

CITY OF VESTAVIA HILLS
PLANNING AND ZONING COMMISSION

AGENDA

DECEMBER 14, 2017

6:00 P.M.

Roll Call.

Pledge of Allegiance

Approval of Minutes: November 9, 2017

Preliminary Plats

- (1) **P-1217-59** Wedgeworth Realty, INC Is Requesting **Preliminary Plat Approval For Reeves Property.** The Purpose For This Request Is For 13 New Residential Lots. The Property Is Owned By Wedgeworth Realty, INC and Is Zoned Vestavia Hills R-2 Conservation Subdivision.

Final Plats

(2) **Consent Agenda:**

- A. **P-1217-57** Martin Smith Is Requesting **Final Plat Approval For Resurvey Of Lot 7, Block 2 First Addition To Beacon Hill.** The Purpose For This Request Is To Resurvey Lot Lines. The Property Is Owned By Martin Smith and Is Zoned Vestavia Hills R-3.
- B. **P-1217-60** Culbreth Holding, LLC Is Requesting **Final Plat Approval For Resurvey Of Lots 41 And 42 Topfield Resurvey.** The Purpose For This Request Is To Combine Lots. The Property Is Owned By Culbreth Holding, LLC and Is Zoned Vestavia Hills B-3.
- C. **P-1217-61** Overton Investments, LLC Is Requesting **Final Plat Approval For Resurvey Of Lots 28-A And 28-B Glass's 3rd Addition To New Merkle.** The Purpose For This Request Is To Resurvey Two Lots Into Three. The Property Is Owned By Overton Investments, LLC and Is Zoned Vestavia Hills R-9.
- D. **P-1217-62** Del Vines Is Requesting **Final Plat Approval For Vines Subdivision.** The Purpose For This Request Is To Resurvey One Lot Into Three. The Property Is Owned By Del Vines and Is Zoned Vestavia Hills R-4.
- E. **P-1217-63** Liberty Park Joint Venture LLP Is Requesting **Final Plat Approval For Liberty Park Town Village Commercial Subdivision No. 2.** The Purpose For

This Request Is To Subdivide Acreage Into Three Lots. The Property Is Owned By Liberty Park Joint Venture LLP and Is Zoned Vestavia Hills PB.

- F. **P-1217-64** Liberty Park Joint Venture LLP, Brian Murray, & Jennifer Murray Are Requesting **Final Plat Approval For Vestlake Cove Resurvey No. 4**. The Purpose For This Request Is To Amend Lot Lines. The Property Is Owned By Liberty Park Joint Venture LLP, Brian Murray, & Jennifer Murray and Is Zoned Vestavia Hills PR-1.

Rezoning/Conditional Use Recommendations:

- (3) **P-1217-56** Thomas Holdings II, LLC Is Requesting **Rezoning** for **3122, 3128, 3134, & 3136 Sunview Dr.** from **Vestavia Hills Inst.. B-2, And A** to **Vestavia Hills B-1.2** For The Purpose Of Office Development.
- (4) **P-1217-58** Russell W. Polhemus Is Requesting **Rezoning** for **2301 Old Columbiana Rd.** from **Vestavia Hills Inst-1** to **Vestavia Hills B-2** For The Purpose Of Recreation, Fitness, and Sports Training.

Time of Adjournment.

CITY OF VESTAVIA HILLS
PLANNING AND ZONING COMMISSION

MINUTES

NOVEMBER 9, 2017

6:00 P.M.

The Planning and Zoning Commission of the City of Vestavia Hills met in regular session on this date at 6:00 P.M. following posting/publication as required by Alabama law. The roll was called with the following:

MEMBERS PRESENT: Lyle Larson, Chairman
Cheryl Cobb
Brian Wolfe
Deloye Burrell
Blaine House
Fred Goodwin

MEMBERS ABSENT: Jim Brooks
Rusty Weaver
Greg Gilchrist

OTHER OFFICIALS PRESENT: Conrad Garrison, City Planner
Christopher Brady, City Engineer

APPROVAL OF MINUTES

Mr. Larson stated that the minutes of the meeting of October 12, 2017 are presented for approval.

MOTION Motion to approve minutes as presented was by Mr. House and second was by Mr. Burrell. Voice vote as follows:

Mr. Goodwin– yes
Mr. Wolfe – yes
Mr. House – yes
Motion carried

Mr. Burrell – yes
Mrs. Cobb – abstained
Mr. Larson – yes

Preliminary Plats:

- (1) **P-1117-53** Liberty Park Joint Venture, LLP Is Requesting **Preliminary Plat Approval For Liberty Park Town Village Residential Phase 1.** The Purpose For This Request Is A 53 Lot Residential Lots. The Property Is Owned By Liberty Park Joint Venture, LLP and Is Zoned Vestavia Hills PR-1.

Mr. Garrison explained the background and location of the request and went over the conditions staff recommended for approval.

James Parsons and Shawn Arterburn were present to explain the plat.

Mr. Larson opened the floor for a public hearing. There being no one to address the Commission concerning this request, Mr. Larson closed the public hearing and opened the floor for a motion.

MOTION Mr. Burrell made a motion to approve Preliminary Plat Approval For Liberty Park Town Village Residential Phase 1. Second was by Mr. House. Motion was carried on a roll call; vote as follows:

Mr. Goodwin– yes	Mr. Burrell – yes
Mr. Wolfe – yes	Mrs. Cobb – yes
Mr. House – yes	Mr. Larson – yes
Motion carried	

Consent Agenda/Final Plats:

- A. **P-1117-54** Liberty Park Joint Venture LLP Is Requesting **Final Plat Approval For Amended Map Of The Overlook.** The Purpose For This Request Is To Amend Setbacks. The Property Is Owned By Liberty Park Joint Venture LLP and Is Zoned Vestavia Hills PR-1.

MOTION Mr. Wolfe made a motion to approve item A. Second was by Mr. House. Motion was carried on a roll call; vote as follows:

Mr. Goodwin– yes	Mr. Burrell – yes
Mr. Wolfe – yes	Mrs. Cobb – yes
Mr. House – yes	Mr. Larson – yes
Motion carried	

- B. **P-1117-55** Liberty Park Joint Venture LLP Is Requesting **Final Plat Approval For Liberty Park Maintenance Building Survey.** The Purpose For This Request Is To Create Two Lots From Acreage. The Property Is Owned By Liberty Park Joint Venture LLP and Is Zoned Vestavia Hills PR-1.

Shawn Arterburn was present to explain the plat.

Andy Joiner asked to see the plat and then stated he had no opposition to the request.

MOTION Mr. House made a motion to approve item B. Second was by Mr. Burrell. Motion was carried on a roll call; vote as follows:

Mr. Goodwin– yes	Mr. Burrell – yes
Mr. Wolfe – yes	Mrs. Cobb – yes
Mr. House – yes	Mr. Larson – yes
Motion carried	

Rezoning/Conditional Use Recommendations:

P-1117-52 Joseph Morad Is Requesting **Rezoning** for **4521 Pine Tree Cir.** from **Vestavia Hills R-1 to Vestavia Hills O-1** For The Purpose Of Office Development.

Mr. Garrison explained the background and location of the request and went over the conditions staff recommended for approval.

Joseph Morad explained the rezoning and development plan. The office would be a specialty plasma clinic that only takes appointments.

Mr. Larson opened the floor for a public hearing. There being no one to address the Commission concerning this request, Mr. Larson closed the public hearing and opened the floor for a motion.

MOTION Mr. Goodwin made a motion to recommend rezoning approval of 4521 Pine Tree Cir. from Vestavia Hills R-1 to Vestavia Hills O-1. Second was by Mrs. Cobb. Motion was carried on a roll call; vote as follows:

Mr. Goodwin– yes	Mr. Burrell – yes
Mr. Wolfe – yes	Mrs. Cobb – yes
Mr. House – yes	Mr. Larson – yes
Motion carried	

Conrad Garrison, City Planner

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: DECEMBER 14, 2017

- **CASE:** P-1217-59
- **REQUESTED ACTION:** Preliminary Plat Approval For Reeves Property
- **ADDRESS/LOCATION:** 1644 Shades Crest Rd.
- **APPLICANT/OWNER:** Wedgeworth Realty, INC
- **REPRESENTING AGENT:** Mike Wedgeworth
- **GENERAL DISCUSSION:** Preliminary plat is for a 13 lot R-2 Conservation subdivision with one street. Detailed plans have been submitted to the Engineering Dept. for review.
- **VESTAVIA COMPREHENSIVE PLAN:** The request is consistent with the Comprehensive Plan for Neighborhood, Low/Medium Density Residential.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted
 4. **Building Safety Review:** No problems noted

**CITY OF VESTAVIA HILLS
PLANNING AND ZONING COMMISSION
PRELIMINARY MAP APPLICATION**

II. APPLICANT INFORMATION: (owner of property)

NAME: Wedgworth Realty, Inc.

ADDRESS: 4154 Crosshaven Drive
Birmingham, Alabama 35243

MAILING ADDRESS (if different from above) _____

PHONE NUMBER: Home _____ Cell 205 365-4344 Office 205 379-6051

NAME OF REPRESENTING ATTORNEY OR OTHER AGENT: _____
Michael W Wedgworth

III. ACTION REQUESTED

Preliminary Plat Approval

Explain reason for the request: New develop engineering and construction approval

if additional information is needed, please attached full description of request

IV. PROPERTY DESCRIPTION: (address, legal description, etc.)

1644 Shades Crest Road

Property size: See Survey feet X _____ feet. Acres: 5.02 Acres

VI. ZONING/REZONING:

The above described property is presently zoned: Jefferson County R-1 as if date if this application. We are requesting Vestavia R-2 Conservation Easment on November 27, 2017.

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

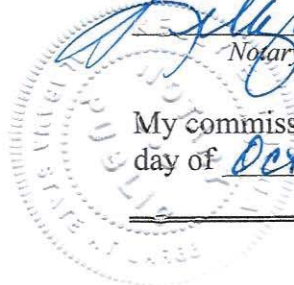
Michael W. Wegmont
Owner Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this 17TH day of November, 20 17.

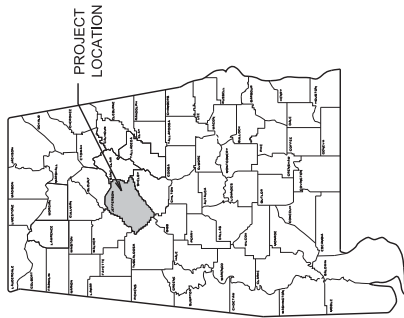
Kyle E. Ingua
Notary Public

My commission expires ~~25TH~~
day of October, 20 21.



DRAWING INDEX

DRAWING No.	SHEET No.	DESCRIPTION
GN-1	1	COVER SHEET, SITE LOCATION, AND DRAWING INDEX
GN-2	2	STANDARD LEGEND AND ABBREVIATIONS
GN-3	3	GENERAL NOTES
SN-1	4	EXISTING SURVEY
DM-1	5	DEMOLITION PLAN
PL-1	6	PRELIMINARY PLAT
GN-4	7	ROADWAY GEOMETRY PLAN
GR-1	8	GRADING AND EROSION CONTROL PLAN
DR-1	9	DRAINAGE PLAN
ST-1	10	STORM SEWER PROFILES - LINES SL-1, SL-2, AND ST-3
WT-1	11	WATER LINE PLAN
SS-1	12	SANITARY SEWER PLAN AND PROFILE
SC-1	13	STRIPING, CONDUIT, AND SIGNAGE PLAN
EP-1	14	EROSION CONTROL DETAILS
DP-2	15	SEWER DETAILS
DT-3	16	MISCELLANEOUS DETAILS
DT-4	17	MISCELLANEOUS DETAILS
DT-5	18	MISCELLANEOUS DETAILS



COUNTY LOCATION
SCALE: NONE

REEVES PROPERTY

VESTAVIA HILLS, ALABAMA

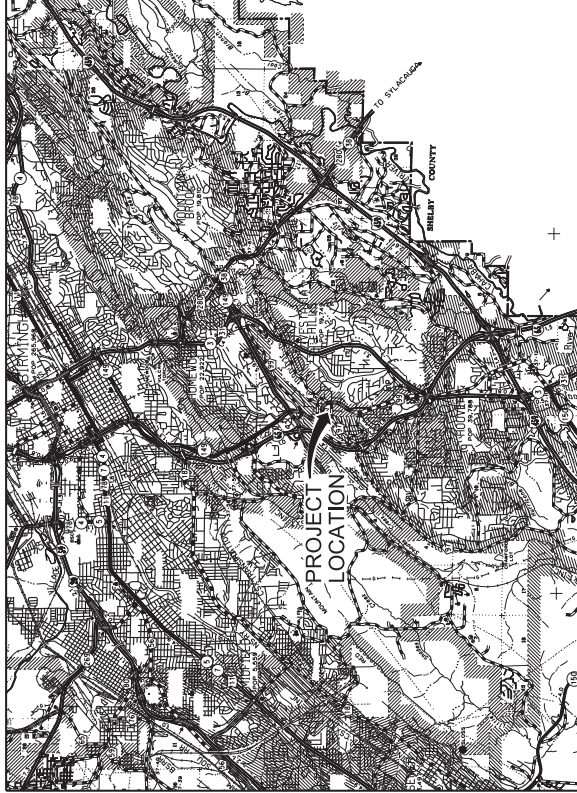
PREPARED BY:



**INSITE
ENGINEERING**

INSITE ENGINEERING, LLC.

5800 FELDSPAR WAY
HOOVER, ALABAMA 35244
OFFICE (205) 733-9696
FAX (205) 733-9697



LOCATION MAP
SCALE: NONE



**INSITE
ENGINEERING**

5800 FELDSPAR WAY
HOOVER, ALABAMA 35244
OFFICE (205) 733-9696
FAX (205) 733-9697

CIVIL / GIS
INFRASTRUCTURE
ENVIRONMENTAL
COMMERCIAL
RESIDENTIAL

CONSTRUCTION PLANS FOR:
**REEVES
PROPERTY**
VESTAVIA HILLS, ALABAMA

ISSUED
FOR
APPROVAL

PROJECT INFO:
INSITE JOB No. 11071.00
PLOTTED: 11/20/17



THIS SHEET CONTAINS:
COVER SHEET,
GENERAL NOTES,
AND DRAWING
INDEX

SCALE: NONE
SHEET 1 OF 18

GN-1

ABBREVIATIONS

ACQD	ACQUIRED	AC	ACRE	ALDOT	ALABAMA DEPARTMENT OF TRANSPORTATION	AVE	AVENUE	BM	BENCHMARK	BUILD	BUILDING	BLVD	BOULEVARD	CP	CAST IRON PIPE	CL	CLASS	CONC	CONCRETE	COR	CORNER	CFS	CUBIC FEET PER SECOND	CY	CUBIC YARD	C & G	CURB AND GUTTER	Q	DESIGN FLOW	DIST	DISTANCE	DBL	DOUBLE	DA	DRAINAGE AREA	DI	DUCTILE IRON PIPE	ESMT	EASEMENT	EL	ELEVATION	F	FLOW LINE	FS	FEET PER SECOND	GAL	GALLON	GPM	GALLONS PER MINUTE	GPD	GALLONS PER DAY	HWL	HEADWALL	HWEL	HEADWATER ELEVATION	HP	HIGH POINT	HWL	HIGH WATER LEVEL	HORIZ	HORIZONTAL	INV	INVERT	JCT	JUNCTION	JB	JUNCTION BOX	LF	LINEAR FEET	LP	LOW POINT	MB	MAIL BOX	MH	MANHOLE	MP	MILEPOST	MGD	MILLION GALLONS PER DAY	NWL	NORMAL WATER LEVEL	N	NORTHING	PC	POINT OF CURVATURE	PI	POINT OF INTERSECTION	POT	POINT OF TANGENCY	POT	POINT ON TANGENT	P	POUND	RR	RAILROAD	R	RANGE	RCP	REINFORCED CONCRETE PIPE	REQD	REQUIRED	ROW	RIGHT OF WAY	RD	ROAD	SS	SANITARY SEWER	SEC	SECTION	SHLR	SHOULDER	SD	SIDE DRAIN	SY	SQUARE YARD	STA	STATION	ST	TEMPORARY BENCH MARK	T	TOWNSHIP	VERT	VERTICAL	VLF	VERTICAL FEET	VPC	VERTICAL POINT OF CURVE	VPI	VERTICAL POINT OF INTERSECTION	VPT	VERTICAL POINT OF TANGENT	VCP	VERTIFIED CLAY PIPE	WL	WATER LEVEL	WMN	WATER MAIN
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STANDARD LEGEND

EXISTING	PROPOSED	UTILITIES	EXISTING	PROPOSED	UTILITIES

811
Know what's below,
Call before you dig!

INSITE ENGINEERING
1000 FELDPAUS WAY
HOUSTON, TEXAS 77054
OFFICE (281) 733-0884
CELL (281) 733-0884
FAX (281) 733-0887

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ENVIRONMENTAL
COMMERCIAL
RESIDENTIAL

CONSTRUCTION PLANS FOR:
REEVES PROPERTY
VESTAVIA HILLS, ALABAMA

ISSUED FOR APPROVAL

PROJECT INFO:
INSITE JOB No. 11071.00
PLOTTED: 11/20/17

THIS SHEET CONTAINS:
STANDARD LEGEND
AND ABBREVIATIONS

SCALE: NONE
SHEET 2 OF 18

GN-2



PROJECT INFO:
INSITE JOB No. 11071.00
PLOTTED: 11/20/17

THIS SHEET CONTAINS:
GENERAL NOTES

SCALE: NONE
SHEET 3 OF 18
GN-3

EROSION CONTROL PLAN AND PERFORMANCE STANDARDS

1. THE EROSION CONTROL PLAN SHALL CONTAIN A DESCRIPTION OF THE EXISTING SITE CONDITIONS, A DESCRIPTION OF ADJACENT TOPOGRAPHICAL FEATURES, INFORMATION NECESSARY TO DETERMINE THE EROSION QUALITIES OF THE SOIL ON THE SITE, POTENTIAL PROBLEMS OF SOIL EROSION AND SEDIMENTATION, SOIL STABILIZATION PROJECTED TO OCCUR, AND THE SCHEDULE FOR COMMENCEMENT AND COMPLETION OF THE LAND-DISTURBING ACTIVITY, SPECIFICATIONS FOR BMP PLAN MAINTENANCE DURING THE PROJECT AND AFTER THE COMPLETION OF THE PROJECT, AND THE SCHEDULE FOR MAINTENANCE OF THE BMP PLAN INFORMATION NEEDED TO DEPICT ACCURATELY THE SOLUTIONS TO POTENTIAL SOIL EROSION AND SEDIMENTATION PROBLEMS TO THE MSA. THE CONTROL PLAN SHALL INCLUDE THE SERIES OF BMP'S AND SHALL BE REVIEWED BY THE MSA PRIOR TO THE APPROVAL OF THE OFFICIAL PRIOR TO THE ISSUANCE OF THE PERMIT.

2. CONTROL MEASURES SHALL BE MAINTAINED AS AN EFFECTIVE BARRIER TO SEDIMENTATION AND EROSION IN ACCORDANCE WITH THIS PLAN.

3. THERE SHALL BE NO DISTINCTLY VISIBLE FLOATING SOLID, OIL, OR OTHER MATTER CONTAINED IN THE STORM WATER DISCHARGE. THE STORM WATER DISCHARGE TO AN MSA MUST NOT CAUSE AN UNNATURAL COLOR OR ODOUR TO THE RECEIVING WATER BODY. THE DISCHARGE SHALL BE FOR THE PURPOSE OF ENVIRONMENTAL STUDIES AND WHICH DO NOT HAVE HARMFUL EFFECT ON THE BODIES OF WATER WITHIN THE MSA OR OODR IN THE COMMUNITY WATERS. THE STORM WATER DISCHARGE TO THE MSA SHALL BE FREE OF SOLID MATTER, INCLUDING BUT NOT LIMITED TO, HAZARDOUS OR OTHERWISE DETERMINED TO HARMFUL TO HUMANS, LIVESTOCK, WILDLIFE, PLANT LIFE OR FISH AND AQUATIC LIFE IN THE COMMUNITY WATERS.

EROSION CONTROL SEQUENCE

ALL CONSTRUCTION SHALL BE DONE IN A LOGICAL SEQUENCE SO TO MINIMIZE THE AREA OF DISTURBANCE.

- OBTAIN REQUIRED PERMITS.
- STAKE PROPERTY LINES AND CLEARING LIMITS.
- SELECTIVELY CLEAR PATHS AS REQUIRED TO INSTALL SILT FENCING AND PERMETER EROSION CONTROL MEASURES.
- INSTALL SILT FENCES ALONG SIDE SLOPE BOUNDARIES.
- INSTALL STORM DRAINAGE DRIVE.
- PROTECT STORM DRAIN INLETS DOWNSTREAM OF CONSTRUCTION WITH HAY BALES, WATTLE, SILT FENCE AND/OR OTHER PROTECTIVE MEASURES.
- INSTALL OTHER REQUIRED EROSION CONTROL MEASURES DOWNSTREAM OF PROJECT AREA.
- PERFORM CLEARING AND GRUBBING.
- INSTALL SILT FENCE AROUND STOCKPILES.
- BEGIN EARTHWORK AND CONSTRUCT PROJECT.
- MOEVE AND MAINTAIN EROSION CONTROL AS REQUIRED DURING CONSTRUCTION.
- INSPECT ALL EROSION CONTROL MEASURES AFTER EVERY 0.50" RAINFALL. REPAIR OR REPLACE AS NECESSARY TO MAINTAIN EFFECTIVE EROSION CONTROL. PROPER AUTHORITIES IN ACCORDANCE WITH APPLICABLE PERMITS.
- TEMPORARILY OR PERMANENTLY STABILIZE STRIPPED AREAS AND STOCKPILES LEFT INACTIVE FOR 14 OR MORE CALENDAR DAYS.
- REMOVE ANY SEDIMENT REACHING PUBLIC OR PRIVATE ROADWAYS BY STREET CLEANING BEFORE THE END OF EACH DAY. FLUSHING OF STREETS WILL NOT BE ALLOWED.
- INSTALL TEMPORARY SEDIMENTATION PONDS OR DIVERSION BERM AS NEEDED TO CONTROL THE FLOW OF WATER AND COLLECTION OF SEDIMENT DURING THE PROJECT.
- COMPLETE FINE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
- COMPLETE FINAL PAVING FOR ROADS.
- REMOVE SILT FENCE UPON COMPLETION OF ALL CONSTRUCTION ACTIVITY.
- RESEED AND STABILIZE ANY BARE SPOTS OR WASHWAYS.
- TERMINATE ALL PERMITS.

