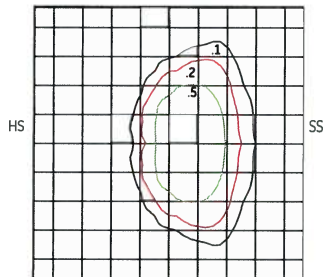
CU Graph



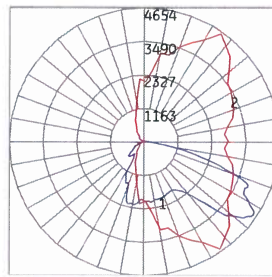
Street Width/Mounting Height

**ERL1**  
Asymmetric Forward  
(E3D1)

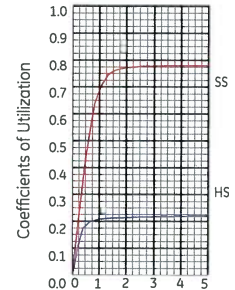
8,400 Lumens  
4000K  
ERL1\_E3D140



Grid Distance in Units of Mounting Height at 30' Initial Footcandle Values at Grade



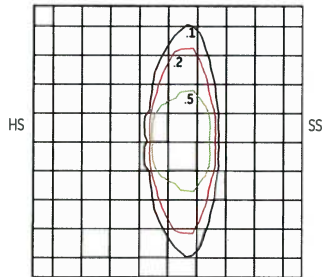
— Vertical plane through horizontal angle of maximum candepower at 55°  
— Vertical plane through horizontal angle of 56°



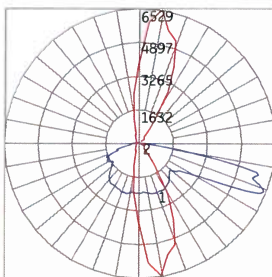
Street Width/Mounting Height

**ERL1**  
Asymmetric Medium  
(E3E1)

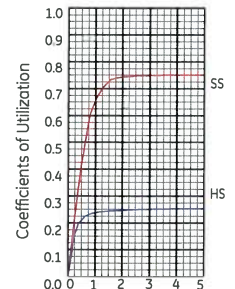
8,500 Lumens  
4000K  
ERL1\_E3E140



Grid Distance in Units of Mounting Height at 30' Initial Footcandle Values at Grade



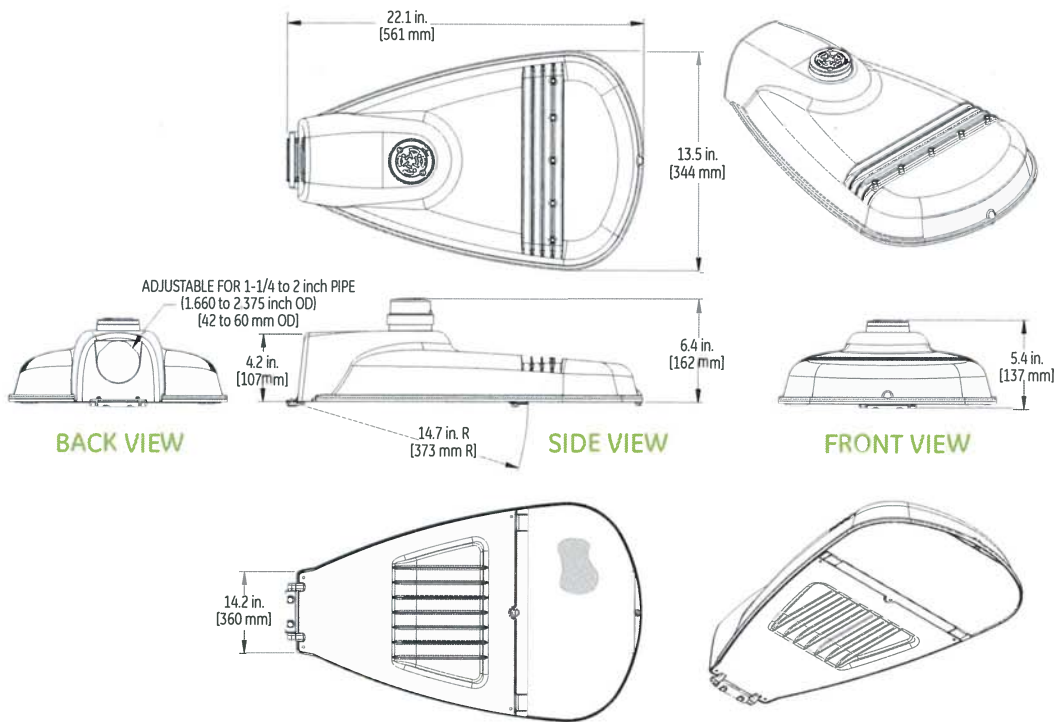
— Vertical plane through horizontal angle of maximum candepower at 80°  
— Vertical plane through horizontal angle of 69°



Street Width/Mounting Height

## Product Dimensions

### Evolve™ LED Streetlight (ERL1)



#### DATA

- Approximate net weight: 15.5 lbs (7.0 kgs)  
Contact manufacturer for specific configuration weight.
- Effective Projected Area (EPA): 0.5 sq ft max (0.046 sq m)



[www.gelighting.com](http://www.gelighting.com)

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OLP3093(Rev 06/29/15)