GENERAL NOTES

- CONTRACTOR SHALL COORDINATE BETWEEN ARCHITECTURAL, MECHANICAL, STRUCTURAL, ELECTRICAL, AND OTHER DRAWINGS. ANY DISCREPANCIES BETWEEN DRAWINGS OF DIFFERENT DISCIPLINES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- UNDERGROUND UTILITY LOCATIONS SHOWN ARE FROM UTILITY COMPANY RECORDS OR FROM LINE LOCATOR MARKS AND ARE SHOWN IN ACCORDANCE WITH THE RECORDS OF THE UTILITY COMPANY. THE EXTENT, LOCATION, SIZE AND TYPE OF ANY AND ALL UTILITY LINES PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES AS A RESULT OF HIS CONSTRUCTION OPERATIONS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION METHODS, SEQUENCES, PROCEDURES AND JOB SITE SAFETY. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO MAINTAIN AND PROTECT THE EXISTING UTILITIES AND STRUCTURES AND TO PROTECT THE RIGHTS OF THE ENGINEER ASSUMES NO LIABILITY FOR SAFETY ON THE JOB SITE.
- ALL UTILITIES WITHIN ROADWAY SHALL BE BACKFILLED COMPLETELY WITH MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER OR THE GOVERNING AUTHORITY.
- ALL AREAS WHICH WILL LIE UNDER NEW STRUCTURES, PAVING, CONCRETE, OR OTHER SURFACES SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY.
- ALL PERMITS, OTHER THAN THOSE LISTED IN THE SPECIFICATIONS, FOR THE DEVELOPMENT OF THESE PLANS ARE THE CONTRACTORS RESPONSIBILITY. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ON SITE DURING THE CONSTRUCTION OF THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND LEGAL DISPOSAL OF ALL MATERIALS AND DEBRIS NOT ACCEPTABLE TO THE OWNER.
- CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER CONCURRENT WORK BEING PERFORMED IN THE AREA.

GRADING NOTES

- CONTRACTOR SHALL MAINTAIN 2% SLOPE ON ALL SIDEWALKS.
- EMBANKMENTS WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN MAX. 10' LIFTS AND MIN. 98% COMPACTION (ASHOTO T - 180) UNLESS OTHERWISE DIRECTED BY GEOTECHNICAL ENGINEER.
- NO WORK TO BE DONE IN EITHER ALDUT OR COUNTY RIGHT-OF-WAY UNTIL ALL APPROPRIATE PERMITS ARE PROVIDED TO THE CITY.
- CITY ENGINEERS TO BE PROVIDED AT LEAST 48 HOURS NOTICE PRIOR TO THE STARTING OF EACH PHASE OF WORK.
- ALL PERMITS/APPROVALS BY ADEM, ADOOT, FEMA, CORPS OF ENGINEERS WILL BE REQUIRED PRIOR TO DISTURBING AREAS UNDER JURISDICTIONS OF SUCH PERMITS.
- THERE SHALL BE NO LAND DISTURBING ACTIVITY UNTIL PROOF OF ADEM NOR COVERAGE IS PROVIDED TO THE CITY AND ADEQUATE EROSION CONTROL MEASURES ARE IN PLACE.
- ELEVATIONS SHOWN ARE FINISHED GRADE. THE CALCULATION OF THE APPROPRIATE SURGRADE ELEVATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY ALL ELEVATIONS IN ACCORDANCE WITH THE SURFACE TREATMENT CALL FOR ON THESE PLANS (I.E. ASPHALT PAVEMENT, CONCRETE PAVEMENT, SIDEWALK, TOPSOIL, ETC.) AND THE RELATED SECTIONS OR DETAILS.
- CONTRACTOR SHALL TIE PROPOSED PAVING INTO EDGE OF EXISTING PAVING. CONTRACTOR SHALL ADJUST CROSS SECTION AS REQUIRED TO ENSURE SMOOTH PAVEMENT TRANSITIONS AND POSITIVE DRAINAGE. CURB AND GUTTER SHALL BE WORKMANLIKE, SMOOTH, AND ENSURE POSITIVE DRAINAGE.
- ALL CUT AND FILL SIDE SLOPES ARE 2:1 UNLESS NOTED OTHERWISE UNLESS OTHERWISE DIRECTED BY GEOTECHNICAL ENGINEER.
- CLEARING LIMITS TO BE 5' OUTSIDE OF TOE AND TOP OF SLOPE.
- CONTRACTOR SHALL OVER EXCAVATE ALL PONDS BY ADEQUATE AMOUNT IN ORDER TO ALLOW FOR SEDIMENTATION OF THE WATER ENTERING THE POND. THE CONTRACTOR SHALL SUBMIT A DRAINAGE PLAN WITH DETAILS DETAILED ON SHEETS P041 UPON COMPLETION AND STABILIZATION OF THE SITE.
- DIMENSIONS AND FINISH ARE SHOWN TO EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
- ELEVATION SPOTS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED

EROSION CONTROL NOTES

- ALL EROSION CONTROL PERMITS FOR THE BASIS OF THESE PLANS SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY GROUND DISTURBANCE.
- EROSION CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO BEGINNING ANY OTHER CONSTRUCTION ON THE JOB SITE.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING, MAINTAINING AND REMOVING ALL EROSION AND SEDIMENT CONTROLS IN ACCORDANCE WITH THE SPECIFICATIONS AND THE SCHEDULE FOR MAINTENANCE OR REQUIRED BY LOCAL, STATE, AND/OR FEDERAL REGULATORY AUTHORITIES.
- THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THESE DRAWINGS ARE CONSIDERED THE MINIMUM ACCEPTABLE AND SHALL BE MODIFIED IN THE FIELD AS NECESSARY TO COMPLY WITH LOCAL, STATE, AND/OR FEDERAL REQUIREMENTS.
- EROSION CONTROL MEASURES MUST BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED AND THE NPDES PERMIT IS TERMINATED.
- ALL DISTURBED AREAS NOT SHOWN TO BE LANDSCAPED SHALL BE SEEDS & MULCHED AS PER LOCAL STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS RELATING TO THE ONSITE STORAGE OF FUEL, OIL, AND GREASE. AN SPCC PLAN MUST BE MAINTAINED AND IMPLEMENTED ON SITE.
- STREAMS SHALL NOT BE USED AS TRANSPORTATION ROUTES FOR HEAVY EQUIPMENT. CROSSINGS SHALL BE LIMITED TO ONE POINT AND EROSION CONTROL MEASURES MUST BE UTILIZED WHERE STREAM BANKS AND DRAINAGE DITCHES ARE OBSI DURED.

PROJECT SPECIFIC NOTES

- A SUBSURFACE INVESTIGATION HAS NOT BEEN DONE. INSITE ENGINEERING, INC. HAS CONDUCTED A DETAILED DRAINAGE REPORT. THIS INFORMATION IS AVAILABLE TO THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN FURTHER INFORMATION SEE THE APPROPRIATE FEMA FLOOD PANEL.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT SUBDIVISION REGULATIONS AND DESIGN STANDARDS OF THE GOVERNING AUTHORITY.
- CONTRACTOR IS RESPONSIBLE FOR BUILDING STEPS FREE OF DRAINAGE PROBLEMS DUE TO ANY DEVIATION FROM THE DESIGN PLANS.
- CONTRACTOR IS RESPONSIBLE FOR ANY DRAINAGE EASEMENT OUTSIDE THE PUBLIC RIGHT-OF-WAY.
- THE GOVERNING AUTHORITY IS NOT. NOR EVER WILL BE RESPONSIBLE FOR MAINTENANCE OF PRIVATE ROADS, EASEMENTS, OR AREAS OFF PUBLIC RIGHTS OF WAY.
- CONTRACTOR SHALL NOTIFY GOVERNING AUTHORITIES A MINIMUM OF 24 HOURS PRIOR TO BEGINNING ANY WORK WITHIN THE RIGHT-OF-WAY OF EXISTING ROADS.
- ALL FEMA USAGE, COUNTY, AND/OR STATE PERMITS SHALL BE IN HAND AND ON SITE DURING THE CONSTRUCTION OF THE PROJECT.
- A SIGNED AND SEALED COPY OF THE PLANS SHALL BE MAINTAINED ON SITE AND MADE READILY AVAILABLE FOR THE DURATION OF THE CONSTRUCTION.
- CONTRACTOR SHALL KEEP A NUMBER OF SET OF PLANS SHOWING ALL CHANGES, DIMENSIONS, ETC. TO BE PROVIDED TO THE ENGINEER AFTER THE JOB IS COMPLETE AND CAPABLE OF BEING UTILIZED AS AS-BUILT DRAWINGS FOR FUTURE LOCATES.

CONSTRUCTION PLANS FOR VESTALVA HILLS, ALABAMA

REVEYS PROPERTY

ISSUED FOR APPROVAL

PROJECT INFO:
INSITE JOB No. 11071.00
PLOTTED: 11/20/17

THIS SHEET CONTAINS:
GENERAL NOTES

SCALE: NONE
SHEET 3 OF 18
GN-3

EROSION CONTROL SEQUENCE

ALL CONSTRUCTION SHALL BE DONE IN A LOGICAL SEQUENCE SO TO MINIMIZE THE AREA OF DISTURBANCE.

- OBTAIN REQUIRED PERMITS.
- STAKE PROPERTY LINES AND CLEARING LIMITS.
- SELECTIVELY CLEAR PATHS AS REQUIRED TO INSTALL SILT FENCING AND PERMETER EROSION CONTROL MEASURES.
- INSTALL SILT FENCES ALONG SIDE SLOPE BOUNDARIES.
- INSTALL STORM DRAINAGE DRIVE.
- PROTECT STORM DRAIN INLETS DOWNSTREAM OF CONSTRUCTION WITH HAY BALES, WATTLE, SILT FENCE AND/OR OTHER PROTECTIVE MEASURES.
- INSTALL OTHER REQUIRED EROSION CONTROL MEASURES DOWNSTREAM OF PROJECT AREA.
- PERFORM CLEARING AND GRUBBING.
- INSTALL SILT FENCE AROUND STOCKPILES.
- BEGIN EARTHWORK AND CONSTRUCT PROJECT.
- MOEVE AND MAINTAIN EROSION CONTROL AS REQUIRED DURING CONSTRUCTION.
- INSPECT ALL EROSION CONTROL MEASURES AFTER EVERY 0.50" RAINFALL. REPAIR OR REPLACE AS NECESSARY TO MAINTAIN EFFECTIVE EROSION CONTROL. PROPER AUTHORITIES IN ACCORDANCE WITH APPLICABLE PERMITS.
- TEMPORARILY OR PERMANENTLY STABILIZE STRIPPED AREAS AND STOCKPILES LEFT INACTIVE FOR 14 OR MORE CALENDAR DAYS.
- REMOVE ANY SEDIMENT REACHING PUBLIC OR PRIVATE ROADWAYS BY STREET CLEANING BEFORE THE END OF EACH DAY. FLUSHING OF STREETS WILL NOT BE ALLOWED.
- INSTALL TEMPORARY SEDIMENTATION PONDS OR DIVERSION BERM AS NEEDED TO CONTROL THE FLOW OF WATER AND COLLECTION OF SEDIMENT DURING THE PROJECT.
- COMPLETE FINE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
- COMPLETE FINAL PAVING FOR ROADS.
- REMOVE SILT FENCE UPON COMPLETION OF ALL CONSTRUCTION ACTIVITY.
- RESEED AND STABILIZE ANY BARE SPOTS OR WASHWAYS.
- TERMINATE ALL PERMITS.



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INFRASTRUCTURE
ENVIRONMENTAL
COMMERCIAL
RESIDENTIAL

CONSTRUCTION PLANS FOR:
REEVES PROPERTY
VESTAVIA HILLS, ALABAMA

ISSUED FOR APPROVAL

PROJECT INFO:
INSITE JOB No. 11071.00
PLOTTED: 11/20/17



THIS SHEET CONTAINS:
DEMOLITION PLAN

SCALE: 1" = 30'
SHEET 5 OF 18

DM-1



CONTRACTOR TO REMOVE AND DISPOSE OF EXISTING BUILDING AND CONCRETE PAVEMENT. ENSURE A SMOOTH TRANSITION.

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RESIDENTIAL

REEVES CONSTRUCTION PLANS FOR: PROPERTY VESTAVIA HILLS, ALABAMA

ISSUED
FOR
APPROVAL

PROJECT INFO:
INSITE JOB NO. 11071.00
PLOTTED: 11/20/17

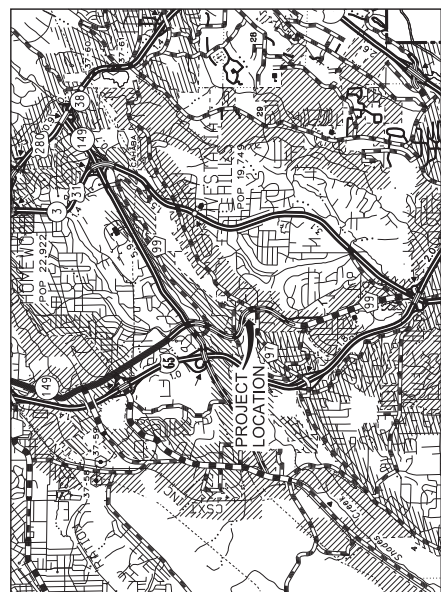
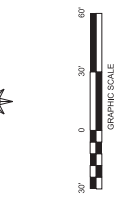
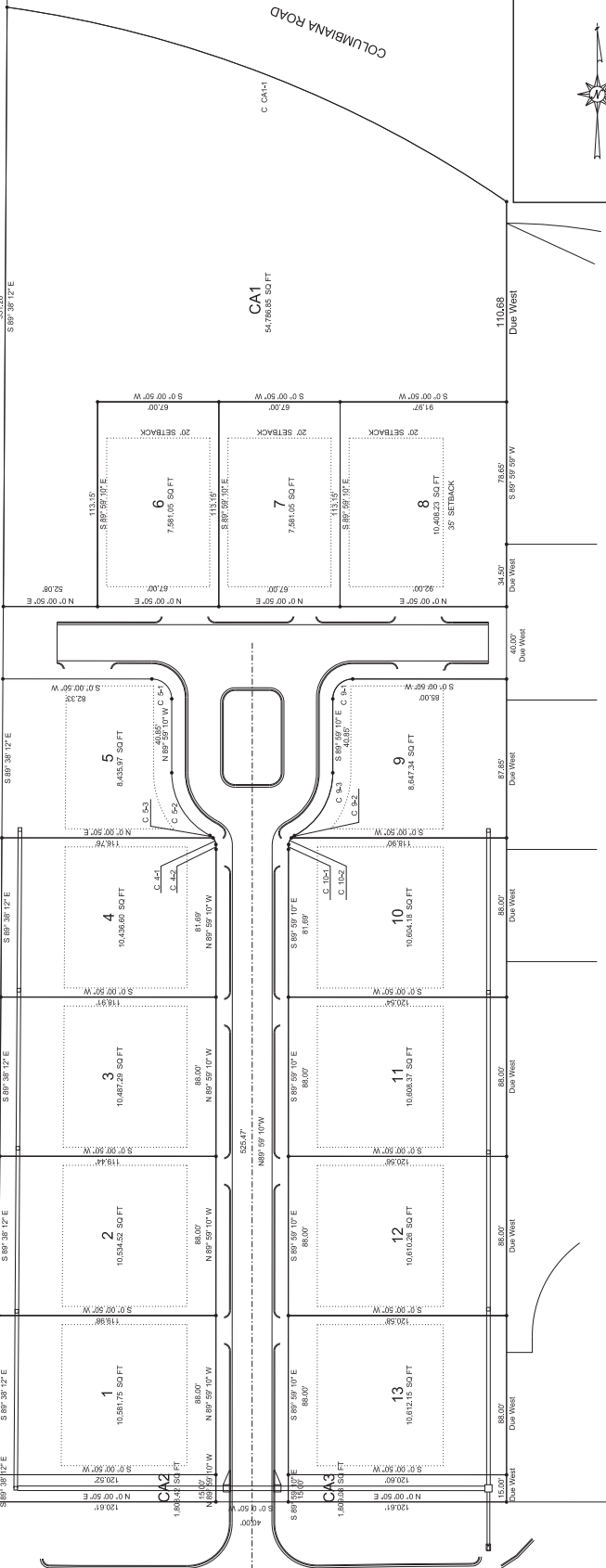


THIS SHEET CONTAINS
PRELIMINARY PLAT

SCALE: 1" = 30'

PL-1

NAME	RADIUS	LENGTH	CHORD	BEARING	DELTA
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4	5.1	11.00	10.82	S 87.34 S 87.34 W	36.84 116.67 RT
5	5.1	11.00	10.82	S 87.34 S 87.34 W	36.84 116.67 RT
6	5.1	11.00	10.82	S 87.34 S 87.34 W	36.84 116.67 RT
7	5.1	11.00	10.82	S 87.34 S 87.34 W	36.84 116.67 RT
8	5.1	11.00	10.82	S 87.34 S 87.34 W	36.84 116.67 RT
9	5.1	11.00	10.82	S 87.34 S 87.34 W	36.84 116.67 RT
10	5.1	11.00	10.82	S 87.34 S 87.34 W	36.84 116.67 RT
11	5.1	11.00	10.82	S 87.34 S 87.34 W	36.84 116.67 RT
12	5.1	11.00	10.82	S 87.34 S 87.34 W	36.84 116.67 RT
13	5.1	11.00	10.82	S 87.34 S 87.34 W	36.84 116.67 RT
14	5.1	11.00	10.82	S 87.34 S 87.34 W	36.84 116.67 RT
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25	5.1	11.00	10.82	S 87.34 S 87.34 W	36.84 116.67 RT
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31	5.1	11.00	10.82	S 87.34 S 87.34 W	36.84 116.67 RT
32	5.1	11.00	10.82	S 87.34 S 87.34 W	36.84 116.67 RT
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98	5.1	11.00	10.82	S 87.34 S 87.34 W	36.84 116.67 RT
99	5.1	11.00	10.82	S 87.34 S 87.34 W	36.84 116.67 RT
100	5.1	11.00	10.82	S 87.34 S 87.34 W	36.84 116.67 RT



TOTAL AREA = 5.22 ACRES
TOTAL EQUIVALENT BREAKDOWN = 2.89 LOTS/AKRE

PROPERTY LOCATED:
SECTION 27 TOWNSHIP 18 SOUTH RANGE 3 WEST
JEFFERSON COUNTY AL

ENGINEERS:
INSITE ENGINEERING, LLC
5900 FELDERS WAY
HOUSTON, TX 77054
SURVEYOR:
SURVEYING SOLUTIONS, INC.
25500 JAMES VALLEY DRIVE SUITE M
BIRMINGHAM, AL 35242
OWNER:
MIKE MCKINNON
WEDGORTH REALTY INC
BIRMINGHAM AL 35243
20599-2581

PROPERTY ZONED: R-2 CONSERVATION
FRONT YARD SETBACK: 5' FROM EOP
REAR YARD SETBACK: 5' FROM EOP
SIDE YARD SETBACK: 5'
OR AS NOTED

- THE MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER SUPPLY LINES AND SANITARY SEWER LINES IS 5 FEET.
- ALL UTILITY TRENCHES OUTSIDE OF THE ROADWAY SHALL BE BACKFILLED WITH SUITABLE FILL AND COMPACTED TO 95% OF OPTIMUM MOISTURE CONTENT IN 4" LOOSE LIFTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL TO THE RIGHT OF WAY LINE.
- DRIVEWAYS WILL BE INSTALLED AFTER THE HOUSE IS POSITIONED ON THE LOT.
- ALL EASEMENTS WITHIN AND WITHOUT SHALL BE INSTALLED WITHIN 5 DAYS OF THE START OF CONSTRUCTION.
- ALL EMBANKMENTS SHALL BE INSTALLED IN MAX 10' LIFTS WITH 5% MINIMUM COMPACTION.
- STOP BAR AND CENTERLINE STRIPING SHALL BE INSTALLED AFTER FINAL SEAL COAT INSTALLATION.
- ALL UTILITIES TO BE INSTALLED UNDERGROUND.
- ALL PONDS, GREEN SPACE, OPEN SPACE, IRRIGATION, AND LANDSCAPING SHALL BE INSTALLED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- ALL EASEMENTS OUTSIDE OF ALOM SHALL BE MAINTAINED BY EACH PROPERTY OWNER.
- NO FENCES ALLOWED TO BLOCK DRAINAGE EASEMENTS.
- NO FENCES ALLOWED ON EASEMENTS.
- ALL ITEMS HAVE BEEN DESIGNED IN ACCORDANCE TO THE 2015 INTERNATIONAL RESIDENTIAL PRICE CODE AS DICTATED AND DESCRIBED.
- ALL INTERSECTIONS SHALL HAVE ADA SIDEWALK RAMPS INSTALLED.