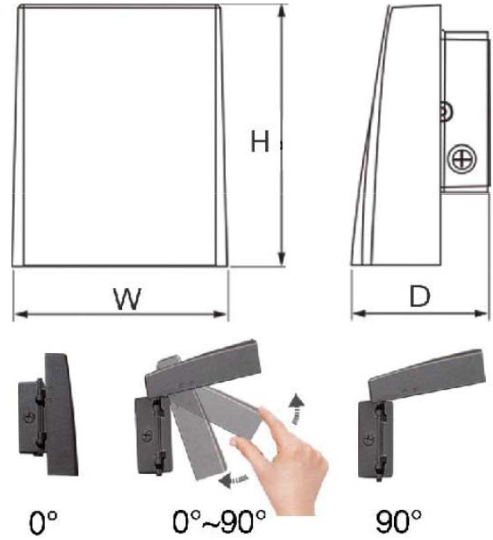






### DIMENSIONS:

9"(W) x 12"(H) x 6"(D)



## LWA-20-WW LWA-20-CW

### LED CUTOFF & ADJUSTABLE WALL PACK

Ideal for general site lighting, alleys, loading docks, doorway, pathway and parking areas. Great for use with motion sensors or other instant on/off controls.

#### ELECTRICAL SPECIFICATIONS:

- Voltage: 120-277VAC 50/60Hz
- Wattage: 20W
- Input current: 0.3A Max
- Other wattages: 12W, 30W, 50W, 80W, 120W
- Power factor: >0.95

#### HOUSING SPECIFICATIONS:

- Die-cast aluminum with powder coat finish (Dark Bronze)
- Operating temperature: -4°F ~ 104°F
- Lifespan: 50000 Hrs.
- IP rating: IP65, Wet Locations
- High light transmittance, anti-UV and fire resistant PC lens

#### CERTIFICATIONS: UL, DLC



MODEL	WATTS	VOLTAGE	LUMENS	COLOR TEMP
LWA-20-CW	20W	120~277V AC	2200 LM	5000K
LWA-20-WW	20W	120~277V AC	2000 LM	3000K

#### LIGHTING SPECIFICATIONS:

- LED type/brand: SMD 3030/ Philips Lumileds LEDs
- Total lumens: 2000 LM and 2200 LM
- Color temperature: 3000K / 5000K
- Color rendering index: >80
- Beam angle: 80° x 100°

#### WARRANTY: 5 years



D-0318-02//28-22-2-10-5  
4221 Dolly Ridge Rd.  
Landscape, Arch & Final Review of  
Materials  
ALDON Dental, LLC

DRB Application,  
Page 3

**CITY OF VESTAVIA HILLS  
DESIGN REVIEW BOARD  
APPLICATION**

**I. APPLICANT INFORMATION:**

**Owner of Property (This Section Must Be Completed)**

Name: ALDON DENTAL LLC

Address: 3159 GREEN VALLEY RD  
BIRMINGHAM, AL 35243

Phone #: 205-967-4080 Other #: 205-580-6063

E-Mail: VWALFAHRE@AOL.COM

**Representing Attorney/Other Agent**

Name: BRYAN PRESSNEU

Address: 1703 MCCONNELL LANE  
MOUNT OLIVE, AL 35117

Phone #: 205-876-4335 Other #: \_\_\_\_\_

E-Mail: bryan@pressnellengineering.com

**II. DESCRIPTION OF PROPERTY:**

LOCATION: 4221 DOLLY RIDGE RD  
*Street Address*

*Subdivision name, Lot #, Block #, etc.*

**III. REASONS FOR REQUEST:**

1. ( ) Preliminary Review
2. (✓) Landscape Review
3. (✓) Architectural Review
5. (✓) Final Review of Materials
6. ( ) Other - Explain \_\_\_\_\_

**IV. PROCESS:**

1. (✓) New Building
2. ( ) Renovation of Existing Building
3. ( ) New Landscape Plan
4. ( ) Renovation to Existing Landscaping Plan
7. ( ) Other - Explain \_\_\_\_\_

**V. ZONING**

Vestavia Hills Zoning for the subject property is \_\_\_\_\_.

**VI. OWNER AFFIDAVIT:**



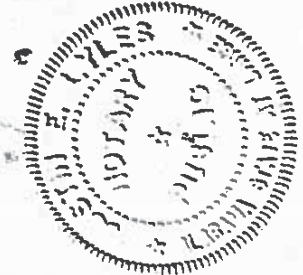
I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

  
Owner Signature/Date

 2/13/18  
Representing Agent (if any)/date

Given under my hand and seal  
this 13<sup>th</sup> day of February, 20 18.

  
Notary Public



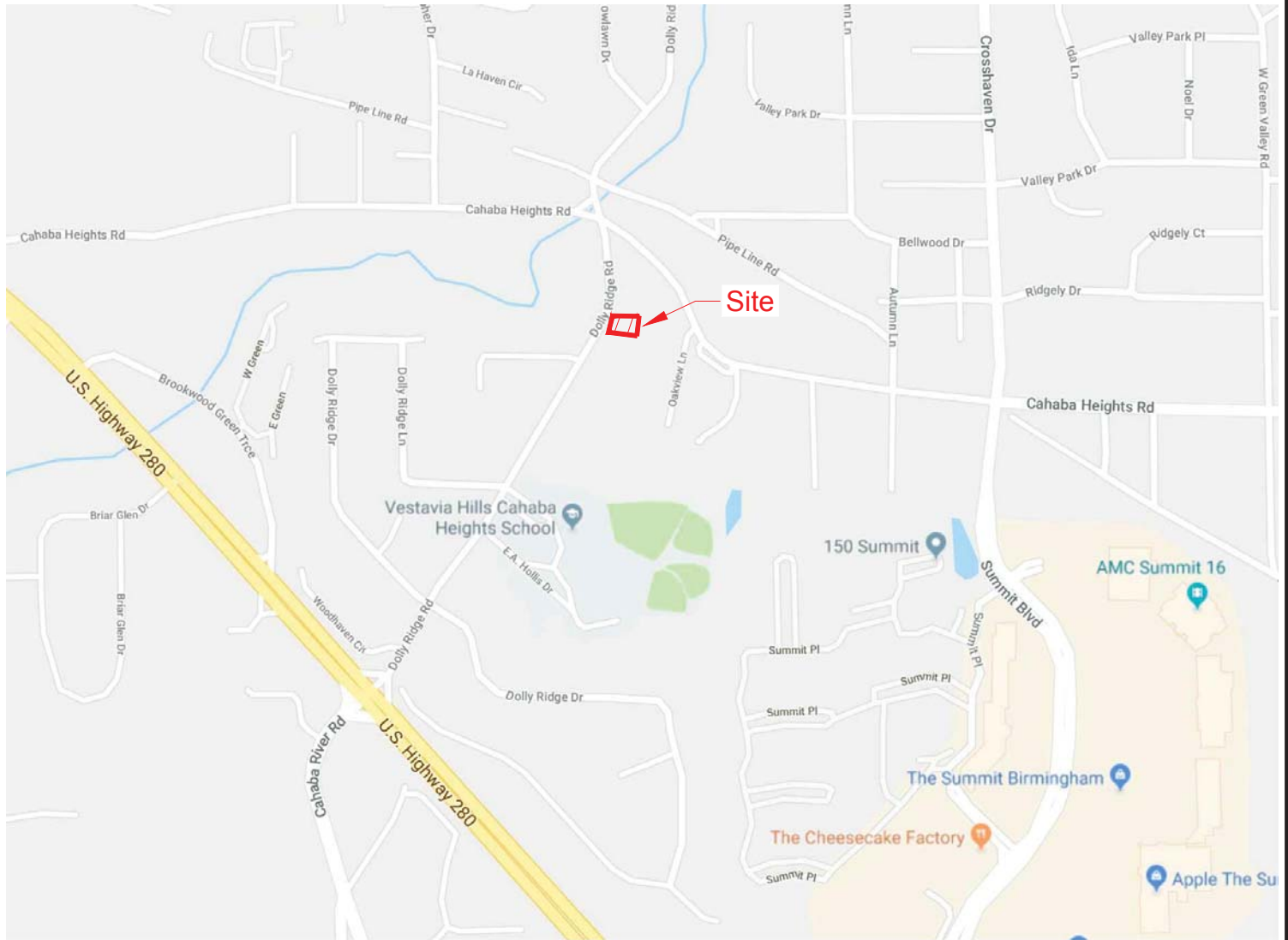
My commission expires March 21, 2021  
day of My commission expires, 2021.

### Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

- General: Provide fifteen copies plus one 8½" by 11" copy of all drawings or plans required below for review. Drawings must be to scale. These drawings should be turned in with the application.
1. Architectural Review
    - a. Site plan showing roadways, entrances, exits and parking.
    - b. Building elevations showing construction material, material colors, context, and protrusions. Color rendering is preferred. Roof design must be detailed.
    - c. Presentation by architect or owner with knowledge of compatibility with adjacent structures, city context, etc.
  2. Landscape Review
    - a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
    - b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
    - c. Parking lots: Provide calculations of total square footage and square footage designated for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
    - d. Irrigation plan for all landscaped areas.
    - e. Statement of maintenance policy and provisions.





## Vicinity Map

n.t.s.

# Cosgrove Dental Office

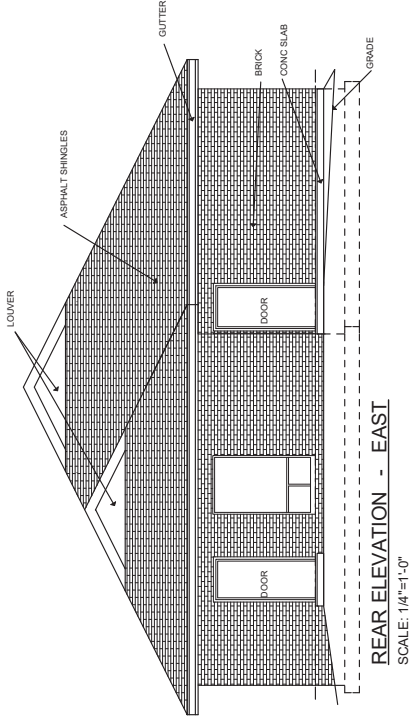
4221 Dolly Ridge Road, Vestavia Hills, Alabama