NOTES:
1. COUNTY ROAD 12 WAS PROVIDED BY RODNEY SHRETT SURVEYING
2. INSITE ENGINEERING MAKES NO GEOTECHNICAL ASSUMPTIONS OR GEOTECHNICAL MATTERS SHALL BE ADDRESSED BY A GEOTECHNICAL ENGINEER.
3. REGULATIONS AND ALABAMA WATER BOARD REQUIREMENTS.
4. JOB SAFETY IS RESPONSIBILITY OF THE CONTRACTOR.
5. PROGRESS CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR.
6. ALABAMA ONE CALL SHALL BE CALLED AND ALL UTILITIES LOCATED 48 HOURS PRIOR TO CONSTRUCTION.
7. ALL STORM DRAINAGE PIPES SHALL BE RPT. CLASS III INSTALLED WITH WATER TIGHT JOINTS TO ASTM C10.
8. ALL RIP-RAP SHALL BE CLASS 2 PER THE ADOPT STANDARD SPECIFICATIONS.
9. STRIP ALL TOP SOIL WITHIN BUILDING AND PAVEMENT EXCESS TOPSOIL IN LOCATIONS ON SITE AS DIRECTED BY THE OWNER.
10. DRAINAGE WITH NO ROCK PARTICLE SIZE GREATER THAN 1/4" SHALL BE INSTALLED AND MAINTAINED AS A PLASTIC TANK OF 24" DIA. WITH 1/4" DIA. PERFORATED PLUGS AND 40% OF THE FILL MASS.
11. A GEOTECHNICAL REPORT WAS NOT PERFORMED FOR THIS SITE.
12. ALL UTILITIES SHALL BE SHOWN AND THE UTILITIES SHOWN ARE APPROXIMATE.



INSITE ENGINEERING

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CONSTRUCTION PLANS FOR:
REEVES PROPERTY
VESTAVIA HILLS, ALABAMA

ISSUED FOR APPROVAL

PROJECT INFO:
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PLOTTED: 11/20/17

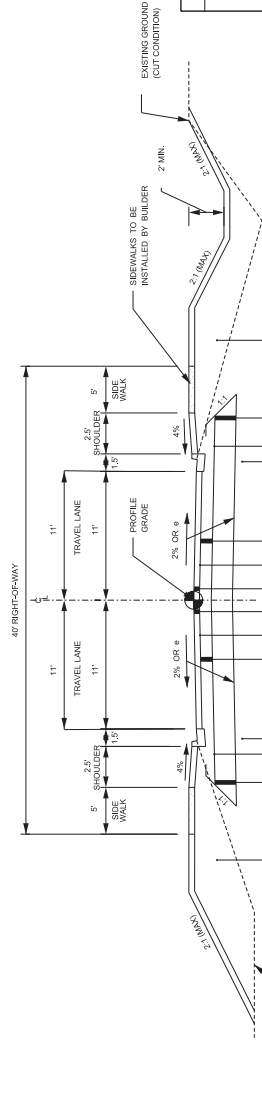
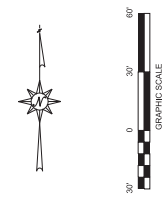
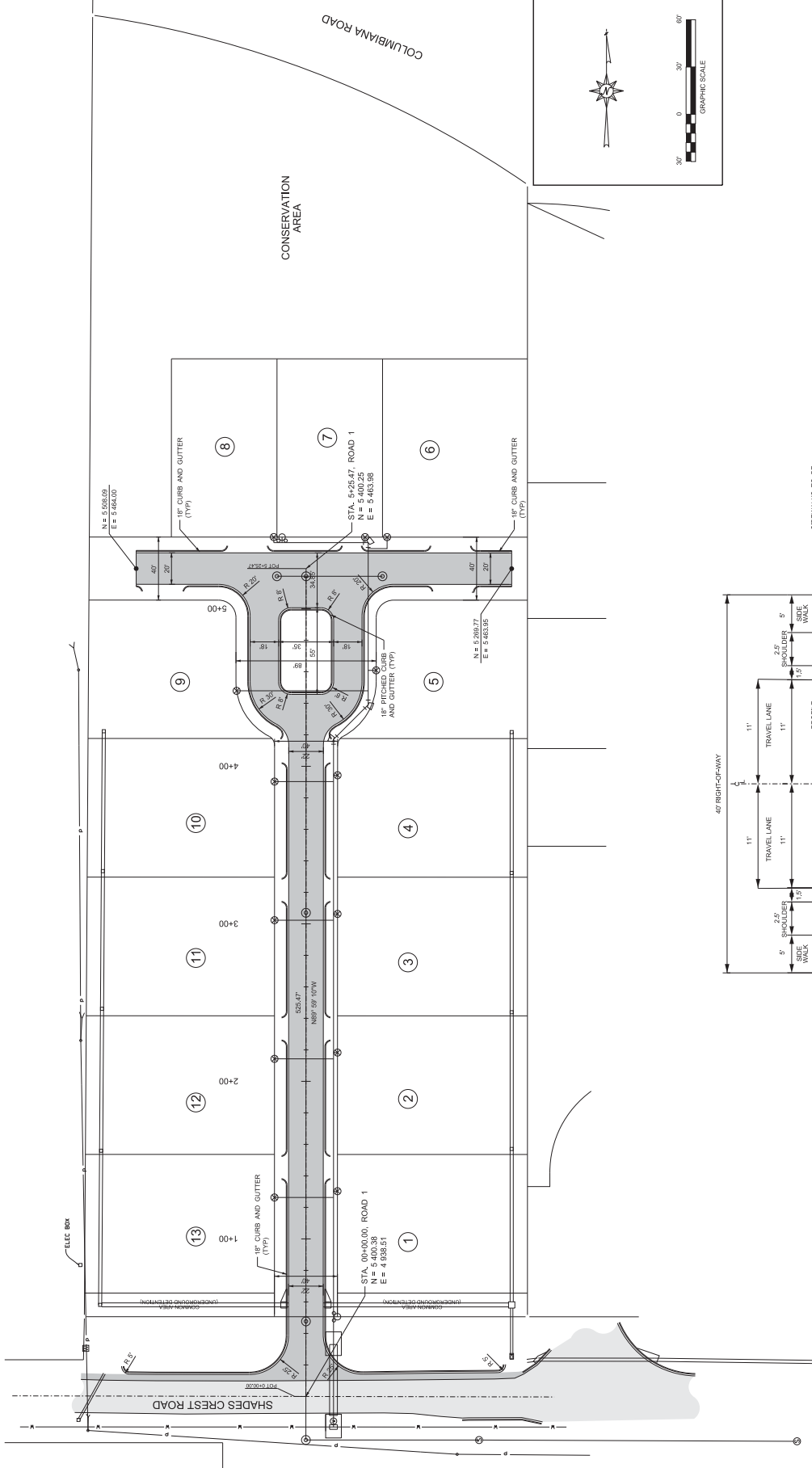


THIS SHEET CONTAINS:
ROADWAY GEOMETRY PLAN

SCALE: 1" = 30'

SHEET 7 OF 18

GM-1



PAVEMENT LEGEND

1	TACK COAT
2	SUBGRADE TO BE ANALYZED & DESIGNED TO PROVIDE ADEQUATE SUPPORT. SUBGRADE COMPACTION TO BE 100% AIRFIELD, 1.59
3	BORONFILL
4	IMPROVED BITUMINOUS CONCRETE (MFC) FINISH SURFACE LAYER
5	1.5\"/>

- NOTES:
1. SEE G&A FOR ROADWAY PROFILES.
 2. SEE DR. AND S&I FOR ALL STORM DRAINAGE INFORMATION.
 3. ALL DIMENSIONS ARE SHOWN TO EDGE OF PAVEMENT.
 4. FOR SANITARY SEWER INFORMATION, SEE SS DRAWINGS.
 5. WATER LINE NOT SHOWN FOR CLARITY. SEE WT DRAWINGS FOR SANITARY SEWER INFORMATION.

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CONSTRUCTION PLANS FOR:
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PROJECT INFO:
INSITE JOB No. 11071.00
PLOTTED: 11/20/17



THIS SHEET CONTAINS:
GRADING PLAN

SCALE: 1" = 30'
SHEET **B** OF 18

GR-1

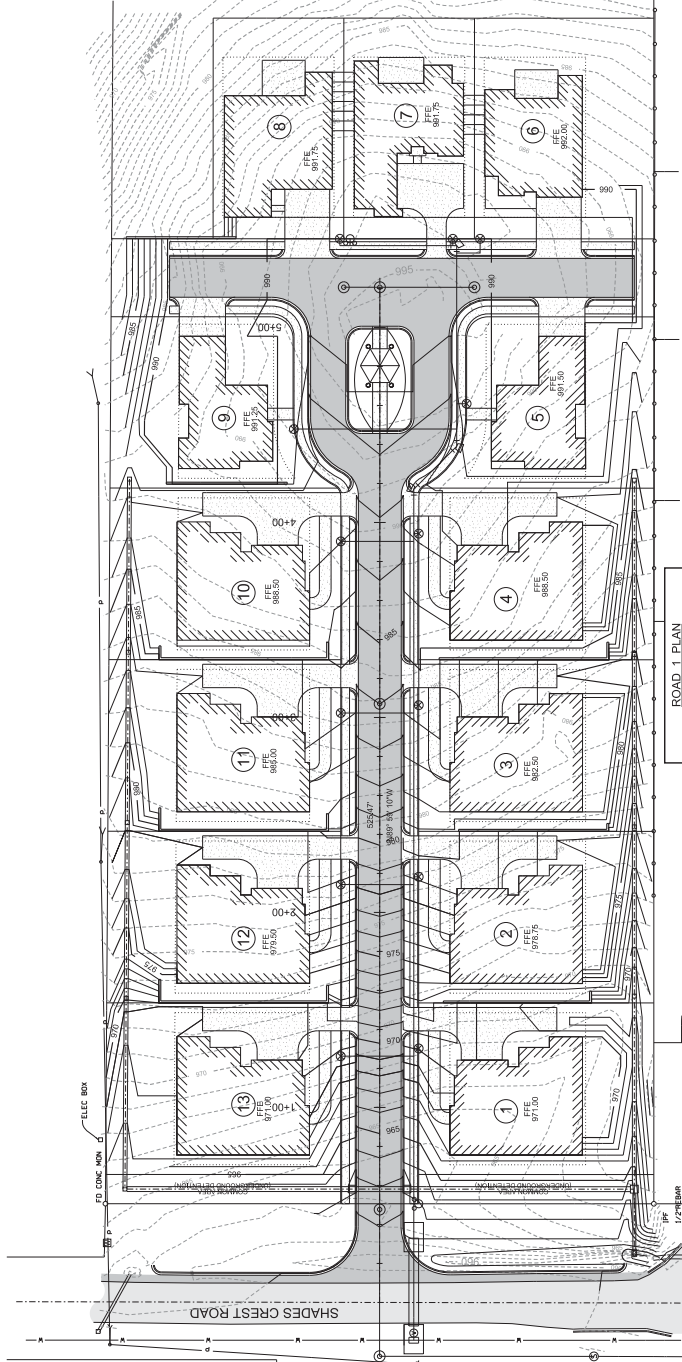
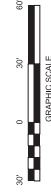
NOTES:

1. ALL SLOPES ARE 2:1 UNLESS OTHERWISE NOTED. ALL SLOPES SHOULD BE REVIEWED AND APPROVED BY A GEOTECHNICAL ENGINEER.
2. SEE GR-1 FOR ROADWAY PROFILE INFORMATION.
3. SEE DRAWING GM4 FOR ROADWAY TYPICAL SECTIONS.
4. NO WORK TO BE DONE IN COUNTY RIGHT-OF-WAY UNTIL ALL APPROPRIATE PERMITS ARE PROVIDED TO THE CITY.
5. CITY ENGINEERS TO BE PROVIDED AT LEAST 24 HOURS NOTICE PRIOR TO THE START OF ANY WORK.
6. ALL PERMITS/APPROVALS BY ADEM, ADOPT FEMA CORPS OF ENGINEERS FOR THIS PROJECT AND ANY OTHER AGENCIES MUST BE OBTAINED PRIOR TO THE START OF ANY WORK.
7. OF SUCH PERMITS ARE NOT OBTAINED, THE CITY AND ADEQ EROSION CONTROL MEASURES ARE IN PLACE.
8. ALL SLOPES, DITCHES, ECT MUST BE STABILIZED IMMEDIATELY UPON INSTALLATION.
9. ALL SLOPES, DITCHES, ECT SHALL BE GRADED TO HAVE POSITIVE DRAINAGE.

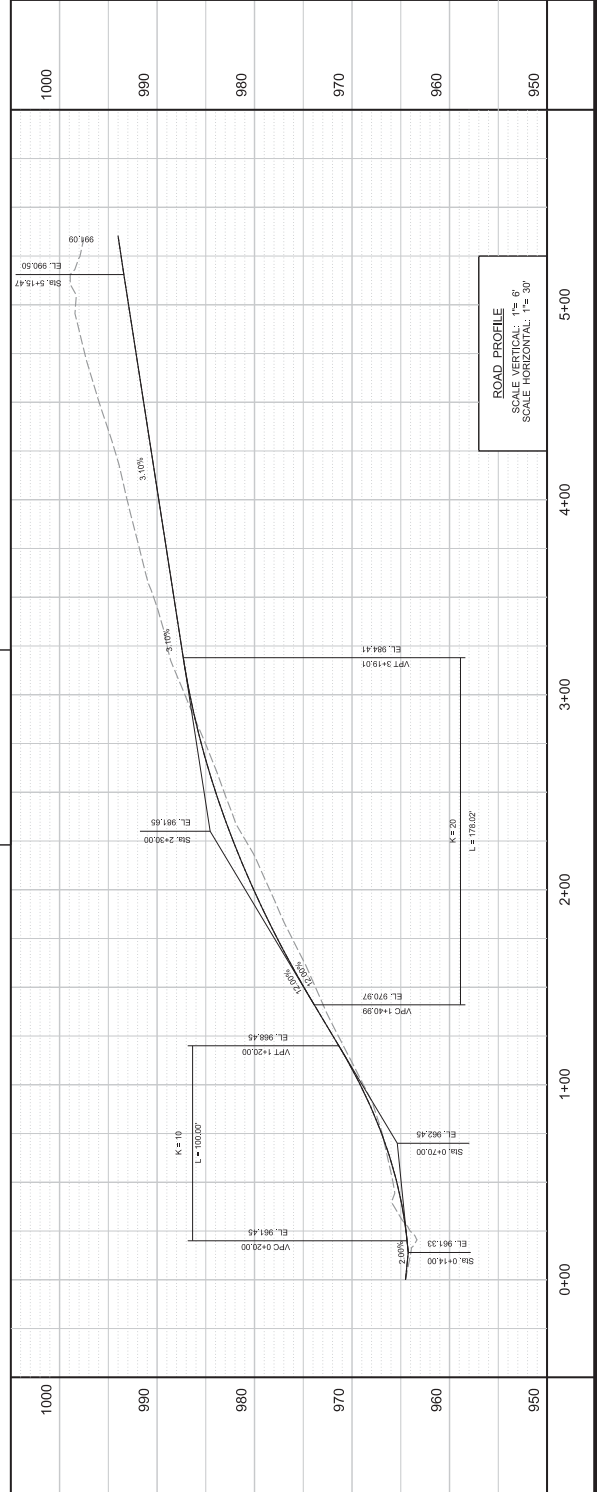
SECTION 102 DESIGN AND PERFORMANCE STANDARDS.

THE DESIGN AND PERFORMANCE STANDARDS FOR THE EXISTING SITE CONDITIONS, A DESCRIPTION OF ADJACENT TOPOGRAPHIC FEATURES, INFORMATION NECESSARY TO DETERMINE THE EROSION AND SEDIMENTATION, SOIL STABILIZATION SPECIFICATIONS, SCHEDULE FOR THE COMMENCEMENT AND COMPLETION OF THE PROJECT, AND THE PROPOSED EROSION CONTROL MEASURES TO BE INSTALLED DURING THE PROJECT AND AFTER THE COMPLETION OF THE PROJECT, DEFECT ACCURATELY THE SOLUTIONS TO POTENTIAL SOIL EROSION AND SEDIMENTATION PROBLEMS THAT MAY OCCUR DURING THE PROJECT AND AFTER THE COMPLETION OF THE PROJECT. THE SERIES OF BARS AND SHALL BE REVIEWED BY AND SUBJECT TO THE APPROVAL OF THE OFFICIAL PRIOR TO THE ISSUANCE OF THE PERMIT.

(I) CONTROL MEASURES SHALL BE MAINTAINED AS AN EFFECTIVE BARRIER TO SEDIMENTATION AND EROSION IN ACCORDANCE WITH THIS PLAN. MATTER SHALL BE INDISTINCTLY VISIBLE FLYING SOOT, OIL OR OTHER HAZARDOUS OR OFFENSIVE SUBSTANCES DISCHARGED TO A WATER BODY OR ON THE BODIES OF WATERS WITHIN THE LOCAL JURISDICTION OF THE WATER QUALITY CONTROL DISTRICT. THIS USE MUST RESULT IN NO HAZARDOUS OR OFFENSIVE SEDIMENTATION TO HUMANS, LIVESTOCK, WILDLIFE CONTAINED IN THE STORM WATER DISCHARGE, THE STORM WATER



ROAD 1 PLAN
SCALE: 1" = 30'





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REEVES PROPERTY
 CONSTRUCTION PLANS FOR:
 VESTAVIA HILLS, ALABAMA

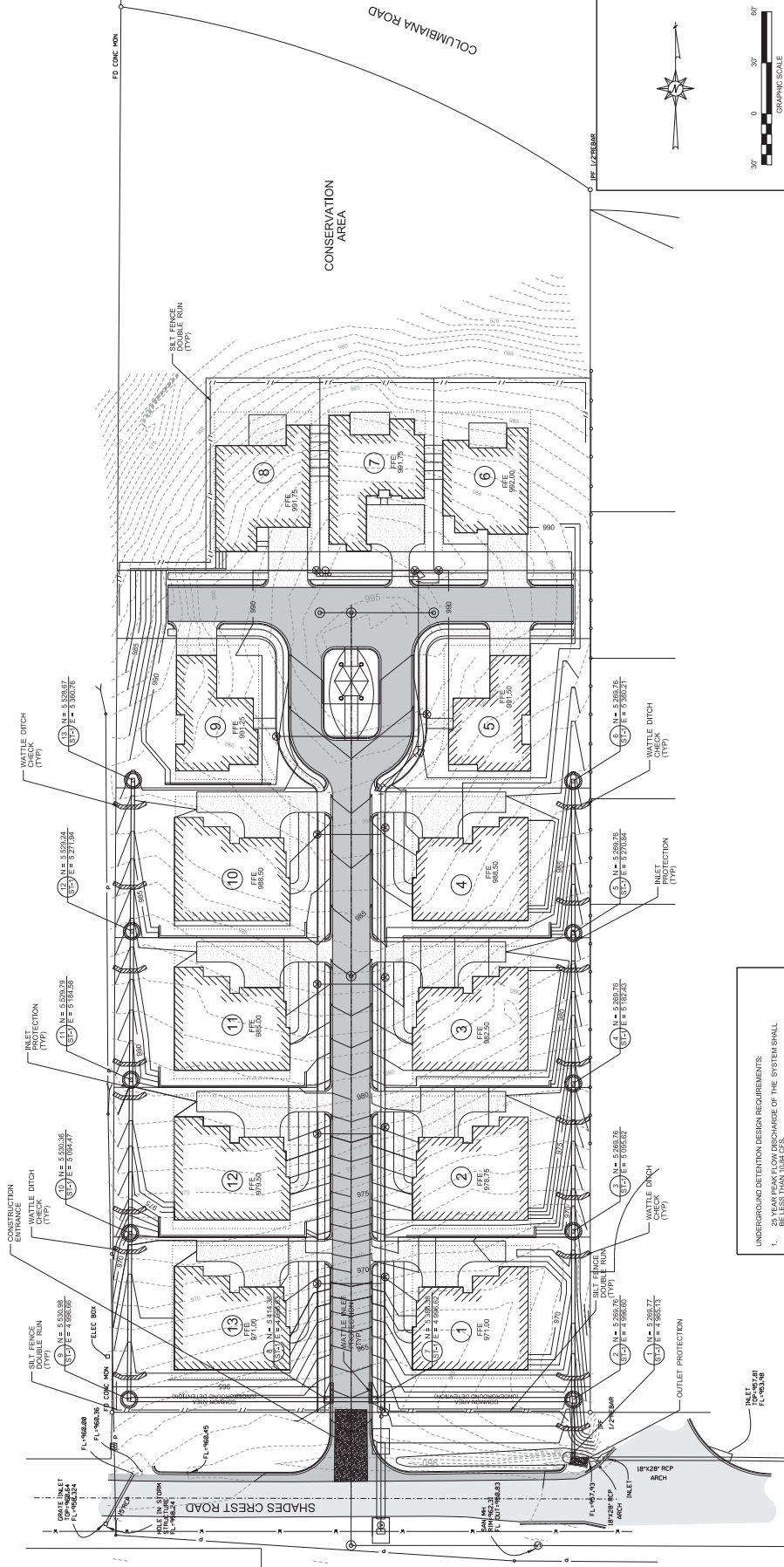
ISSUED FOR APPROVAL

PROJECT INFO:
 INSITE JOB NO. 11071.00
 PLOTTED: 11/20/17



THIS SHEET CONTAINS
DRAINAGE AND EROSION CONTROL PLAN
 SCALE: 1" = 30'
 SHEET 37 OF 18

DR-1



NOTES:

1. ALL STORM PIPING TO BE CL-3 REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED.
2. ALL PIPE SHALL BE BEDDED IN STONE TO SPRINGLINE AND COMPACTED FILL ABOVE TO 80% MODIFIED PROCTOR IN GEOTECHNICAL ENGINEER RECOMMENDED LIFTS.
3. ALL INLETS, BOXES, ETC. TO BE PRECAST OR POURED IN PLACE.
4. ALL STORM SEWER INVERTS SHALL BE POURED CONCRETE.
5. CONTRACTOR TO SUPPLY TEMPORARY DETENTION/SEDIMENTATION STRUCTURES AS REQUIRED TO DETAIN SEDIMENT ON SITE.
6. CONTRACTOR SHALL UNLOAD AND MEET THE OWNERS AESTHETIC IF MODIFICATION OR ADDITIONS ARE NECESSARY TO THE BMP OR EROSION CONTROL PLAN BASED ON CONTRACTOR'S SEQUENCE OF CONSTRUCTION. CONTRACTOR SHALL BARE ALL EXPENSES.
7. HEADWALLS SHALL BE PLACED PARALLEL TO THE ROADWAYS.
8. SLOPE PAVED HEADWALLS ARE ACCEPTABLE IN PLACE OF WING STYLE HEADWALLS.
9. DOUBLE RUN OF STORM SEWER PIPES SHALL BE PLACED STAGGERED TO ENSURE THEY CAN BE CUT AND FITTED TO THE SLOPE AND HEADWALL.
10. EROSION CONTROL DETAILS CAN BE FOUND ON SHEET DT-1.
11. DRAINAGE STRUCTURE DETAILS CAN BE FOUND ON SHEET DT-4.