Situated in Section 22, Township 18 South, Range 2 West,

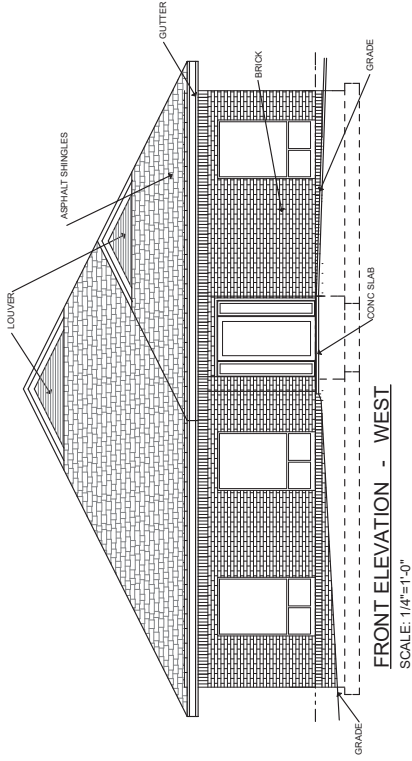
Jefferson County, AL



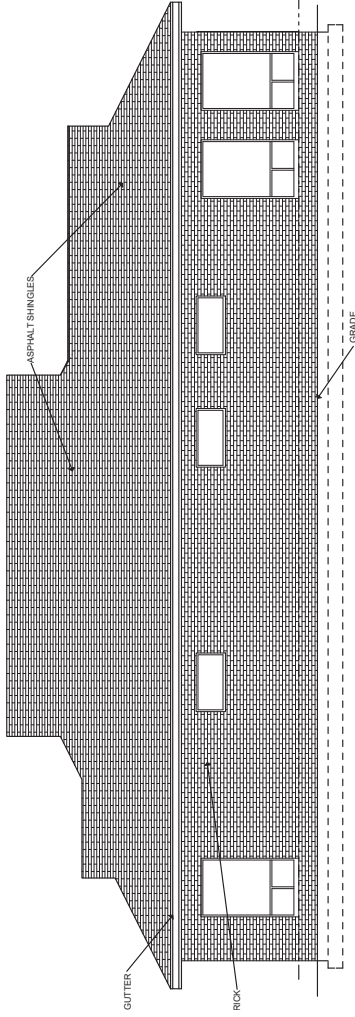
**DONZÉ**  
 ARCHITECTURE, INC.  
 615 W. HIGHWAY 74  
 205-365-3497



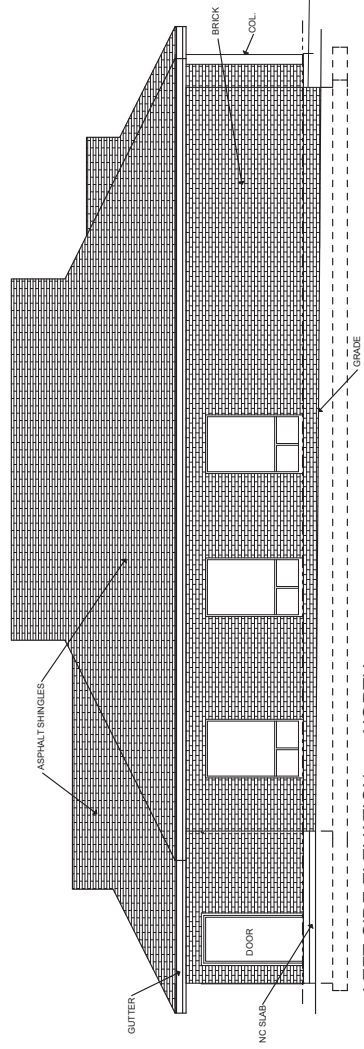
**REAR ELEVATION - EAST**  
 SCALE: 1/4"=1'-0"



**FRONT ELEVATION - WEST**  
 SCALE: 1/4"=1'-0"



**RIGHT SIDE ELEVATION - SOUTH**  
 SCALE: 1/4"=1'-0"



**LEFT SIDE ELEVATION - NORTH**  
 SCALE: 1/4"=1'-0"

DENTIST OFFICE FOR  
 THOMAS COSGROVE DMS  
 VESTIVIA HILLS, ALABAMA

DATE	REV.	REV.	REV.

SHEET NO  
**3**



**Pressnell**  
 Engineering  
 1703 McCommett Lane  
 P.O. Box 255  
 P. 205-876-4335  
 F. 205-417-2507  
 Engineer  
 21418

**Cosgrove Dental Office**  
 Being situated in Section 22, Township 18 South, Range 2 West,  
 Jefferson County, Alabama  
 4221 Dolly Ridge Road, Vestavia Hills, Alabama 35243

Sheet Title:  
**Site Plan**

Revision:  
 Filing:  
 16-0602-01  
 Date: February 12, 2018  
 Scale: 1"=10'  
 Drawing:

C-1.0

POC  
 NE CORNER, SE 1/4 - NW 1/4,  
 SECTION 22, T-18-S,  
 R-2-W, JEFFERSON  
 COUNTY, ALABAMA

351.22'  
 92°07'35"  
 505.54'  
 NE CORNER  
 LOT 11,  
 BLOCK 2

LOT 11  
 BLOCK 2

POB

150.00'

10.10'

10.17'

30.54'

73.00'

DISPOSAL FILL

UNDISTURBED AREA

GRAVEL PARKING AREA

Proposed Building  
 FFE:101.00



22.04'

9.00'

18.00'

22.13'

DISPOSAL SYSTEM

22.13'

150.00'

SE CORNER  
 LOT 11,  
 BLOCK 2

92°10'09"

LOT 10  
 BLOCK 2

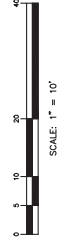
Easement #2  
 (Deed Book 9605, Page 9274)