SEQUENCE OF EROSION CONTROL ACTIVITIES FOR CONSTRUCTION PROJECTS:

1. INSTALL SILT FENCES ALONG THE SIDE SLOPE BOUNDARIES OF THE PROPERTY.
2. PROTECT STORM DRAIN INLETS DOWNSTREAM OF CONSTRUCTION WITH HAY BARRIER AND/OR OTHER PROTECTIVE MEASURES.
3. CLEARING AND GRUBBING AS REQUIRED.
4. APPLY STONE TO DRIVE WAY TO STABILIZE ENTRANCE TO PROPERTY.
5. INSTALL SILT FENCE AROUND STOCKPILES.
6. CONSTRUCT PROJECT.
7. TEMPORARILY OR PERMANENTLY STABILIZE STRIPPED AREAS AND RESEED WITHIN 14 DAYS OF JUST CONSTRUCTION ACTIVITY IN THAT AREA.
8. COMPLETE GRASSING AND INSTALL PERMANENT SEEDING AND PLANTINGS.
9. COMPLETE FINAL PAVING FOR ROADS.
10. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE, REMOVE SILT FENCE AND RESEED ANY BARE SPOTS OR WASHOUTS.

EROSION CONTROL NOTES:

1. EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE JOB SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
2. ALL CONSTRUCTION SHALL BE DONE IN A LOGICAL SEQUENCE SO TO MINIMIZE THE AREA OF EXPOSED SOIL AT ANY ONE TIME.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION SITE SAFETY.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. NO WORK IS TO BEGIN UNTIL COPIES OF ALL REQUIRED PERMITS ARE FURNISHED TO THE OWNER.
5. ALL DISTURBED GROUND LEFT INACTIVE FOR 14 OR MORE DAYS SHALL BE STABILIZED BY SEEDING, OR SODDING.
6. ANY SEDIMENT REACHING THE ROADWAY SHALL BE REMOVED BY STREET CLEANING, AND NOT BY FLUSHING, BEFORE THE END OF EACH DAY.
7. ANY DISTURBED AREAS SHALL BE SEEDING & MULCHED AS PER AL D.O.T. STANDARDS AND SPECIFICATIONS OR LANDSCAPED.
8. ALL EROSION CONTROL ACTIVITIES SHALL CONFORM WITH THE ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL, AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS.

UNDERGROUND DETENTION DESIGN REQUIREMENTS:

1. 25 YEAR PEAK FLOW DISCHARGE OF THE SYSTEM SHALL BE LESS THAN 10.6 CFS.
2. THE SYSTEM SHALL BE DESIGNED TO ACCOMMODATE A 100 YEAR FLOOD WITHOUT OVERFLOWING THE WASHOUTS.
3. ALL INLETS, BOXES, ETC. TO BE PRECAST OR POURED IN PLACE.
4. ALL STORM SEWER INVERTS SHALL BE POURED CONCRETE.

NOTES:

1. ALL STORM PIPING TO BE CL-3 REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED.
2. ALL PIPE SHALL BE BEDDED IN STONE TO SPRINGLINE AND COMPACTED FILL ABOVE TO 80% MODIFIED PROCTOR IN GEOTECHNICAL ENGINEER RECOMMENDED LIFTS.
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Section 5.02 Design and Performance Standards.

(D) The Control Plan shall contain a description of the existing conditions, a description of adjacent topographical features, and sedimentation and distribution of the land-disturbing activity. Specifications for BMP Plan maintenance during the project and commencement and completion of the land-disturbing activity. Specifications for BMP Plan maintenance during the project and commencement and completion of the land-disturbing activity. Specifications for BMP Plan maintenance during the project and commencement and completion of the land-disturbing activity.

(E) The Control Plan shall include the series of BMPs and shall be approved by the local authority having jurisdiction over the project.

(F) The Control Plan shall include the series of BMPs and shall be approved by the local authority having jurisdiction over the project.

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(W) The Control Plan shall include the series of BMPs and shall be approved by the local authority having jurisdiction over the project.

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(Y) The Control Plan shall include the series of BMPs and shall be approved by the local authority having jurisdiction over the project.

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CONSTRUCTION PLANS FOR:
REEVES PROPERTY
 VESTAVIA HILLS, ALABAMA

ISSUED FOR APPROVAL

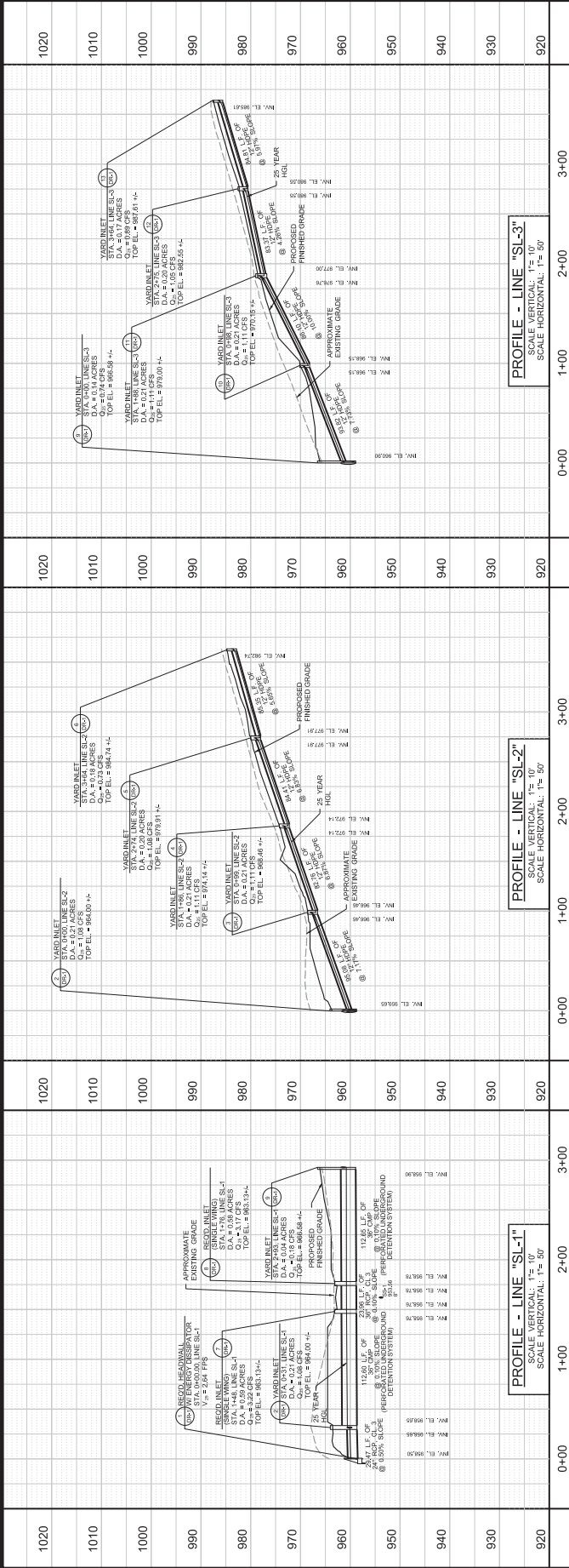
PROJECT INFO:
 INSITE JOB No. 11071.00
 PLOTTED: 11/20/17



THIS SHEET CONTAINS:
 STORM SEWER
 PROFILES - LINES
 ST-1, ST-2
 AND STL-3

SCALE: AS NOTED
 SHEET 10 OF 18

ST-1





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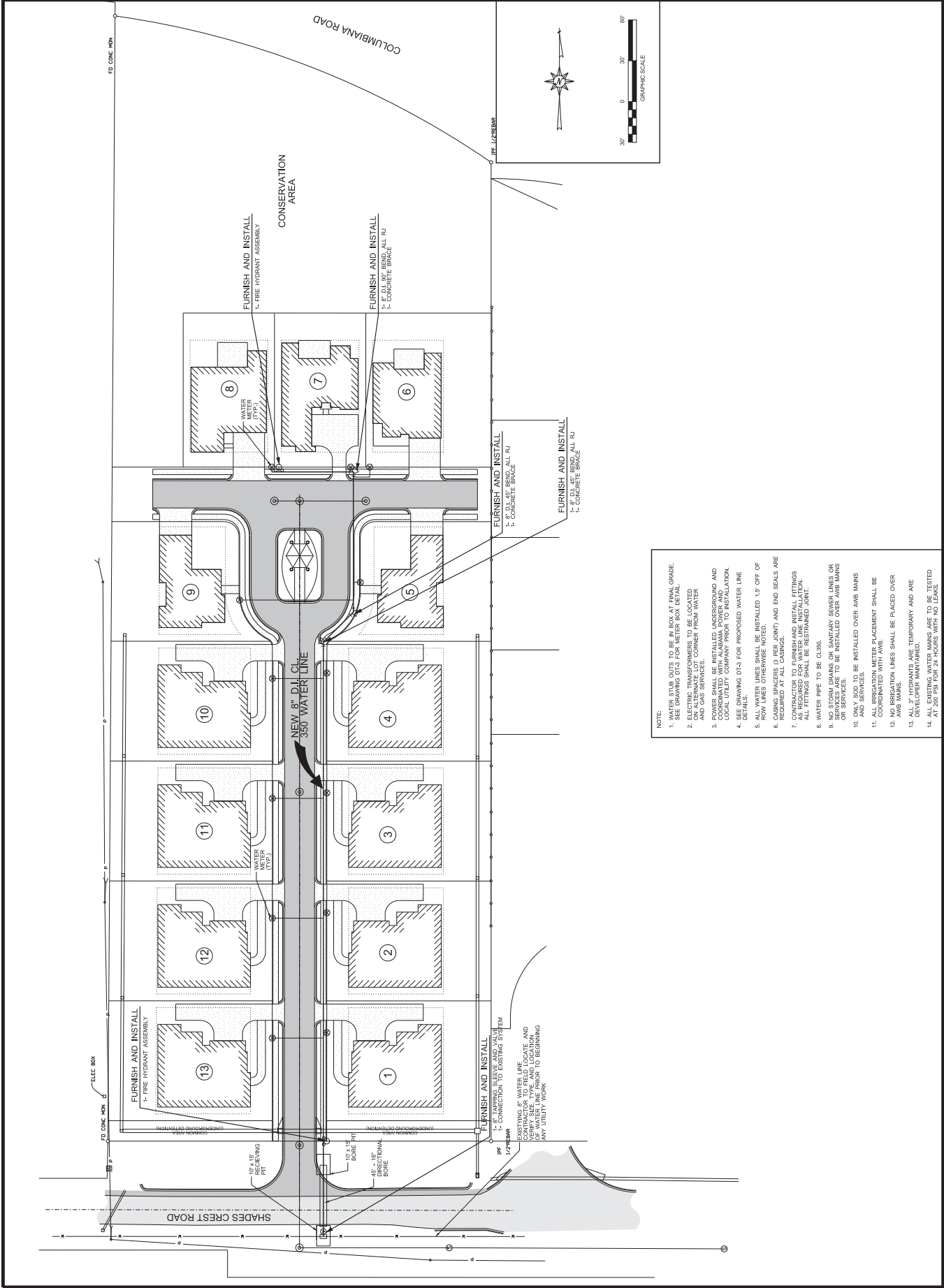
PROJECT INFO:
INSITE JOB NO. 11071.00
PLOTTED: 11/20/17



THIS SHEET CONTAINS:
WATER LINE PLAN

SCALE: 1" = 30'
SHEET 11 OF 18

WT-1



- NOTE:
1. WATER STUB OUTS TO BE IN BOX AT FINAL GRADE. SEE DRAWING DT-3 FOR METER BOX DETAIL.
 2. ALL UTILITIES TO BE INSTALLED TO BE SHOWN ON ALTERNATE LOT CORNER FROM WATER AND GAS SERVICES.
 3. POWER SHALL BE INSTALLED UNDERGROUND AND CONTRACTOR TO FIELD LOCATE AND VERIFY WITH LOCAL UTILITY COMPANY PRIOR TO INSTALLATION.
 4. SEE DRAWING DT-3 FOR PROPOSED WATER LINE DETAILS.
 5. ALL WATER MAINS SHALL BE INSTALLED 1.5' OFF OF ROW LINES UNLESS OTHERWISE NOTED.
 6. CASING SPACERS (3 PER JOINT) AND END SEALS ARE REQUIRED AT ALL CASINGS.
 7. CONTRACTOR TO FURNISH AND INSTALL FITTINGS AND MANHOLES TO BE SHOWN ON DRAWING. ALL FITTINGS SHALL BE RESTRAINED JOINT.
 8. WATER PIPE TO BE CL350.
 9. NO STORM DRAINS OR SANITARY SEWER LINES OR SERVICES ARE TO BE INSTALLED OVER AMB MAINS AND SERVICES.
 10. ONLY 45° TO BE INSTALLED OVER AMB MAINS AND SERVICES.
 11. ALL IRRIGATION METER PLACEMENT SHALL BE COORDINATED WITH AMB.
 12. NO IRRIGATION LINES SHALL BE PLACED OVER AMB MAINS AND SERVICES.
 13. ALL 45° HYPANTS ARE TEMPORARY AND ARE DEVELOPER MAINTAINED.
 14. ALL EXISTING WATER MAINS ARE TO BE TESTED AT 200 PSI FOR 24 HOURS WITH NO LEAKS.



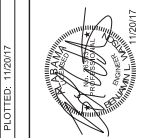
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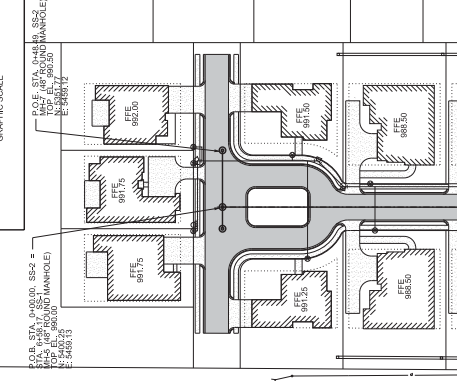
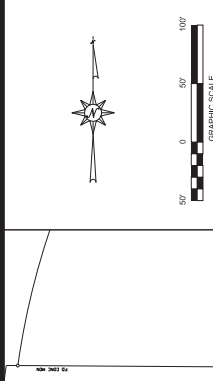
PROJECT INFO:
 INSITE JOB NO. 10717.00
 PLOTTED: 11/20/17



THIS SHEET CONTAINS:
 SANITARY SEWER
 PLAN AND PROFILE

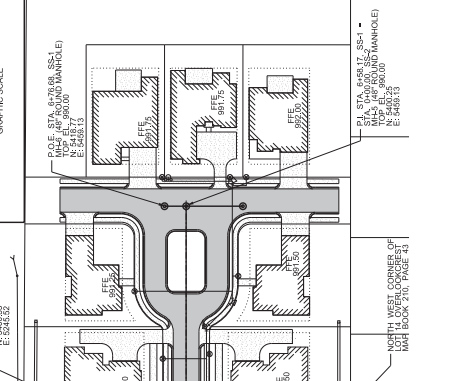
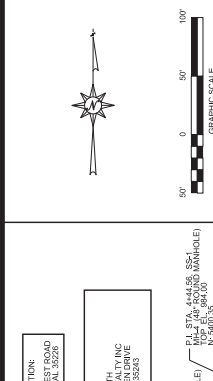
SCALE: 1"=50'
 SHEET 12 OF 18

SS-1



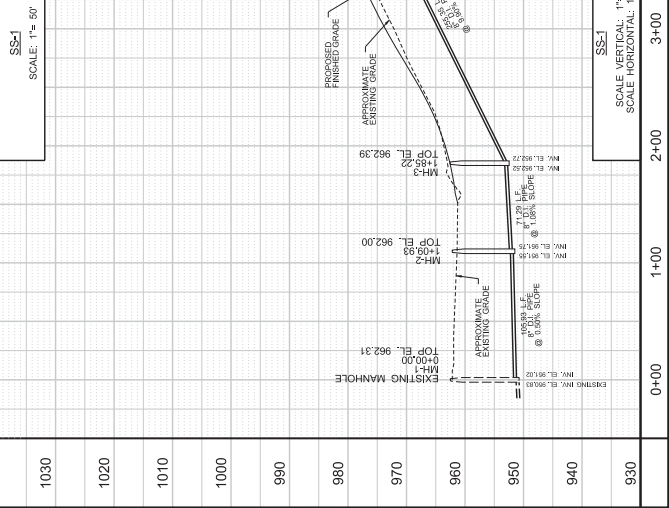
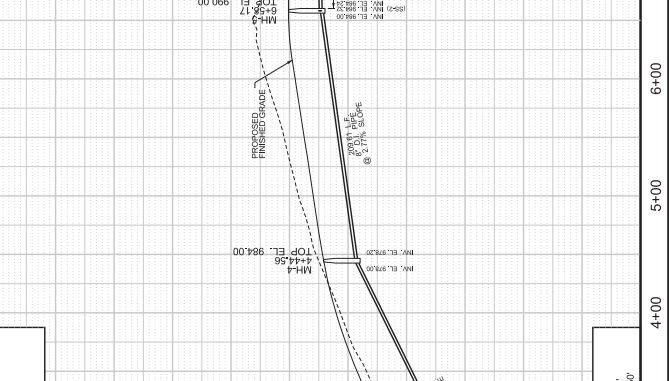
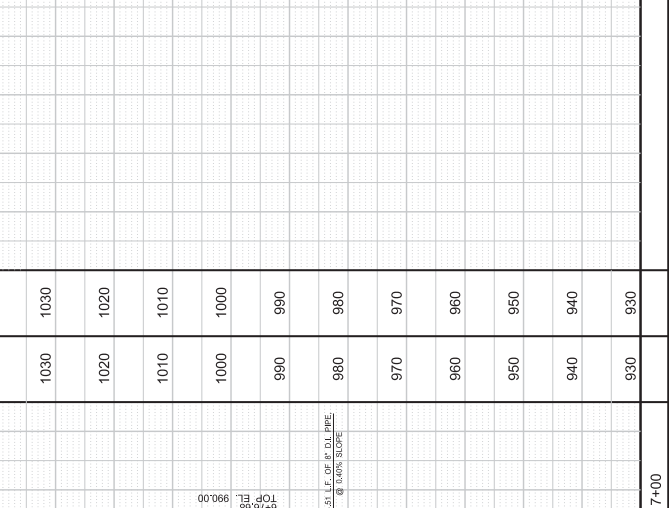
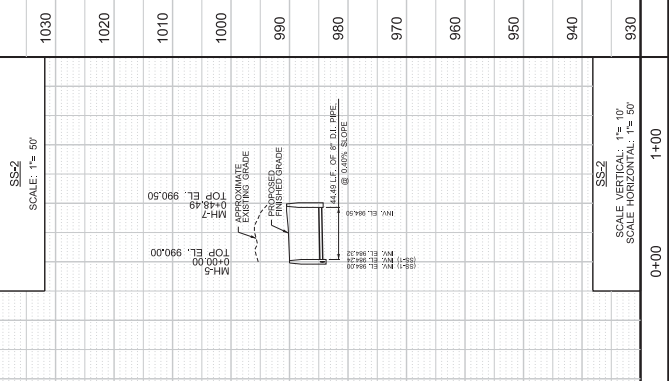
JEFFERSON COUNTY STANDARD NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF JEFFERSON COUNTY, THE LOCAL MUNICIPALITY AND/OR THE STATE HIGHWAY DEPARTMENT, AND APPLICABLE C.S.D.A. REGULATIONS, AS APPLICABLE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION SERVICES DEPARTMENT 325- DRAWINGS WITHOUT WRITTEN APPROVAL BY THE JEFFERSON COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.
- DUCTILE IRON PIPE SHALL BE CLASS 52 OR BETTER.
- PVC PIPE SHALL BE AWWA C900, CAST IRON (CI) STANDARD DIMENSIONS, DIMENSION RATIO (R) 18.
- 18" EARTH TRENCH COULDS OF CRUSHED STONE SHALL BE PLACED UNDER SEWER LINES OF 12 INCHES IN DIAMETER OR SMALLER AND 24 INCHES OF CRUSHED STONE SHALL BE PLACED UNDER SEWER LINES LARGER THAN 24 INCHES. THE DITCH SHALL BE BACKFILLED WITH CRUSHED STONE TO A DEPTH OF 12 INCHES ABOVE THE TOP PROPERLY CHOKED.
- AT THE DISCRETION OF THE INSPECTOR, A CONNECTION OF SANITARY SEWER PIPES 6 INCH THROUGH 18 INCH OF DISPARITY SHALL BE MADE BY THE CONTRACTOR. THE JOINTS BETWEEN THE MANHOLE SECTIONS SHALL BE MADE BY ADAPTING BUSINESS SIZES OR FOR REPAIR OF SANITARY SEWER PIPES OF SIMILAR MATERIALS MAY BE MADE BY THE CONTRACTOR. THE JOINTS SHALL BE MADE BY AN APPROVED PRE-COMPACT ELASTOMERIC MATERIAL SPECIFICALLY HAVE NOT AND BUT TIGHTENING CLAMPS OR DEVICES MADE OF 316 STAINLESS STEEL, WITH AN ADJUSTABLE STAINLESS DRAWING SCREW IS REQUIRED. THE ADJUSTABLE CLAMP SHALL BE INSTALLED AS RECOMMENDED AND SPECIFIED BY THE MANUFACTURER. EACH COUPLING SHALL BEAR THE MANUFACTURER'S NAME AND REQUIRED MARKINGS.
- MANHOLES SHALL MEET ASTM SPECIFICATION C-478. JOINTS BETWEEN THE MANHOLE SECTIONS SHALL BE MADE BY ADAPTING BUSINESS SIZES OR FOR REPAIR OF SANITARY SEWER PIPES OF SIMILAR MATERIALS MAY BE MADE BY THE CONTRACTOR. THE JOINTS SHALL BE MADE BY AN APPROVED PRE-COMPACT ELASTOMERIC MATERIAL SPECIFICALLY HAVE NOT AND BUT TIGHTENING CLAMPS OR DEVICES MADE OF 316 STAINLESS STEEL, WITH AN ADJUSTABLE STAINLESS DRAWING SCREW IS REQUIRED. THE ADJUSTABLE CLAMP SHALL BE INSTALLED AS RECOMMENDED AND SPECIFIED BY THE MANUFACTURER. EACH COUPLING SHALL BEAR THE MANUFACTURER'S NAME AND REQUIRED MARKINGS.
- STAINLESS STEEL MANHOLE MANIFOLD SHALL BE MANUFACTURED BY HAMILTON KENT MEETING THE REQUIREMENTS OF ASTM C-478. EACH JOINT SEAMANT SHALL BE WELDED AS RECOMMENDED BY THE MANUFACTURER. MANIFOLDS SHALL HAVE A MINIMUM CONCRETE TYPE, MANIFOLDS MAY BE FINISHED TO STREET GRADE WITH BACK AND MORE FIN, THIS ADJUSTMENT HEIGHT SHALL NOT EXCEED 18 INCHES.
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- CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTINUOUS AND PROPER OPERATION OF ALL EXISTING UTILITIES LOCATED ON OR ADJACENT TO THE PROJECT SITE AND WITHIN THE CONSTRUCTION LIMITS OF THIS PROJECT.
- ALL EMBANKMENT FILL AREAS SHALL BE FILLED AND COMPACTED PRIOR TO EXCAVATION OF SEWER LINE TRENCHES.
- CONTRACTOR WILL BE RESPONSIBLE FOR THE CONSTRUCTION AND MAINTENANCE OF EROSION AND SLOPE DAMAGE DOES NOT OCCUR TO ADJACENT PROPERTIES, PUBLIC ROADS AND/OR DITCHES (CREEKS, STREAMS).
- UPON COMPLETION OF ALL OR ANY PART OF A SANITARY SEWER LINE, THE CONTRACTOR WILL BE REQUIRED TO TEST ALL SEWER LINES WITH WATER. PRESSURE TESTS WITH WATER MANHOLES WILL BE VACUUM TESTED. ALL TESTS WILL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE JEFFERSON COUNTY ENVIRONMENTAL SERVICES DEPARTMENT. SANITARY SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE JEFFERSON COUNTY ENVIRONMENTAL SERVICES DEPARTMENT. SANITARY SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE JEFFERSON COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.



NOTES:

- THE LOCATION OF ALL EXISTING UTILITIES SHOWN IS APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AT ALL LOCATIONS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE JEFFERSON COUNTY ENVIRONMENTAL SERVICES DEPARTMENT IF ANY UTILITY TRENCHES SHOWN IMPRACTICAL OR IMPOSSIBLE TO CONSTRUCT.
- THE CONTRACTOR SHALL UTILIZE CAUTION AT ALL TIMES WHEN EXCAVATING NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION SERVICES DEPARTMENT 325- DRAWINGS WITHOUT WRITTEN APPROVAL BY THE JEFFERSON COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.
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CONSTRUCTION PLANS FOR:
**REEVES
PROPERTY**
VESTAVIA HILLS, ALABAMA

ISSUED
FOR
APPROVAL

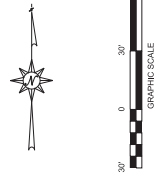
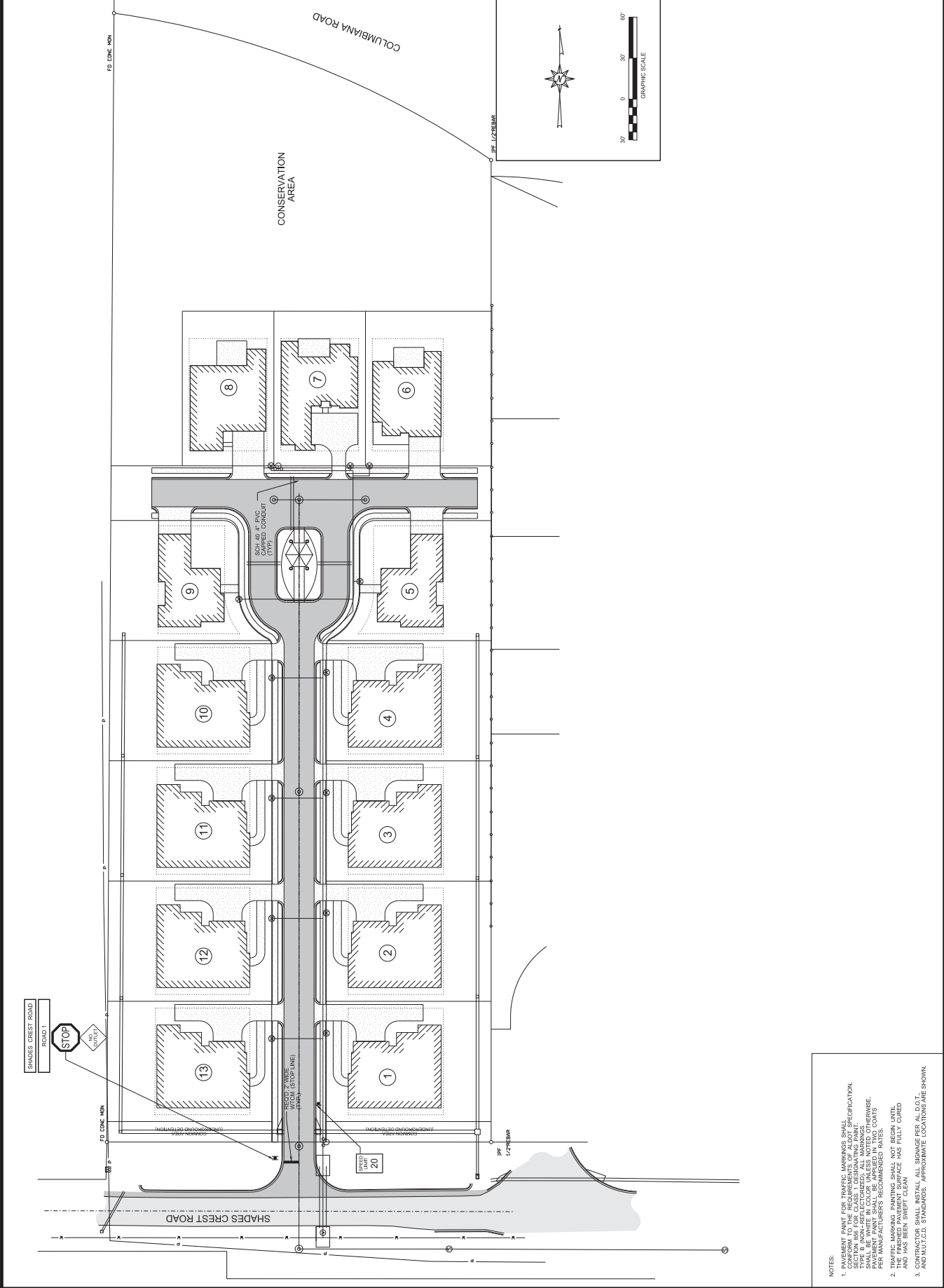
PROJECT INFO:
INSITE JOB No. 11071.00
PLOTTED: 11/20/17



THIS SHEET CONTAINS:
STRIPING, CONDUIT,
AND SIGNAGE PLAN

SCALE: 1" = 30'
SHEET 13 OF 18

SC-1



- NOTES:
- PAVEMENT PAINT FOR TRAFFIC MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF A.D.O.T. SPECIFICATION, TYPE B, NON-REFLECTORIZED, ALL MARKINGS SHALL BE PAINTED TO THE FULL WIDTH OF THE MARKING. PAVEMENT PAINT SHALL BE APPLIED IN TWO COATS PER MANUFACTURERS RECOMMENDED RATES. THE FINISHED MARKING SURFACE SHALL BE SWEET AND CLEAN AND HAS BEEN SWEET CLEAN.
 - CONTRACTOR SHALL INSTALL ALL SIGNAGE PER A.L.D.O.T. AND INCLUDE 3" STANDARDS. APPROXIMATE LOCATIONS ARE SHOWN.

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CONSTRUCTION PLANS FOR:
REEVES PROPERTY
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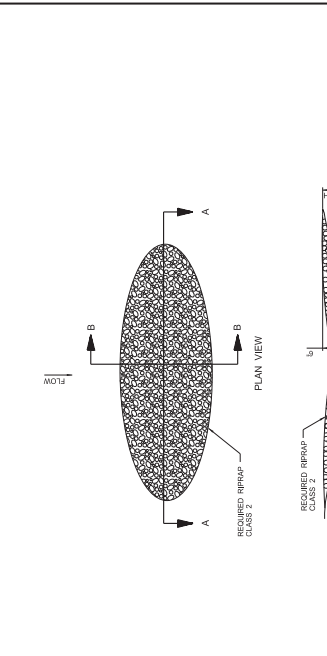
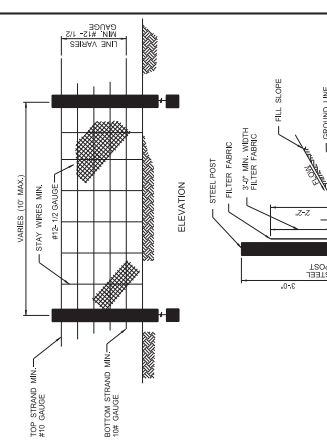
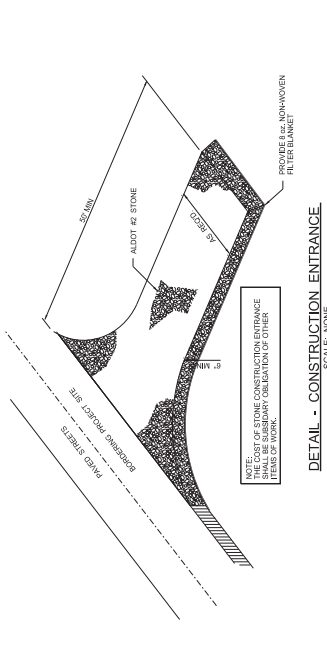
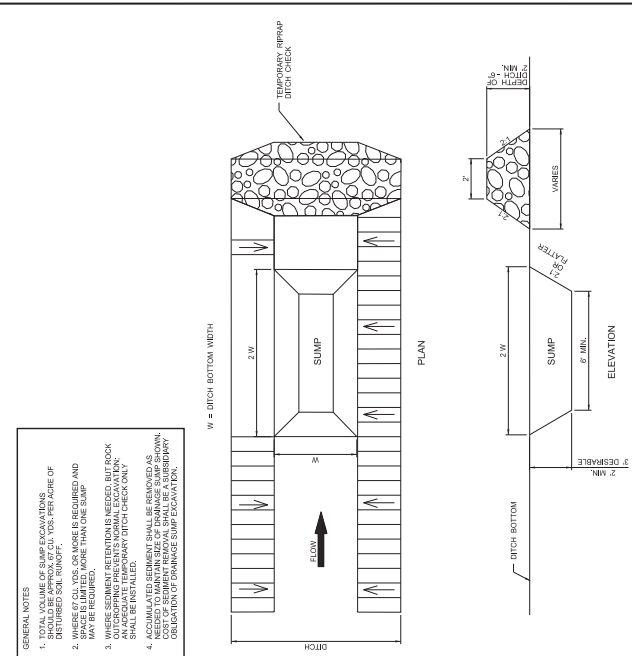
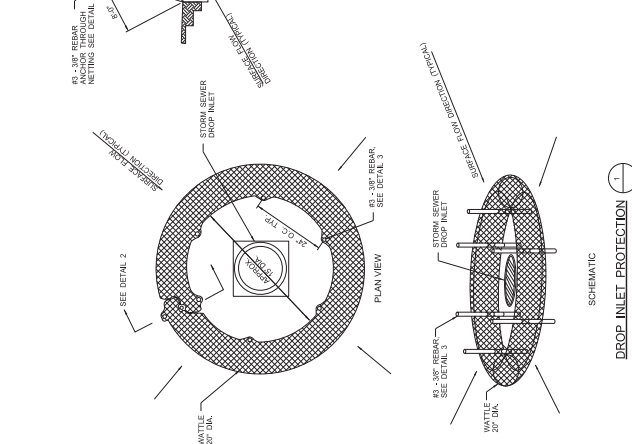
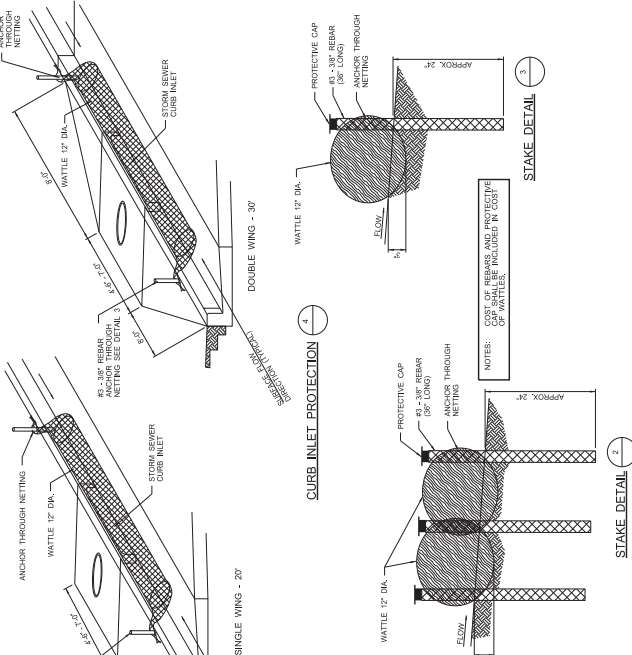
PROJECT INFO:
 INSITE JOB NO. 10717.00
 PLOTTED: 11/20/17



THIS SHEET CONTAINS:
 EROSION CONTROL
 DETAILS

SCALE: NONE
 SHEET 14 OF 18

DT-1





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CONSTRUCTION PLANS FOR:
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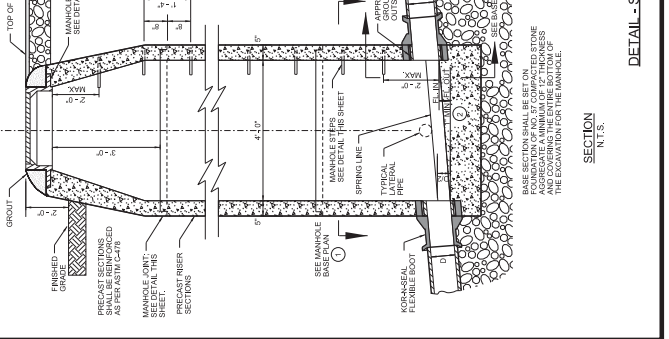
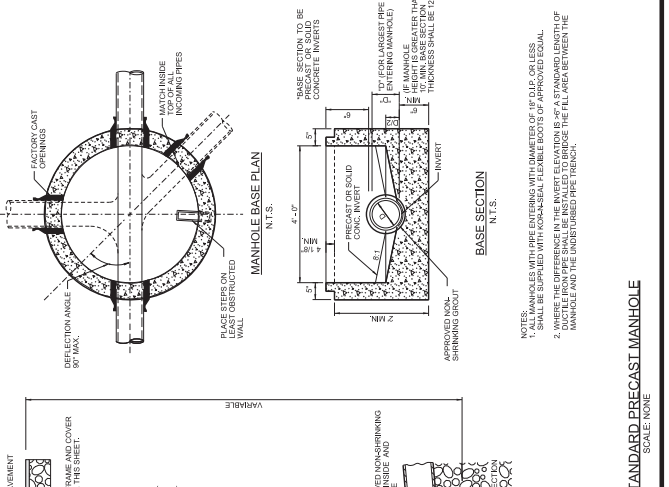
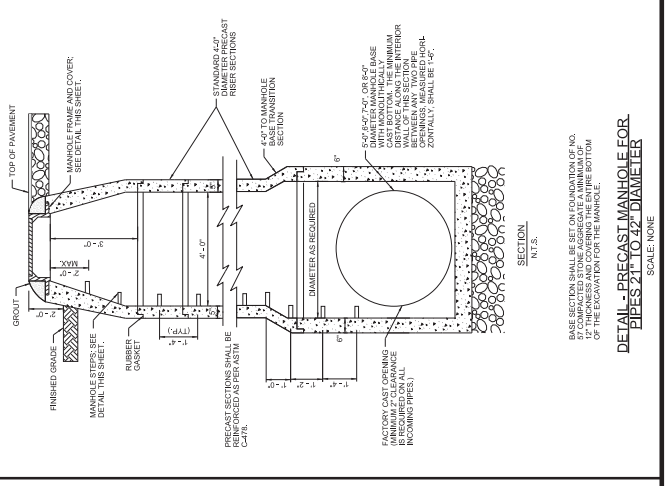
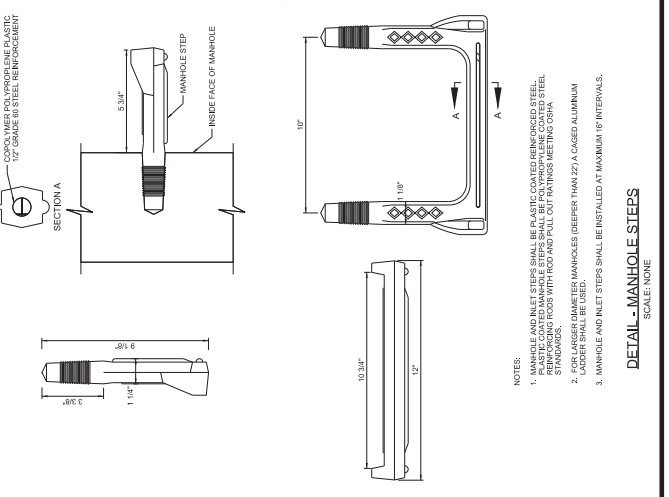
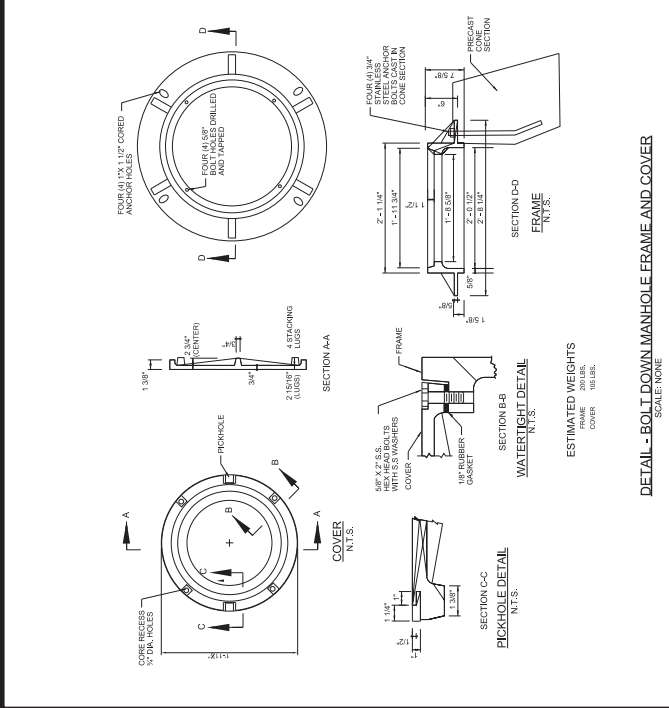
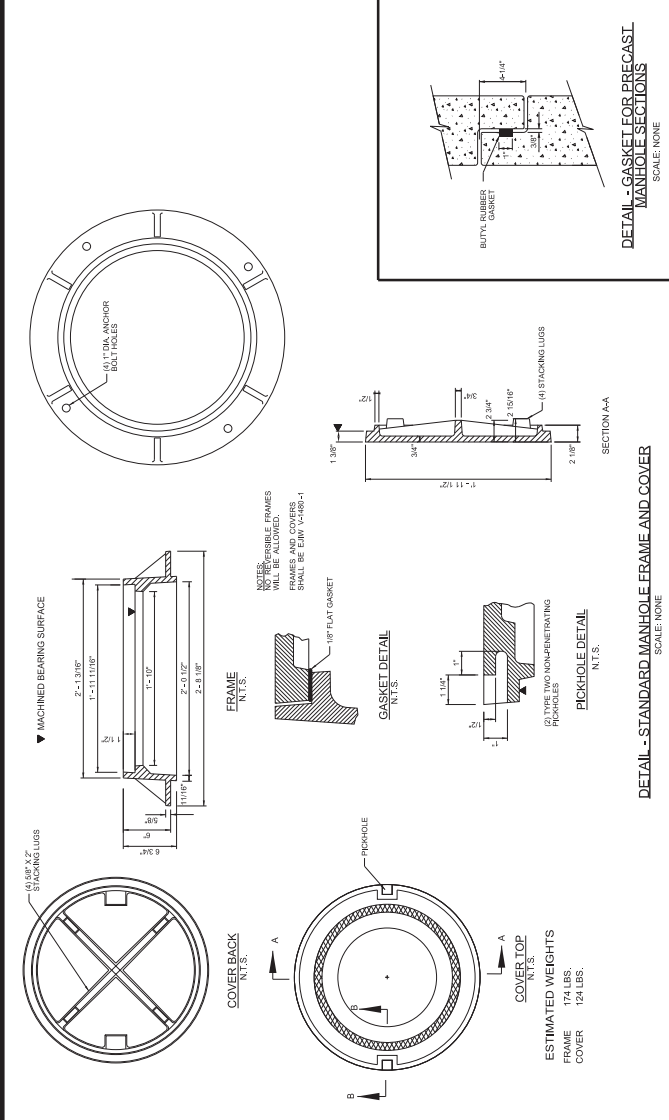
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 INSITE JOB No. 1071.00
 PLOTTED: 11/20/17