Existing Concrete Driveway / Access Road

CROSS IN  
 CONCRETE  
 (TBM 100.00)  
 SW CORNER  
 LOT 11, BLOCK 2

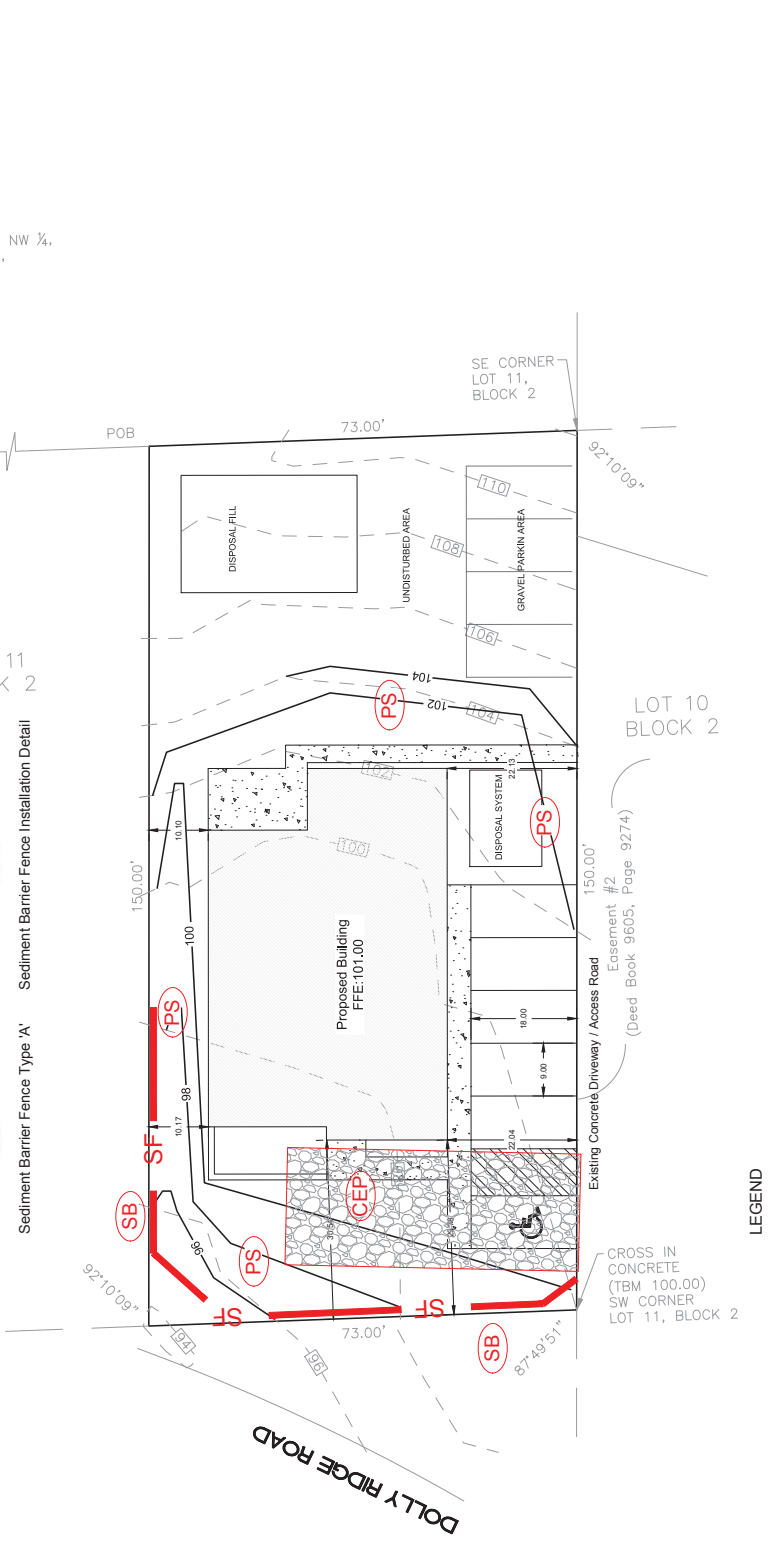
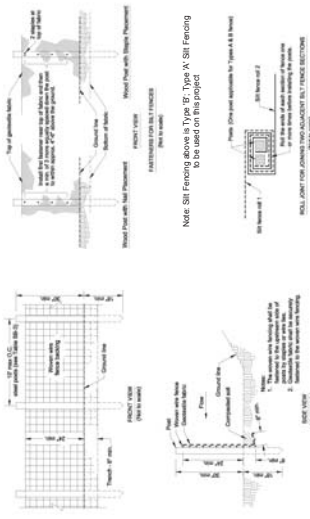
87°49'51"

DOLLY RIDGE ROAD



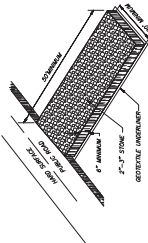
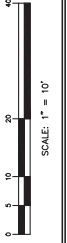
THE EXISTING UNDERGROUND UTILITIES SHOWN ARE BASED ON PLANS OBTAINED FROM THE RECORDS OF THE CITY OF VESTAVIA HILLS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL LOCATE ALL UTILITIES IN THE AREA PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF VESTAVIA HILLS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF VESTAVIA HILLS.

- Construction Sequence for Erosion Control**
1. Contractor shall prepare and submit a CBMP and obtain a land disturbance permit from appropriate authority. Plan shall meet all requirements of the Alabama Handbook for Erosion Control, Sediment Control and Stormwater Management on Construction Sites and Urban Areas.
  2. Prior to clearing site, contractor shall begin by installing construction drive and all perimeter silt fences, hay bales, & temporary sediment basins.
  3. All existing streams shall be protected from silt and erosion by installation of measures such as silt fences, hay bales, & temporary sediment basins.
  4. Contractor may now begin clearing, grubbing and other earthwork operations on the site.
  5. Water from the site shall be directed to temporary sediment areas at locations determined by the qualified credentialed professional prior to being released to the stream.
  6. Areas not to receive paving, sidewalks or building exposed at grade or near grade shall be provided with ground cover, materials, covers or structures sufficient to restrain erosion within 14 days of completing grading activities. Temporary grading or permanent grassing shall be installed to mitigate the impact of rain on the subgrade or finished grade.
  7. Once all land disturbance has been completed and all disturbed areas are stabilized, contractor to notify permitting authority for final inspection of site.