THIS SHEET CONTAINS:
SEWER DETAILS

SCALE: AS NOTED
 SHEET 15 OF 18

DT-2



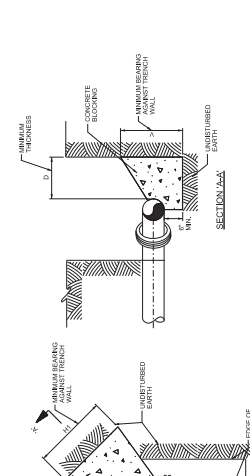
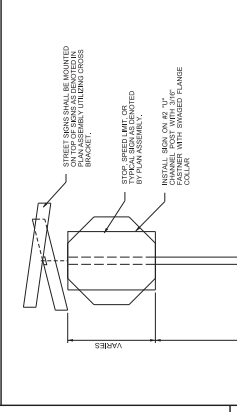
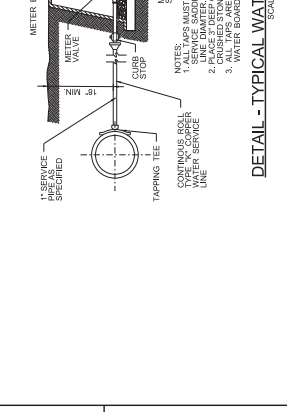
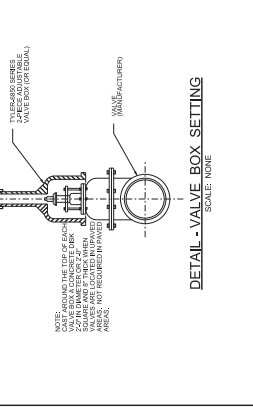
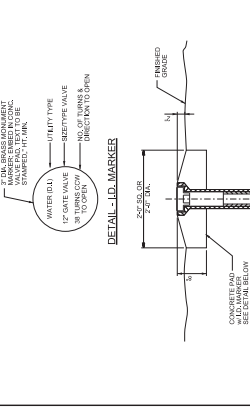
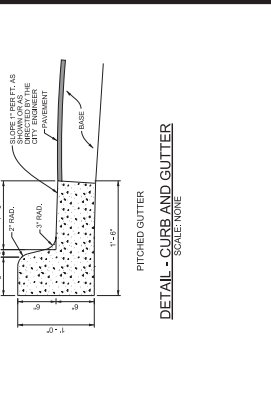
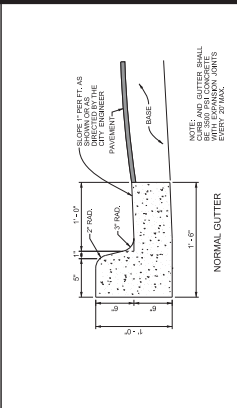
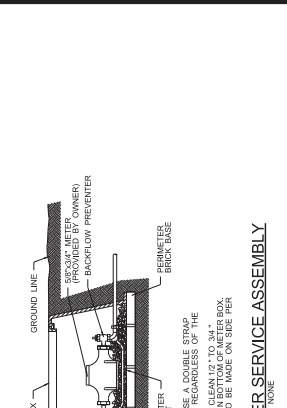
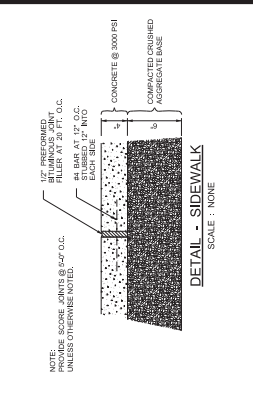
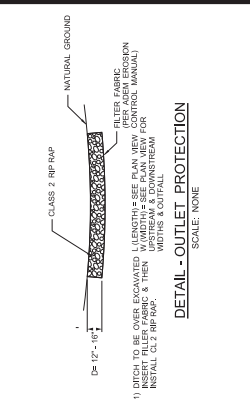
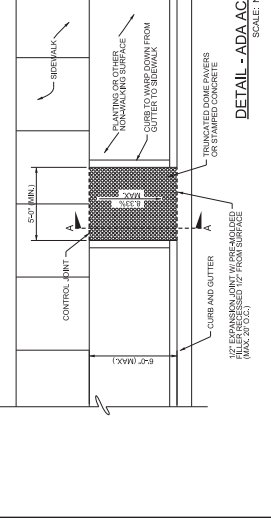
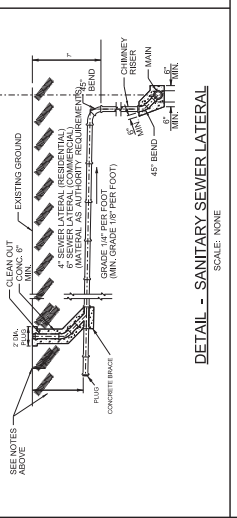
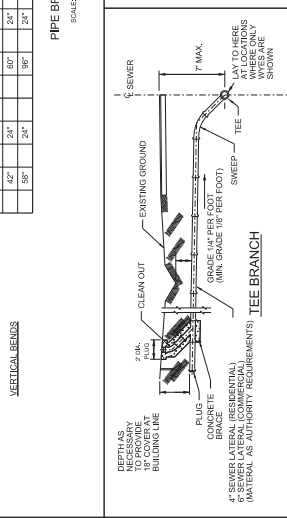
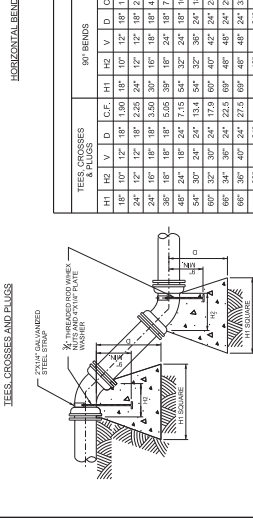
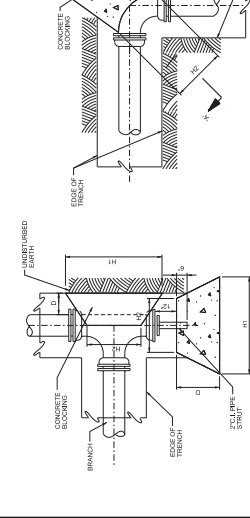
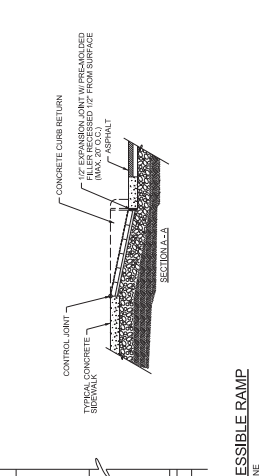
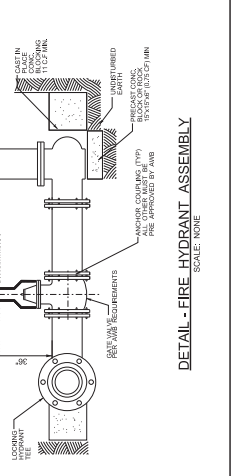
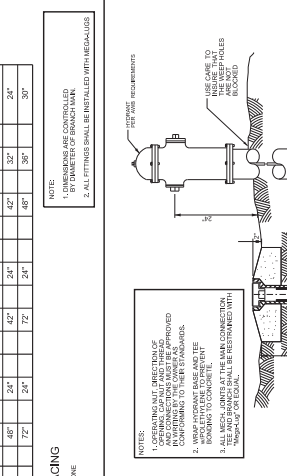


TABLE OF DIMENSIONS FOR CONCRETE BLOCKERS

TEER CROSSER 4 FLANGES	90° BENDS				20-2° BENDS				15-10° BENDS							
	H1	H2	V	D	C.F.	H1	H2	V	D	C.F.	H1	H2	V	D	C.F.	
12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"
18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"
24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"
30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"
36"	36"	36"	36"	36"	36"	36"	36"	36"	36"	36"	36"	36"	36"	36"	36"	36"
42"	42"	42"	42"	42"	42"	42"	42"	42"	42"	42"	42"	42"	42"	42"	42"	42"
48"	48"	48"	48"	48"	48"	48"	48"	48"	48"	48"	48"	48"	48"	48"	48"	48"
54"	54"	54"	54"	54"	54"	54"	54"	54"	54"	54"	54"	54"	54"	54"	54"	54"
60"	60"	60"	60"	60"	60"	60"	60"	60"	60"	60"	60"	60"	60"	60"	60"	60"
66"	66"	66"	66"	66"	66"	66"	66"	66"	66"	66"	66"	66"	66"	66"	66"	66"
72"	72"	72"	72"	72"	72"	72"	72"	72"	72"	72"	72"	72"	72"	72"	72"	72"
78"	78"	78"	78"	78"	78"	78"	78"	78"	78"	78"	78"	78"	78"	78"	78"	78"
84"	84"	84"	84"	84"	84"	84"	84"	84"	84"	84"	84"	84"	84"	84"	84"	84"
90"	90"	90"	90"	90"	90"	90"	90"	90"	90"	90"	90"	90"	90"	90"	90"	90"

NOTE: 1. DIMENSIONS ARE CONTROLLED BY DIAMETER OF BRANCH MAIN. 2. ALL FITTINGS SHALL BE INSTALLED WITH HIGH QUALITY MATERIALS.





INSITE ENGINEERING
 500 FELDERS WAY
 HOUSTON, TEXAS 77054
 OFFICE (281) 733-9884
 FAX (281) 733-9897

CIVIL / GS
 INFRASTRUCTURE
 ENVIRONMENTAL
 COMMERCIAL
 RESIDENTIAL

CONSTRUCTION PLANS FOR:
REVEYS PROPERTY
 VESTAVIA HILLS, ALABAMA

ISSUED FOR APPROVAL

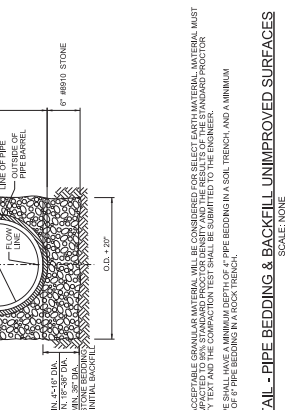
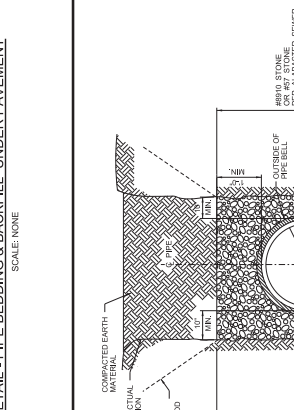
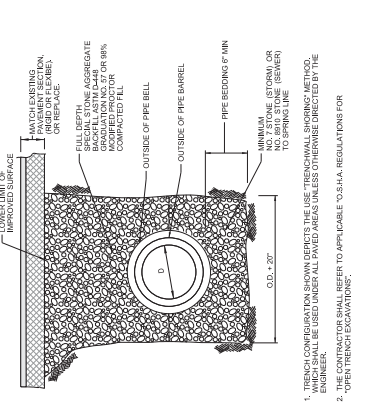
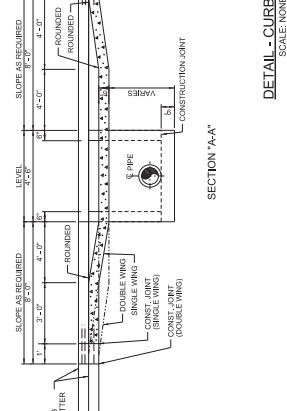
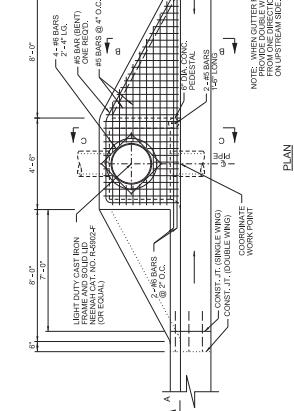
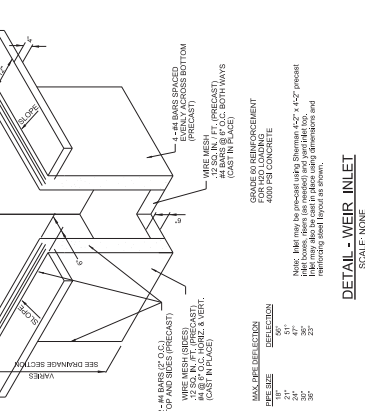
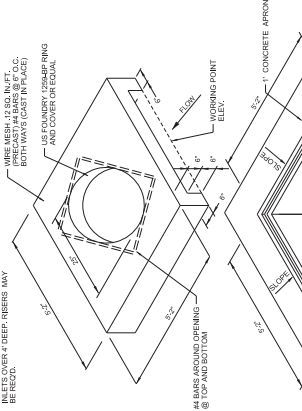
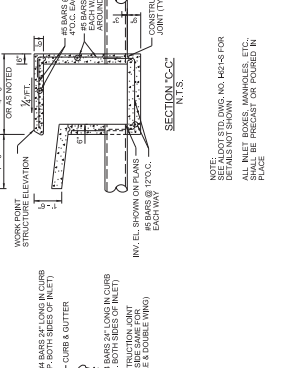
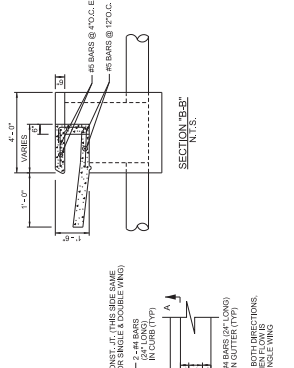
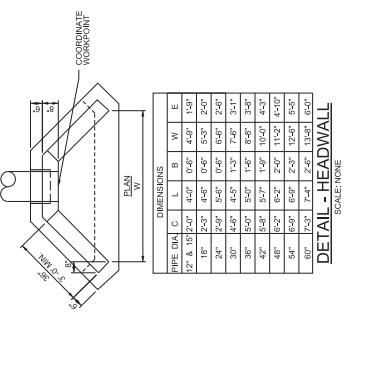
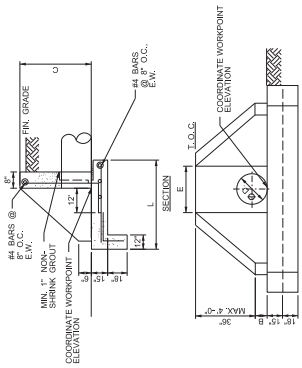
PROJECT INFO:
 INSITE JOB NO. 11071.00
 PLOTTED: 11/20/17



THIS SHEET CONTAINS
 MISCELLANEOUS
 DETAILS

SCALE: AS NOTED
 SHEET 17 OF 18

DT-4



INSITE ENGINEERING, L.L.C. 500 FELDERS WAY HOUSTON, TEXAS 77054
 PROJECT NO. 11071.00
 SHEET 17 OF 18
 DATE: 11/20/17

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: DECEMBER 14, 2017

- **CASE:** P-1217-57
- **REQUESTED ACTION:** Final Plat Approval For Resurvey Of Lot 7, Block 2 First Addition To Beacon Hill
- **ADDRESS/LOCATION:** 2012 Southwood Rd.
- **APPLICANT/OWNER:** Martin Smith
- **REPRESENTING AGENT:** Weygand
- **GENERAL DISCUSSION:** Plat is to resurvey lot to match deeded lot so applicant may obtain a building permit.
- **VESTAVIA HILLS COMPREHENSIVE PLAN:** This request is consistent with the plan for medium density residential.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted
 4. **Building Safety Review:** No problems noted

**CITY OF VESTAVIA HILLS
PLANNING AND ZONING COMMISSION
FINAL MAP APPLICATION**

II. APPLICANT INFORMATION: (owner of property)

NAME: MARTIN SMITH

ADDRESS: 2012 SOUTHWOOD ROAD
VESTAVIA HILLS, AL 35216

MAILING ADDRESS (if different from above)
1865 SOUTHWOOD ROAD, VESTAVIA HILLS, AL 35216

PHONE NUMBER: Home 205.970.8517 Office 205.223-7106*

NAME OF REPRESENTING ATTORNEY OR OTHER AGENT: RAY WEYGAND - WEYGAND SURVEYORS

III. ACTION REQUESTED

Final Plat Approval Combine lots
Explain reason for the request: To Clean Up Re-Survey.

if additional information is needed, please attached full description of request

IV. PROPERTY DESCRIPTION: (address, legal description, etc.)

2012 SOUTHWOOD ROAD, VESTAVIA HILLS, AL 35216

Property size: 110' feet X 200 feet. Acres: 0.50 acres

VI. ZONING/REZONING:

The above described property is presently zoned: RESIDENTIAL

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.


Owner Signature/Date 11.6.17

Representing Agent (if any) date

Given under my hand and seal
this 6th day of November, 20 17.


Notary Public



My commission expires ~~12~~ 28th
day of December, 20 19.

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: DECEMBER 14, 2017

- **CASE:** P-1217-60
- **REQUESTED ACTION:** Final Plat Approval For Resurvey Of Lots 41 And 42 Topfield Resurvey
- **ADDRESS/LOCATION:** 3118 Pine Tree Circle
- **APPLICANT/OWNER:** Culbreth Holding, LLC
- **REPRESENTING AGENT:**
- **GENERAL DISCUSSION:** Plat is to combine lots to finish rezoning process for Pawms Pet Resort
- **CAHABA HEIGHTS COMMUNITY PLAN:** This request is consistent with the plan for limited mixed use.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted
 4. **Building Safety Review:** No problems noted

P1217-60//28-27-4-3-1
3118 Pine Tree Drive
Final Map to combine lots
Culbreth Holding, LLC
B3

P&Z Application
Page 3

**CITY OF VESTAVIA HILLS
PLANNING AND ZONING COMMISSION
FINAL MAP APPLICATION**

II. APPLICANT INFORMATION: (owner of property)

NAME: Culbreth Holding, LLC

ADDRESS: 3626 5th Avenue South

Birmingham, Alabama 35222

MAILING ADDRESS (if different from above) _____

PHONE NUMBER: Home _____ Office (205) 745-3933

NAME OF REPRESENTING ATTORNEY OR OTHER AGENT: _____

Engineering Design Group

III. ACTION REQUESTED

Final Plat Approval

Explain reason for the request: Combining Lots 41 and 42 into 1 Lot.

if additional information is needed, please attached full description of request

IV. PROPERTY DESCRIPTION: (address, legal description, etc.)

Lots 41, and 42 according to the survey of Topfield Subdivision, MB. 42, Pg. 72

3118 Pine Tree Drive

Property size: 332 feet X 226 feet. Acres: 1.24

VI. ZONING/REZONING:

The above described property is presently zoned: B-3

P1217-60//28-27-4-3-1
3118 Pine Tree Drive
Final Map to combine lots
Culbreth Holding, LLC

B3

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.



Owner Signature/Date

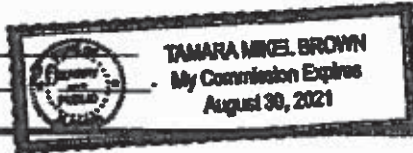
Representing Agent (if any)/date

Given under my hand and seal
this 27 day of NOV., 2017.



Notary Public

My commission expires
day of _____



CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: DECEMBER 14, 2017

- **CASE:** P-1217-61
- **REQUESTED ACTION:** Final Plat Approval For Resurvey Of Lots 28-A And 28-B Glass's 3rd Addition To New Merkle
- **ADDRESS/LOCATION:** 3779 & 3781 Poe Dr.
- **APPLICANT/OWNER:** Overton Investments, LLC
- **REPRESENTING AGENT:**
- **GENERAL DISCUSSION:** Plat is to combine resurvey two lots into three to finalize rezoning.
- **CAHABA HEIGHTS COMMUNITY PLAN:** This request is consistent with the plan for medium density residential.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted
 4. **Building Safety Review:** No problems noted

**CITY OF VESTAVIA HILLS
PLANNING AND ZONING COMMISSION
FINAL MAP APPLICATION**

II. APPLICANT INFORMATION: (owner of property)

NAME: Overton Investments, LLC

ADDRESS: 3505 Bent River Road

Birmingham, Alabama 35216

MAILING ADDRESS (if different from above) _____

PHONE NUMBER: Home _____ Office (205) 985-7171

NAME OF REPRESENTING ATTORNEY OR OTHER AGENT: _____

Engineering Design Group

III. ACTION REQUESTED

Final Plat Approval

Explain reason for the request: Resurveying 2 Lots into 3

if additional information is needed, please attached full description of request

IV. PROPERTY DESCRIPTION: (address, legal description, etc.)

Lots 28-A and 28-B according to the survey of Hind's Resurvey of Lots 27, 28, 29, Block 2

of Glass's 3rd Additon to New Merkle, MB. 183, Pg. 77

Property size: 180 feet X 145 feet. Acres: 0.6 acres

VI. ZONING/REZONING:

The above described property is presently zoned: _____

P1217-61//28-15-1-11-5.1 & 5.2
3779 & 3781 Poe Drive
Final Map resurvey 2 lots into 3
Overton Investment, LLC

P&Z Application
Page 4

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.



Owner Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this 20th day of November, 2017.



Notary Public

My commission expires 13th
day of March, 2020.

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: DECEMBER 14, 2017

- **CASE:** P-1217-62
- **REQUESTED ACTION:** Final Plat Approval For Vines Subdivision
- **ADDRESS/LOCATION:** 3428 East St.
- **APPLICANT/OWNER:** Del Vines
- **REPRESENTING AGENT:**
- **GENERAL DISCUSSION:** Plat is to combine resurvey one lot into three. All lots meet the requirements for the R-4 zoning.
- **CAHABA HEIGHTS COMMUNITY PLAN:** This request is consistent with the plan for medium density residential.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted
 4. **Building Safety Review:** No problems noted

**CITY OF VESTAVIA HILLS
PLANNING AND ZONING COMMISSION
FINAL MAP APPLICATION**

II. APPLICANT INFORMATION: (owner of property)

NAME: Del Vines

ADDRESS: 1 Bent Rail Lane
Pelham, AL 35124

MAILING ADDRESS (if different from above) _____

PHONE NUMBER: Home _____ Office (205) 369-6094

NAME OF REPRESENTING ATTORNEY OR OTHER AGENT: _____

III. ACTION REQUESTED

Final Plat Approval

Explain reason for the request: 3 Lot sub.

if additional information is needed, please attached full description of request

IV. PROPERTY DESCRIPTION: (address, legal description, etc.)

Sec. 14, T-18S, R-2W

3428 East St, Vestavia, AL 35243

Property size: _____ feet X _____ feet. Acres: 1.30 total Acres

VI. ZONING/REZONING:

The above described property is presently zoned: residential housing

P1217-62//28-14-3-33
3428 East Street
Final Map to create 3 Lot
Subdivision
Del Vines

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

Del Vines

Owner Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this 28 day of Nov., 2017.

Heather Letts
Notary Public

My commission expires 17th
day of NOV., 2019.



CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: DECEMBER 14, 2017

- **CASE:** P-1217-54
- **REQUESTED ACTION:** Final Plat Approval For Liberty Park Town Village Commercial Subdivision No. 2
- **ADDRESS/LOCATION:** Liberty Parkway & S. Liberty Rd.
- **APPLICANT/OWNER:** Liberty Park Joint Venture, LLP
- **REPRESENTING AGENT:** Schoel Engineering
- **GENERAL DISCUSSION:** Plat will create three lots in the new commercial district.
- **LIBERTY PARK PUD:** This request is consistent with the PUD for commercial.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted
 4. **Building Safety Review:** No problems noted

P1217-63//Liberty Park
Town Village Com. Sub No. 2
Final Map to subdivide acreage into
3 lots
Liberty Park Joint Venture

**CITY OF VESTAVIA HILLS
PLANNING AND ZONING COMMISSION
FINAL MAP APPLICATION**

II. APPLICANT INFORMATION: (owner of property)

NAME: Liberty Park Joint Venture LLP _____

ADDRESS: 8000 Liberty Pkwy, Ste 114 _____

Birmingham, AL 35242 _____

MAILING ADDRESS (if different from above) _____

PHONE NUMBER: Home _____ Office 205-945-6458 _____

NAME OF REPRESENTING ATTORNEY OR OTHER AGENT: _____

Walter Schoel Engineering _____

III. ACTION REQUESTED

Final Plat Approval

Explain reason for the request: Subdividing acreage into 3 lots _____

if additional information is needed, please attached full description of request

IV. PROPERTY DESCRIPTION: (address, legal description, etc.)

A portion of acreage located in the South 1/2 of the SE 1/4 of Section 12 and the _____

North 1/2 of the NE 1/4 of Section 13 Township 18S Range 2W _____

Property size: _____ feet X _____ feet. Acres: _____

VI. ZONING/REZONING:

The above described property is presently zoned: _____

P1217-63//Liberty Park
Town Village Com. Sub No. 2
Final Map to subdivide acreage into
3 lots
Liberty Park Joint Venture

P&Z Application
Page 4

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.



Owner Signature/Date

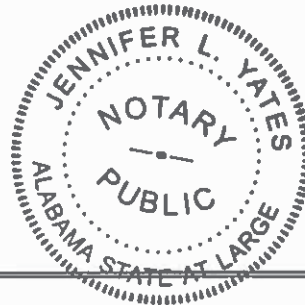
Representing Agent (if any)/date

Given under my hand and seal
this 21st day of November, 2020.



Notary Public

My commission expires 9th
day of May, 2020.



CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: DECEMBER 14, 2017

- **CASE:** P-1217-64
- **REQUESTED ACTION:** Final Plat Approval For Vestlake Cove Resurvey Resurvey No. 3
- **ADDRESS/LOCATION:** Landon Cove
- **APPLICANT/OWNER** Liberty Park Joint Venture LLP, Brian Murray, & Jennifer Murray
- **REPRESENTING AGENT:** Schoel Engineering
- **GENERAL DISCUSSION:** Plat is amending lot lines for lots 813 & 812-A to provide more buildable area.
- **LIBERTY PARK PUD:** This request is consistent with the PUD for single family residential.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted
 4. **Building Safety Review:** No problems noted

**CITY OF VESTAVIA HILLS
PLANNING AND ZONING COMMISSION
FINAL MAP APPLICATION**

II. APPLICANT INFORMATION: (owner of property)

NAME: Liberty Park Joint Venture LLP & Brian Murray & Jennifer Murray

ADDRESS: 8000 Liberty Parkway, Suite 114

Birmingham, AL 35242

MAILING ADDRESS (if different from above) _____

PHONE NUMBER: Home _____ Office 205-945-6458

NAME OF REPRESENTING ATTORNEY OR OTHER AGENT: _____

Walter Schoel Engineering Company, Inc.

III. ACTION REQUESTED

Final Plat Approval

Explain reason for the request: Adjusting property lines to clear building setback

if additional information is needed, please attached full description of request

IV. PROPERTY DESCRIPTION: (address, legal description, etc.)

Lot A, Lot 813 & Lot 812-A, Vestlake Cove Resurvey No 3 (Map Book 246 Pg 18)

Property size: _____ feet X _____ feet. Acres: _____

VI. ZONING/REZONING:

The above described property is presently zoned: _____

P1217-64//Liberty Park
Lots A, 812A & 813
Final Map to Adj. Property Line to
clear building setback
LPJV/Brian & Jennifer Murray

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.



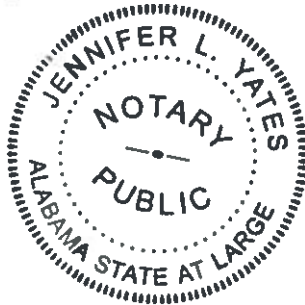
Owner Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this 2nd day of November, 20 17.



Notary Public



My commission expires 9th
day of May, 20 20.

P1217-64//Liberty Park
Lots A, 812A & 813
Final Map to Adj. Property Line to
clear building setback
LPJV/Brian & Jennifer Murray

P&Z Application
Page 4

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.



Owner Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this 2ND day of November, 20 17.

Brenda Mosley BRENDA mosley
Notary Public

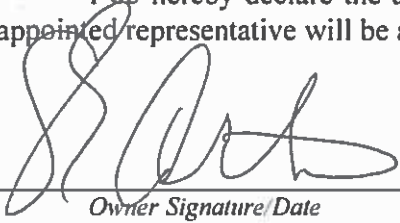
My commission expires 9 MY COMMISSION EXPIRES DECEMBER 9, 2018
day of December, 20 18.



P1217-64//Liberty Park
Lots A, 812A & 813
Final Map to Adj. Property Line to
clear building setback
LPJV/Brian & Jennifer Murray

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.



Owner Signature/Date

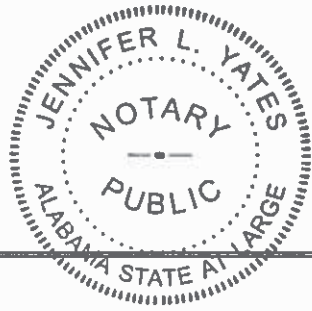
Representing Agent (if any)/date

Given under my hand and seal
this 21st day of November, 2017.



Notary Public

My commission expires 9th
day of May, 2020.



CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: DECEMBER 14, 2017

- **CASE: P-1217-56**
- **REQUESTED ACTION:** Rezoning from Vestavia Hills Inst., B-2, and A to Vestavia Hills B-1.2
- **ADDRESS/LOCATION:** 3122, 3128, 3134, & 3136 Sunview Dr.
- **APPLICANT/OWNER:** Thomas Holdings II, LLC
- **REPRESENTING AGENT:** Gonzalez-Strength & Assoc.
- **GENERAL DISCUSSION:** Property is on Sunview Dr., across from the Walgreens and adjacent to Cypress Dr. and Asbury Rd. Applicant is seeking rezoning to build three one-story office buildings (total: 10,788 sq. ft. +/-). The proposed buildings meets all requirements of a B-1.2 zoning, including parking and buffering. The 8' sidewalk would run along Sunview Dr. Developers will also be making improvements to the street, as well as adding on street parking which will count in the overall parking allotment. 3122 and 3128 are zoned Inst. And 3134 & 3156 are zoned B-2. A proposed site plan, landscaping plan, and renderings are attached.
- **CAHABA HEIGHTS COMMUNITY PLAN:** The request is consistent with the Cahaba Heights Community Plan for limited mixed use.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: Recommend approval based on plan and renderings.
 2. **City Engineer Review:** I have reviewed the application and have no issues with the request.
 3. **City Fire Marshal Review:** I have reviewed the application and I have no issues with this request.

4. **Building Safety Review:** I have reviewed the application and I have no issues with this request.

CITY OF VESTAVIA HILLS

APPLICATION

PLANNING AND ZONING COMMISSION

I. INSTRUCTIONS AND INFORMATION:

- (1) The Vestavia Hills Planning and Zoning Commission meets regularly on the second Thursday of each month at 6:00 PM in Council Chambers at the Municipal Center.
- (2) All materials and information relating to a zoning/rezoning request or conditional use approval before the Planning and Zoning Commission must be submitted to the Office of the City Clerk no later than **25 working days** prior to the **scheduled meeting at which it shall be considered**. All information relating to Preliminary Map approvals must be submitted to the Office of the City Clerk no later than 20 days prior to the scheduled meeting at which is shall be considered. All information relating to Final Map approvals must be submitted to the Office of the City Clerk no later than 15 days prior to the scheduled meeting at which it is to be considered.
- (3) This application must be filled out in its entirety complete with zip codes.
- (4) All applicable fees shall accompany this application prior to its being considered complete. Fees include an application fee of \$100.00 along with applicable postage per property owner to be notified for Commission meeting. Fees may also include notification fees for City Council meeting and publication fees which will be billed to applicant at a later date. ****No permits will be issued until all fees have been paid.**
- (5) Appropriate plats and maps with proper legal description shall accompany this application. **Please refer to attached checklist.**

II. APPLICANT INFORMATION: (owner of property)

NAME: Thomas Holdings II LLC

ADDRESS: 3125 Napoleon Ct
Vestavia AL 35243

MAILING ADDRESS (if different from above) same

PHONE NUMBER: Home 205 967 9613 Office 205 967 1140

NAME OF REPRESENTING ATTORNEY OR OTHER AGENT: Mary L Roberts
Agent

P1217-56//28-15-4-9-17-1
3122,3128,3134&3136Sunview Dr
Rezone to B-1.2
Thomas Holdings II, LLC
VH Inst.1. B-2 & A

III. ACTION REQUESTED

Request that the above described property be zoned/rezoned

From: I-1, B-2, A

To: B-1.2

For the intended purpose of: Office Buildings

(Example: From "VH R-1" to "VH O-1" for office building)

if additional information is needed, please attached full description of request

IV. PROPERTY DESCRIPTION: (address, legal, etc.)

See attached.

Property size: IRR feet X IRR feet. Acres: 1.11

V. INFORMATION ATTACHED:



Attached Checklist complete with all required information.



Application fees submitted.

VI. I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

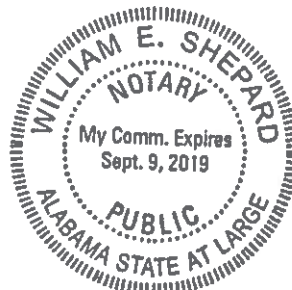
Kaneth Thomas
Owner Signature/Date

W. E. Shepard
Representing Agent (if any)/date

Given under my hand and seal
this 9TH day of NOVEMBER, 2017.

William E. Shepard
Notary Public

My commission expires 9TH
day of SEPTEMBER, 2019.



LEGAL DESCRIPTION

Parcel#1

A parcel of land situated in the Southwest one-quarter of the Southeast one-quarter of Section 15, Township 18 South, Range 2 West, Jefferson County being more particularly described as follows:

Commencing at a found capped iron stamped EDG 804LS marking the Southeast corner of Lot 13, Block 2 Glass's Second Addition to New Merkle as recorded in Map Book 28, Page 51 in the Office of the Judge of Probate of Jefferson County, Alabama said point also lying on the Northerly right of way of Sunview Drive (right of way varies); thence run North 59 degrees 21 minutes 51 seconds West along said Northerly right of way and along the South lot lines and the extension thereof of Lots 13, 12, and 11 said Block 2 Glass's Second Addition to New Merkle for a distance of 189.04 feet to a set 5/8 inch capped rebar stamped GSA CA-560LS; thence run North 63 degrees 41 minutes 47 seconds West along said Northerly right of way for a distance of 84.87 feet to a found PK nail and the POINT OF BEGINNING of the Parcel herein described; thence run North 49 degrees 17 minutes 22 seconds West along said Northerly right of way for a distance of 29.25 feet to a set 5/8 inch capped rebar stamped GSA CA-560LS lying on a curve turning to the right, with a radius of 331.15 feet, with a delta angle of 08 degrees 33 minutes 56 seconds, with a chord bearing of North 37 degrees 16 minutes 00 seconds West, and with a chord length of 49.46 feet; thence run along the arc of said curve and along said Northerly right of way for a distance of 49.51 feet to a set 5/8 inch capped rebar stamped GSA CA-560LS; thence run North 32 degrees 59 minutes 02 seconds West along said Northerly right of way for a distance of 71.55 feet to a found capped iron stamped EDG 804LS; thence leaving said Northerly right of way run North 41 degrees 48 minutes 11 seconds East for a distance of 4.49 feet to a found capped iron stamped EDG 804LS; thence run North 20 degrees 07 minutes 49 seconds East for a distance of 31.99 feet to a set 5/8 inch capped rebar stamped GSA CA-560LS; thence run North 47 degrees 54 minutes 46 seconds East for a distance of 32.36 feet to a set 5/8 inch capped rebar stamped GSA CA-560LS; thence run South 89 degrees 36 minutes 14 seconds East for a distance of 92.84 feet to a found capped iron stamped EDG 804LS; thence run South 01 degrees 08 minutes 01 seconds East for a distance of 45.56 feet to a found capped iron stamped EDG 804LS; thence run North 63 degrees 35 minutes 07 seconds West for a distance of 49.78 feet to a found 5/8 inch rebar; thence run South 01 degrees 29 minutes 30 seconds East for a distance of 149.54 feet to the POINT OF BEGINNING. Said parcel contains 11,322 square feet or 0.26 acres more or less.

Parcel#2

A parcel of land situated in the Southwest one-quarter of the Southeast one-quarter of Section 15, Township 18 South, Range 2 West, Jefferson County being more particularly described as follows:

Commencing at a found capped iron stamped EDG 804LS marking the Southeast corner of Lot 13, Block 2 Glass's Second Addition to New Merkle as recorded in Map Book 28, Page 51 in the Office of the Judge of Probate of Jefferson County, Alabama said point also lying on the Northerly right of way of Sunview Drive (right of way varies); thence run North 59 degrees 21 minutes 51 seconds West along said Northerly right of way and along the South lot lines and the extension thereof of Lots 13, 12, and 11 said Block 2 Glass's Second Addition to New Merkle for a distance of 189.04 feet to a set 5/8 inch capped rebar stamped GSA CA-560LS and the POINT OF BEGINNING of the parcel herein described; thence run North 63 degrees 41 minutes 47 seconds West along said Northerly right of way for a distance of 84.87 feet to a found PK nail; thence leaving said Northerly right of way run North 01 degrees 29 minutes 30 seconds West for a distance of 149.54 feet to a found 5/8 inch rebar; thence run South 63 degrees 35 minutes 07 seconds East for a distance of 49.78 feet to a found capped iron stamped EDG 804LS; thence run South 63 degrees 43 minutes 01 seconds East for a distance of 35.22 feet to a found capped iron stamped EDG 804LS; thence run South 01 degrees 27 minutes 45 seconds East for a distance of 149.40 feet to the POINT OF BEGINNING. Said parcel contains 11,227 square feet or 0.26 acres more or less.

Parcel#3

A portion of vacated 20th Avenue situated in the Southwest one-quarter of the Southeast one-quarter of Section 15, Township 18 South, Range 2 West, Jefferson County being more particularly described as follows:

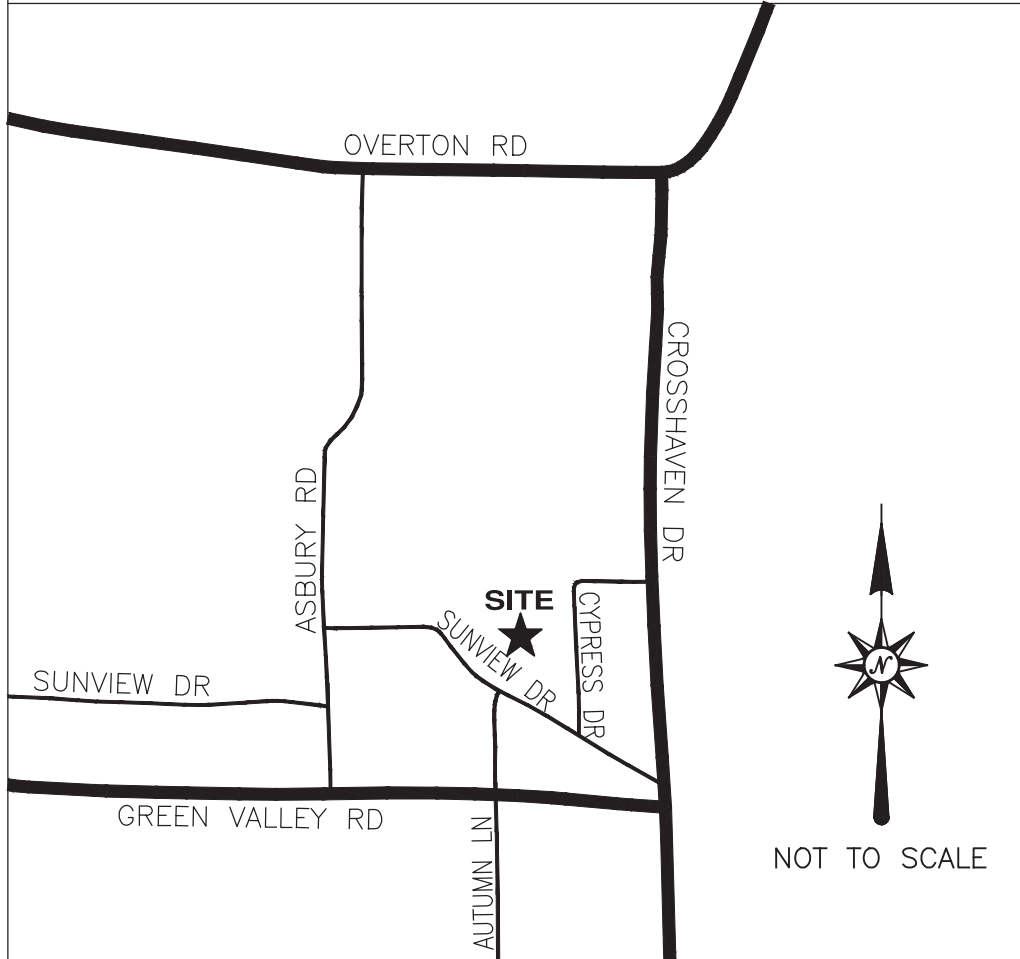
Commencing at a found capped iron stamped EDG 804LS marking the Southeast corner of Lot 13, Block 2 Glass's Second Addition to New Merkle as recorded in Map Book 28, Page 51 in the Office of the Judge of Probate of Jefferson County, Alabama said point also lying on the Northerly right of way of Sunview Drive (right of way varies); thence run North 59 degrees 21 minutes 51 seconds West along said Northerly right of way and along the South lot lines of Lots 13, 12, and 11 said Block 2 Glass's Second Addition to New Merkle for a distance of 165.58 feet to a found capped iron stamped EDG 804LS marking the Southwest corner of said Lot 11 said point also lying on the Easterly vacated right of way of 20th Avenue and the POINT OF BEGINNING of the parcel herein described; thence run North 59 degrees 21 minutes 36 seconds West along said Northerly right of way for a distance of 23.46 feet to a set 5/8 inch capped rebar stamped GSA CA-560LS lying on the Westerly vacated right of way of 20th Avenue; thence leaving said Northerly right of way run North 01 degrees 27 minutes 45 seconds West said vacated right of way for a distance of 149.40 feet to a found capped iron stamped EDG 804LS; thence leaving said vacated right of way run North 86 degrees 10 minutes 14 seconds East for a distance of 22.48 feet to a found capped iron stamped EDG 804LS lying on the Easterly vacated right of way of 20th Avenue; thence run South 00 degrees 33 minutes 06 seconds East along said vacated right of way and along West lot line of Lots 10 and 11 said Block 2 Glass's Addition to New Merkle for a distance of 162.82 feet to the POINT OF BEGINNING. Said parcel contains 3,318 square feet or 0.08 acres more or less.