- LEGEND**
- (SB) PERMANENT SEDIMENTATION FENCE
  - (PS) PERMANENT SEDIMENTATION FENCE
  - (CEP) CONSTRUCTION EXIT PAD
  - (DC) DISTURBED AREA
- PERMANENT SEDIMENTATION FENCE  
 SEE LANDSCAPE PLAN FOR OTHER FENCE DETAILS
- CONSTRUCTION EXIT PAD  
 SEE LANDSCAPE PLAN FOR OTHER FENCE DETAILS
- DISTURBED AREA  
 AS REQUIRED

Disturbed Area: 8,500 square feet



- NOTES**
1. ALL DISTURBED AREAS OF EXPOSED SOIL SHALL BE COVERED WITH EROSION CONTROL MATS.
  2. PERMITS SHALL BE OBTAINED FROM THE APPROPRIATE AGENCIES.
  3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
  4. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
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  6. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.

THE EXISTING UNDERGROUND UTILITIES SHOWN ARE BASED ON PLANS OBTAINED FROM THE CITY OF VESTAVIA HILLS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF VESTAVIA HILLS AND THE ALABAMA DEPARTMENT OF REVENUE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ALABAMA DEPARTMENT OF REVENUE.





Vestavia Hills, Alabama  
**Cosgrove Dental**  
 Planting Plan

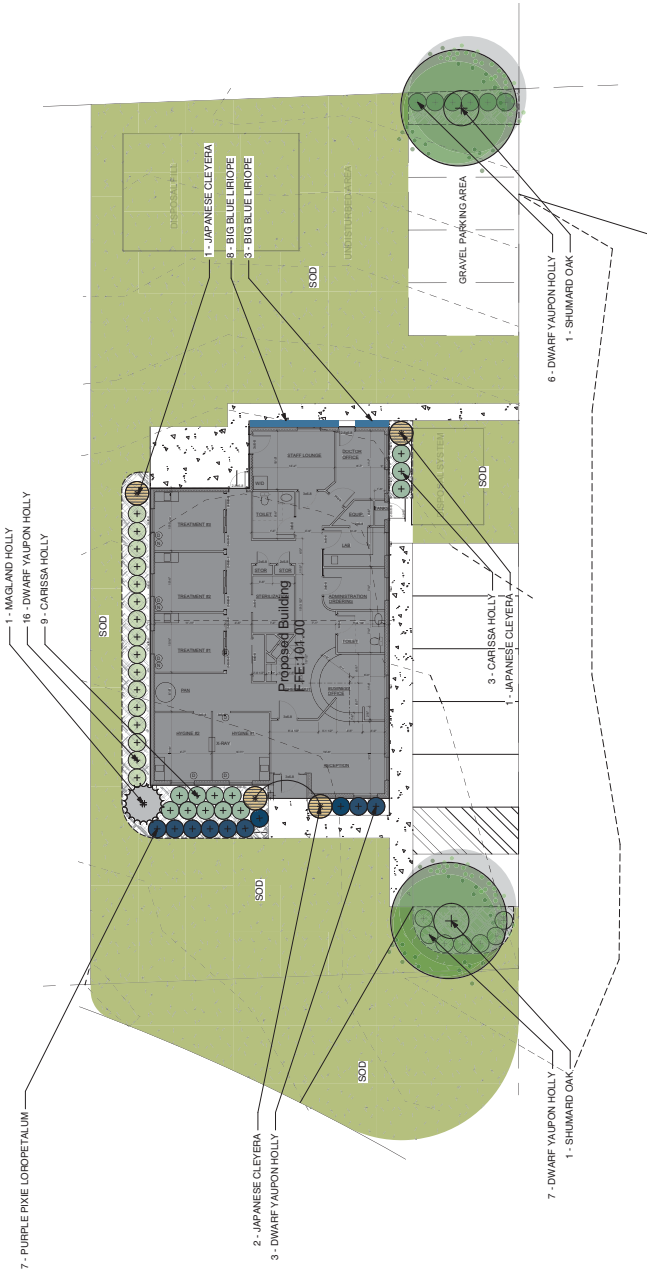
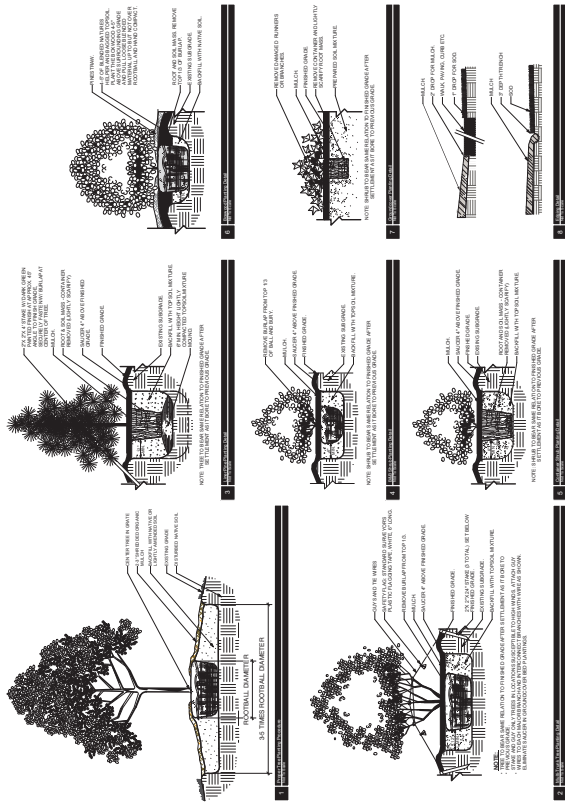
REVISED