Parcel#4

A parcel of land situated in the Southwest one-quarter of the Southeast one-quarter of Section 15, Township 18 South, Range 2 West, Jefferson County being more particularly described as follows:

Beginning at a found capped iron stamped EDG 804LS marking the Southeast corner of Lot 13, Block 2 Glass's Second Addition to New Merkle as recorded in Map Book 28, Page 51 in the Office of the Judge of Probate of Jefferson County, Alabama said point also lying on the Northerly right of way of Sunview Drive (right of way varies); thence run North 59 degrees 21 minutes 51 seconds West along said Northerly right of way and along the South lot lines of Lots 13, 12, and 11 said Block 2 Glass's Second Addition to New Merkle for a distance of 165.58 feet to a found capped iron stamped EDG 804LS marking the Southwest corner of said Lot 11 said point also lying on the Easterly vacated right of way of 20th Avenue; thence leaving said Northerly right of way run North 00 degrees 33 minutes 06 seconds West along said vacated right of way and along the West lot line of said Lot 11 for a distance of 116.79 feet to a set 5/8 inch capped rebar stamped GSA CA-50LS marking the Northwest corner of said Lot 11; thence leaving said vacated right of way run North 87 degrees 01 minutes 11 seconds East along the North lot line of said Lots 11, 12, and 13 for a distance of 132.41 feet to a found capped iron stamped EDG 804LS marking the Northeast corner of said Lot 13; thence run South 03 degrees 07 minutes 31 seconds East along the East lot line of said Lot 13 for a distance of 208.36 feet to the POINT OF BEGINNING. Said parcel contains 22,066 square feet, or 0.51 acres more or less.

VICINITY MAP

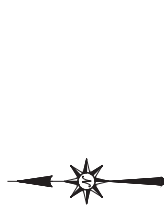


NO.	DESCRIPTION	DATE

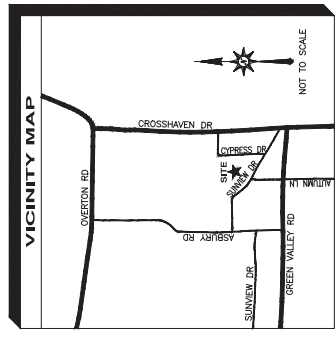
CONCEPTUAL LAYOUT PLAN
SUNVIEW OFFICE COMPLEX
 SUNVIEW HILLS, ALABAMA
 WESTVIEW DRIVE
 THORNTON CONSTRUCTION
 BIRMINGHAM, ALABAMA
 SCALE: 1/8" = 1'-0"
 SHEET NO. 1711CC001

GONZALEZ - STRENGTH & ASSOCIATES, INC.
 CIVIL ENGINEERING, LAND SURVEYING, PLANNING & TRANSPORTATION
 2776 PARKWAY LAKE DRIVE
 HOOPER, ALABAMA 35244
 PHONE: (205) 942-2486
 FAX: (205) 942-9023
 WWW.GONZALEZ-STRENGTH.COM
 © Copyright 2019

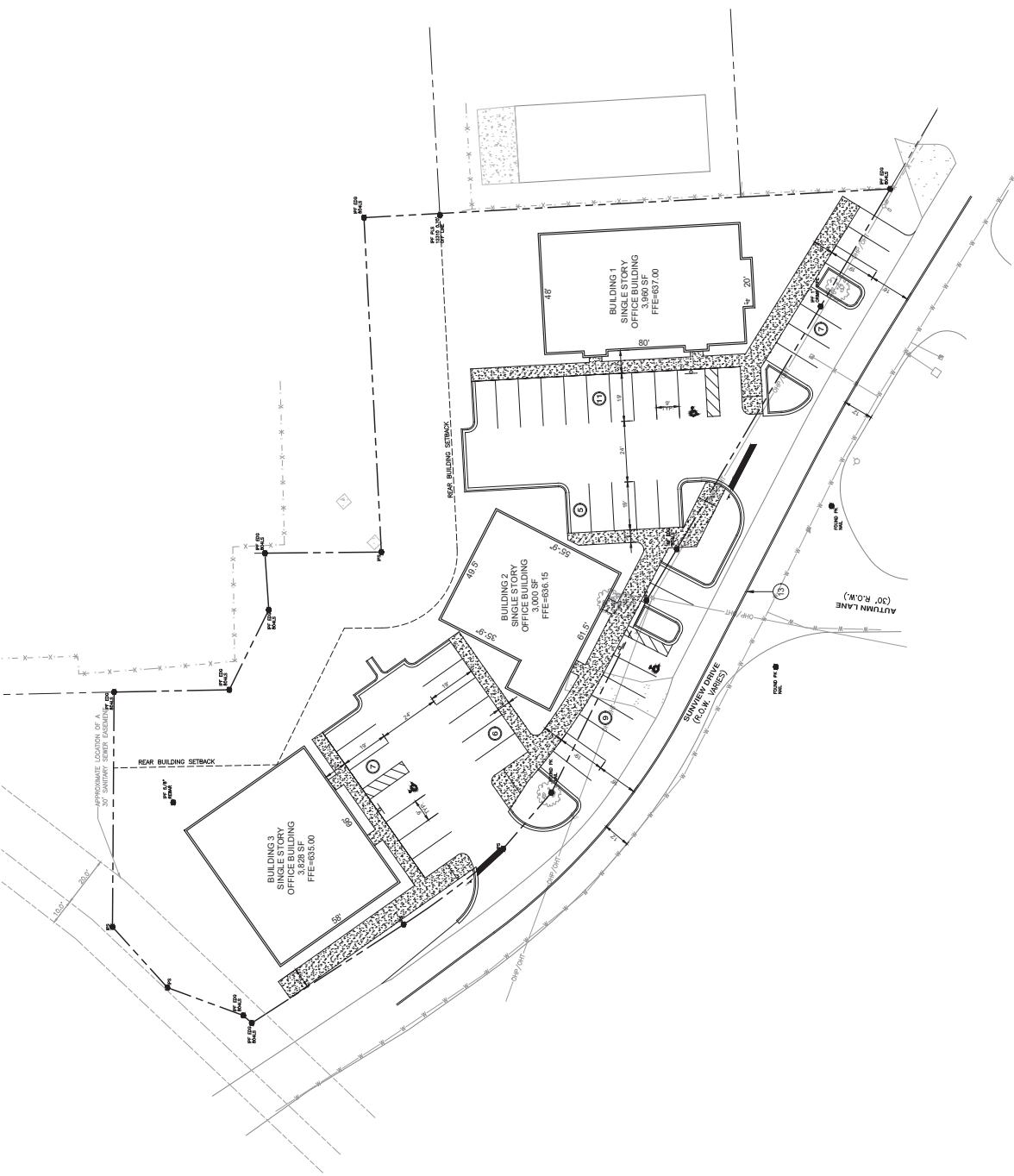
FOR INFORMATION ONLY
 DRAWING NO. 1711CC001

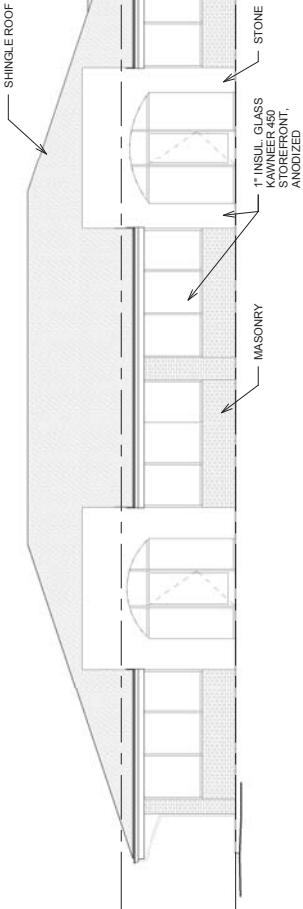


1" = 20'
 GRAPHIC SCALE
 0 20 40 60'



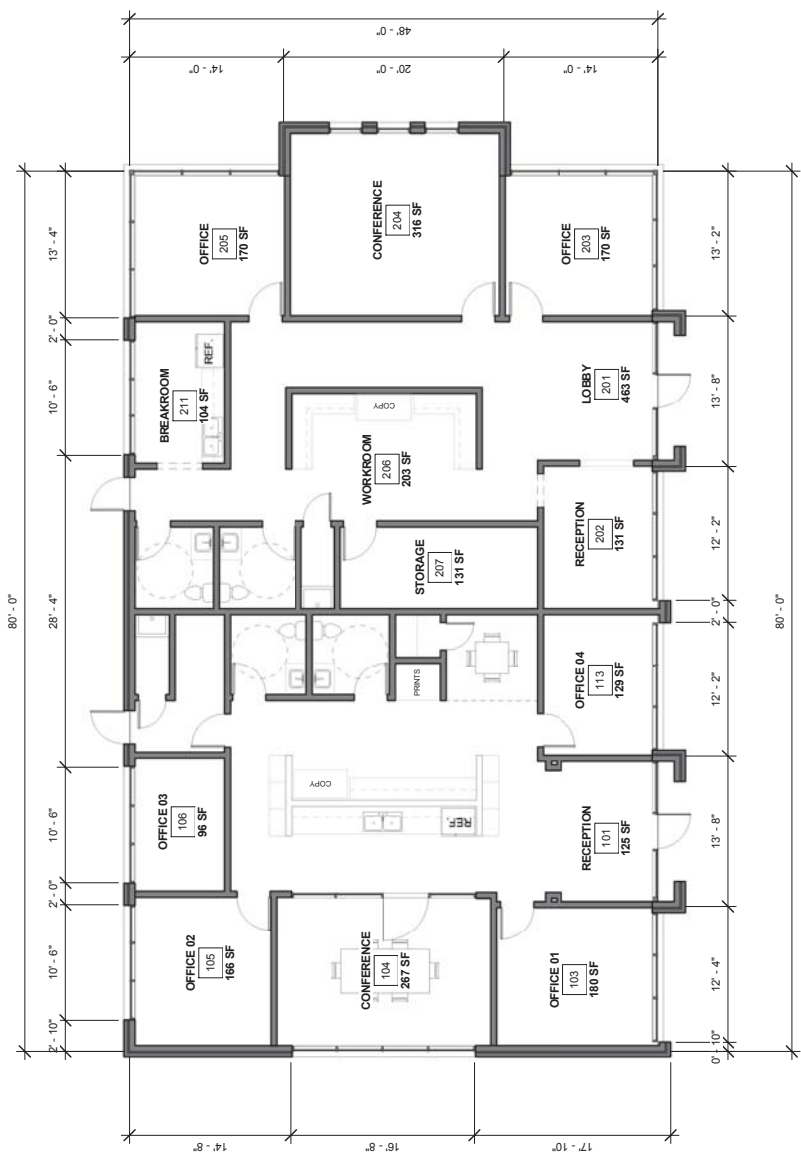
EXISTING ZONING:	I-1B-2-A
TOTAL PROPERTY AREA:	4.111 ACRES
BUILDING SETBACKS:	
FRONT:	0'
REAR:	0'
SIDE:	0'
BUILDING AREA:	10,788 SF
OFFICE:	10,788 SF
TOTAL BUILDING AREA:	10,788 SF
PARKS REQ'D:	44
OFFICE (1 PER 250SF/100%)	44
TOTAL PARKS REQ'D: WEEKDAY 8AM-5PM	44
PARKS PROVIDED:	42
STANDARD	3
ADA ACCESSIBLE	3
TOTAL PARKS PROVIDED:	45
PROPOSED TRIPS: ITE GENERATION MANUAL, 7TH ED.	119
GENERAL OFFICE WEEKDAY (11,011,000 SF)	119
TOTAL TRIPS:	119





3 North Elevation
1/8" = 1'-0"

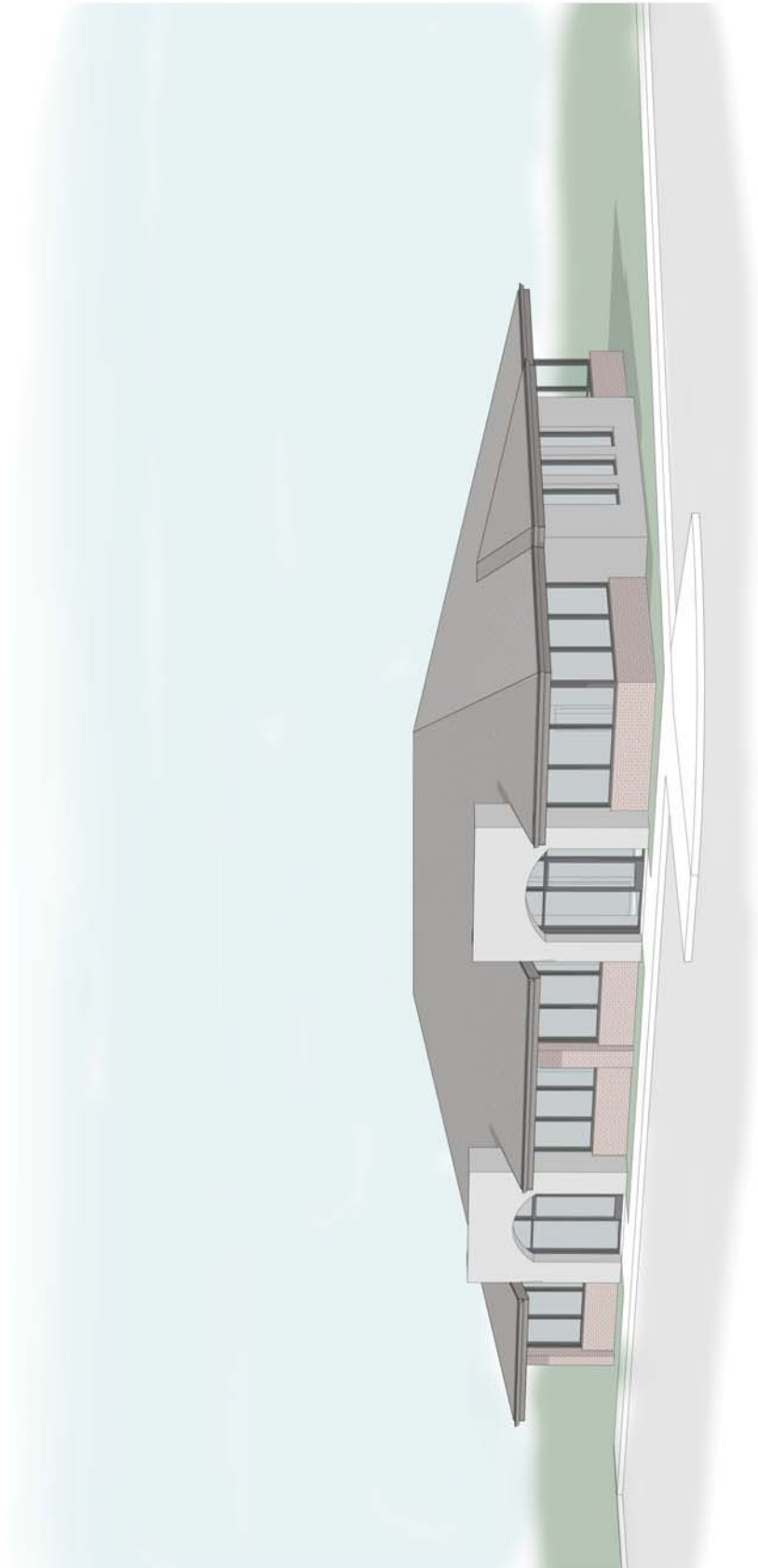
2 East Elevation
1/8" = 1'-0"



1 01 - First Floor
1/8" = 1'-0"

THORNTON CONSTRUCTION
Sunview Drive Development - Building 01
Vestavia Hills, Alabama

2320 Highland Avenue
Suite 250
BIRMINGHAM, ALABAMA 35205
205.258.6161
barrettarchstudio.com

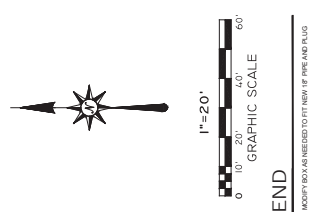


NO.	REVISIONS	DATE

TITLE CONCEPTUAL GRADING PLAN
 SUNVIEW OFFICE COMPLEX
 THORNTON CONSTRUCTION
 SUNVIEW DRIVE
 WEST WALK HILLS, ALABAMA
 BIRMINGHAM, ALABAMA
 DATE 05/01/17
 SCALE 1/8" = 1'-0"
 CREA. BY WEM
 DWN. BY WEM

GONZALEZ - STRENGTH & ASSOCIATES, INC.
 CIVIL ENGINEERING, LAND SURVEYING, PLANNING & TRANSPORTATION
 2578 FARMWYN LAKE DRIVE
 HOOPER, ALABAMA 35244
 PHONE: (205) 942-2418
 FAX: (205) 942-9323
 WWW.GONZALEZ-STRENGTH.COM
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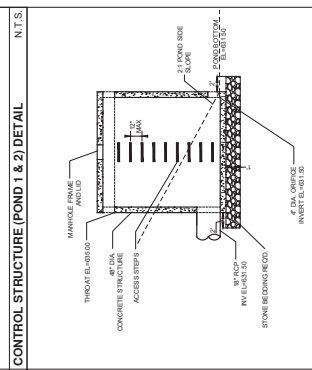
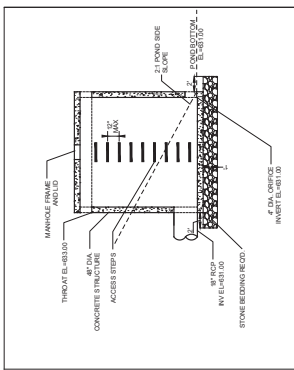
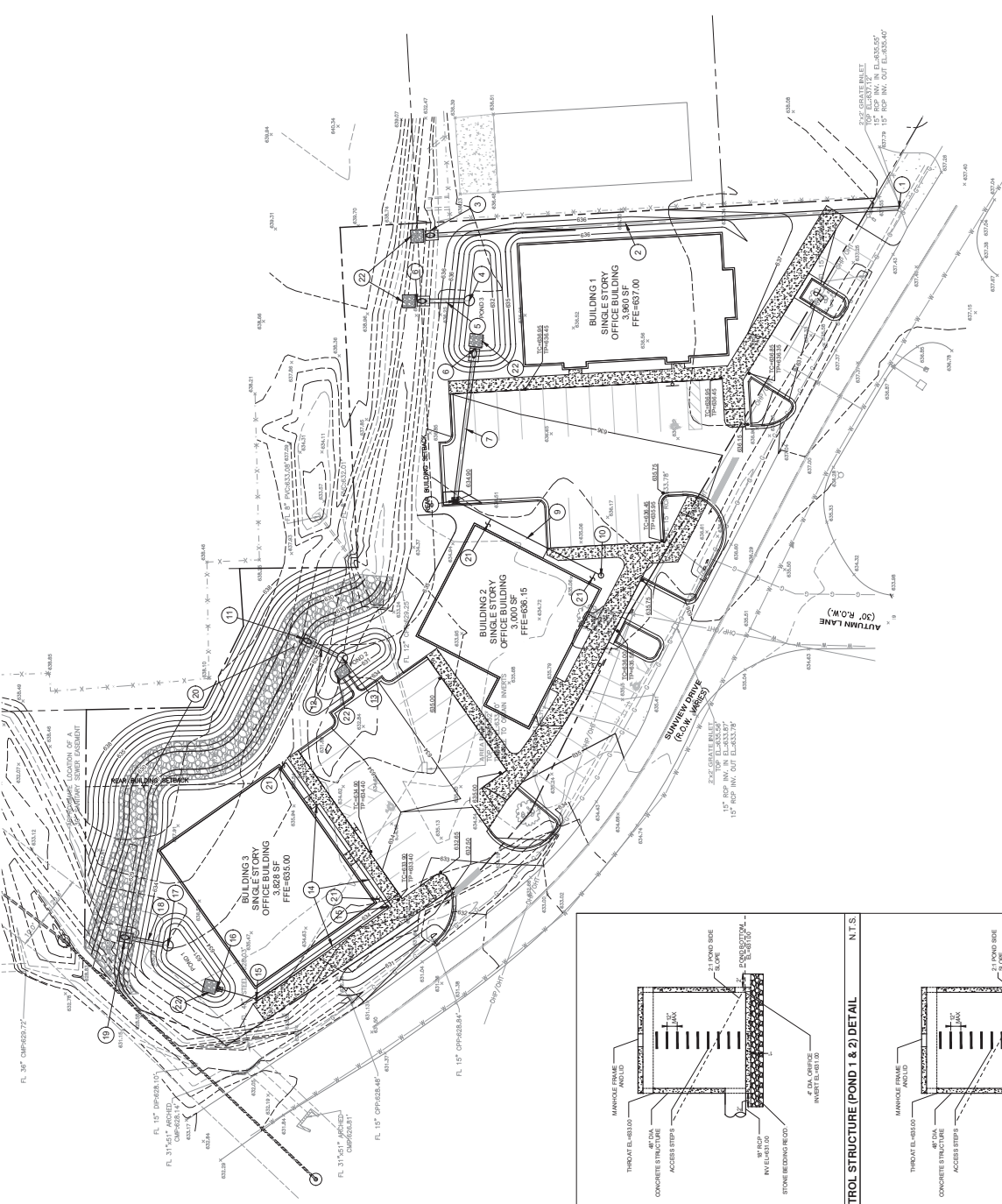
FOR INFORMATION ONLY
 811
 Know what's below
 Call before you dig
 DRAWING NO. CA
 PROJECT NO. 17THCC001



GRADING LEGEND

- 1 EXISTING TOPOGRAPHY TO BE MAINTAINED UNLESS INDICATED OTHERWISE
- 2 18.5% IF PROP. @ 1% MINIMUM SLOPE
- 3 SLOPE PAVED ON THE ADJACENT SIDEWALK
- 4 CONTROL STRUCTURE #3. SEE DETAIL.
- 5 14.1% IF PROP. @ 1% MINIMUM SLOPE
- 6 SLOPE PAVED ON THE ADJACENT SIDEWALK
- 7 9.5% IF PROP.
- 8 GATE INLET
- 9 14.1% IF PROP. @ 1% MINIMUM SLOPE
- 10 IF INDIKATED IN PLAN DRAWING WITH REDICATED IN THE TOPOGRAPHY, TOP SHALL BE SET 2' BELOW LOWEST EXISTING BUILDING ELEVATION, INVERT SHALL BE 2' BELOW TOP TYPICAL FLOOR FINISH.
- 11 SLOPE ON THE ADJACENT SIDEWALK
- 12 14.1% IF PROP. @ 1% MINIMUM SLOPE
- 13 CONTROL STRUCTURE #4. SEE DETAIL.
- 14 14.1% IF PROP. @