DATE: February 12, 2018  
 SCALE: 1"=10'  
 DRAWN: EDS  
 PROJECT NO: 2018-002

SHEET TITLE:  
**Planting Plan**

SHEET NUMBER:  
**L-10**  
 SCHEDULE: 1 OF 1

Count	Scientific Name	Common Name	Size	Spacing	Root	Remarks
<b>Trees</b>						
1	Ilex x 'Oakland'	Magnolia Holly	4-6' Ht.	6' o.c.	B&B	Full to ground
2	Quercus shumardii	Shumard Oak	2" cal.	As indicated	B&B	Strong central leader
<b>Shrubs</b>						
18	Cleyera japonica	Japanese Cleyera	18-24" Ht.	4' o.c.	Cont.	Full plant
19	Ilex 'Cokea'	Cokea Holly	15-18" Ht.	3' o.c.	Cont.	Full plant
23	Ilex vominosa 'Nana'	Dwarf Yaupon Holly	15-18" Sp.	3' o.c.	Cont.	Full plant
11	Liriodendron 'Big Blue'	'Big Blue' Liriodendron	1" cal.	12" o.c.	Cont.	Full plant
10	Loropetalum chinense 'Peach'	'Peach' Loropetalum	15-18" Sp.	3' o.c.	Cont.	Full plant





**DONZÉ**  
ARCHITECTURE  
FIRM, INC.  
205-965-3497



ADDRESS:  
4221 ROLLY RIDGE ROAD  
VESTAVIA HILLS, ALABAMA

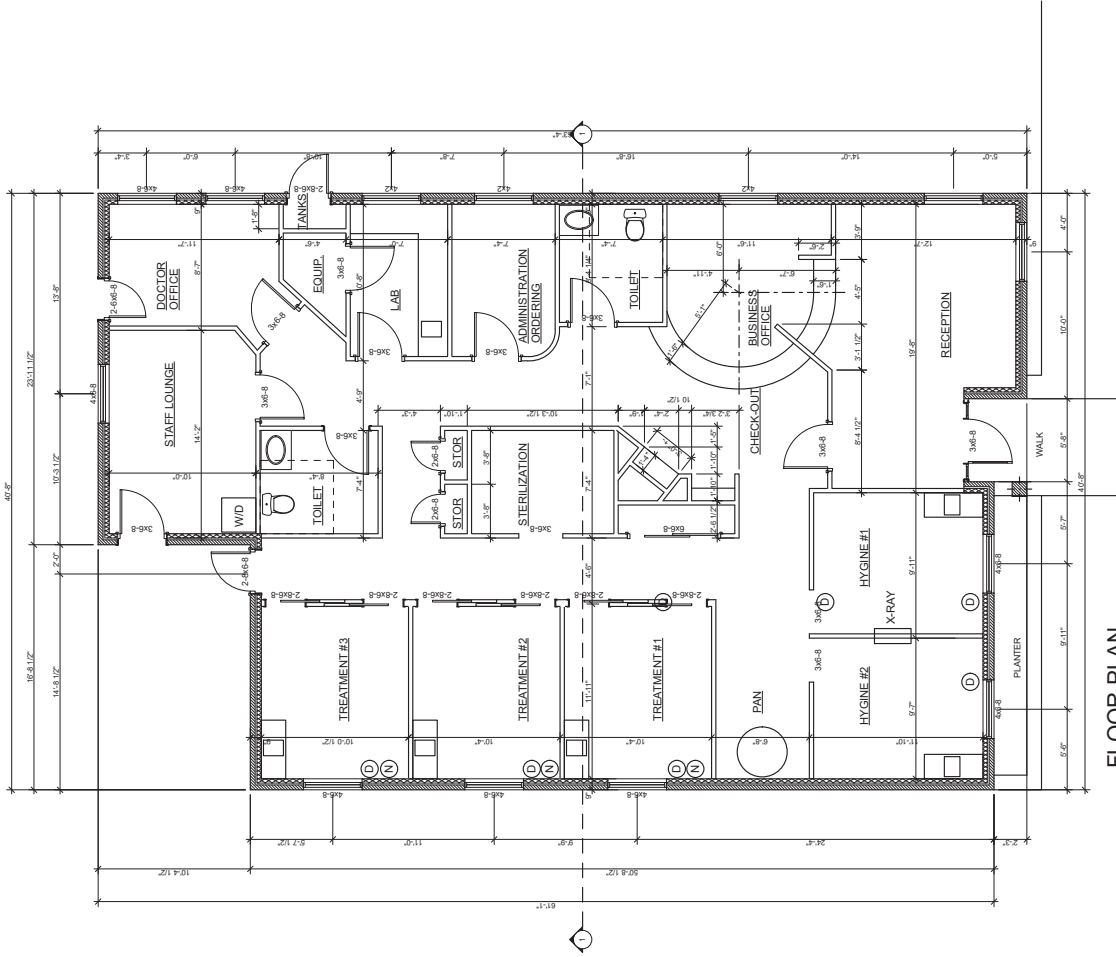
GENERAL  
WOOD FRAME BRICK VEENER  
ASPHALT ROOF  
TOTAL SQUARE FOOTAGE 2,356 sq ft

MODEL CODES CONSIDERED:  
INTERNATIONAL BUILDING CODE 2012  
INTERNATIONAL MECHANICAL CODE 2012  
INTERNATIONAL PLUMBING CODE  
NATIONAL ELECTRICAL CODE 2011  
NFPA 101, LIFE SAFETY CODE  
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

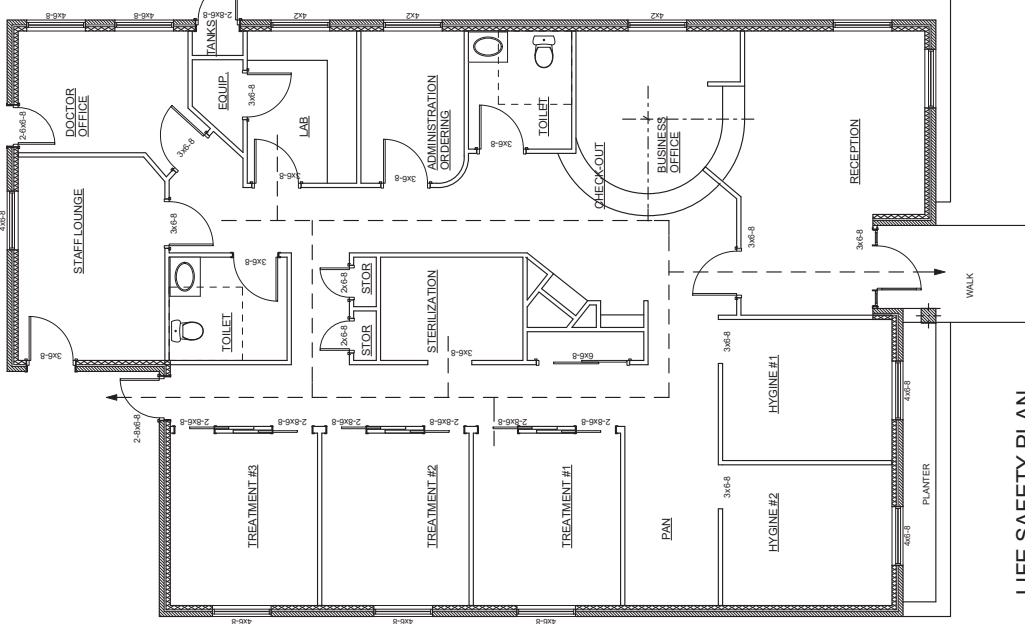
USE / OCCUPANCY:  
ASSEMBLY A-3  
OCCUPANCY 250

CONSTRUCTION:  
GENERAL CONSTRUCTION  
FIRE PROOF EXTERIOR WALL

TRAVEL DISTANCE:  
MAXIMUM TRAVEL DISTANCE 250'



**FLOOR PLAN**  
SCALE: 3/16"=1'-0"



**LIFE SAFETY PLAN**  
SCALE: 1/4"=1'-0"

DATE		SHEET NO <b>2</b>
REV.		
REV.		
REV.		

DENTIST OFFICE FOR  
THOMAS COSGROVE DMS  
VESTAVIA HILLS, ALABAMA

**CITY OF VESTAVIA HILLS  
DESIGN REVIEW BOARD  
APPLICATION**

**I. APPLICANT INFORMATION:**

**Owner of Property (This Section Must Be Completed)**

Name: The Barber Companies  
Address: 27 Inverness Center Parkway  
Birmingham, AL 35242  
Phone #: 205-795-4711 Other #: 205-283-3953  
E-Mail: jthomas@barbercompanies.com

**Representing Attorney/Other Agent**

Name: Jeff Thomas  
Address: 27 Inverness Center Parkway  
Birmingham, AL 35242  
Phone #: 205-795-4711 Other #: 205-283-3953  
E-Mail: jthomas@barbercompanies.com

**II. DESCRIPTION OF PROPERTY:**

LOCATION: 1069 Hwy 31 S  
*Street Address*  
Lot 10-A, resurvey Lots 9-12 and part of 13, Mellow-Lite Farms  
*Subdivision name, Lot #, Block #, etc.*

**III. REASONS FOR REQUEST:**

1. ( ) Preliminary Review
2. (X) Landscape Review
3. ( ) Architectural Review
5. ( ) Final Review of Materials
6. ( ) Other - Explain \_\_\_\_\_

**IV. PROCESS:**

1. ( ) New Building
2. ( ) Renovation of Existing Building
3. ( ) New Landscape Plan
4. (X) Renovation to Existing Landscaping Plan
7. ( ) Other - Explain \_\_\_\_\_

**V. ZONING**

Vestavia Hills Zoning for the subject property is \_\_\_\_\_.

**VI. OWNER AFFIDAVIT:**

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

The Barber Companies Inc  
Owner Signature/Date 2-12-18

[Signature] 2-12-18  
Representing Agent (if any)/date

Given under my hand and seal  
this 12<sup>th</sup> day of February, 20 18.

[Signature]  
Notary Public



My commission expires 19<sup>th</sup>  
day of January, 20 18.

**Review Requirements**

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

- General: Provide fifteen copies plus one 8½" by 11" copy of all drawings or plans required below for review. Drawings must be to scale. These drawings should be turned in with the application.
1. Architectural Review
    - a. Site plan showing roadways, entrances, exits and parking.
    - b. Building elevations showing construction material, material colors, context, and protrusions. Color rendering is preferred. Roof design must be detailed.
    - c. Presentation by architect or owner with knowledge of compatibility with adjacent structures, city context, etc.
  2. Landscape Review
    - a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
    - b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
    - c. Parking lots: Provide calculations of total square footage and square footage designated for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
    - d. Irrigation plan for all landscaped areas.
    - e. Statement of maintenance policy and provisions.



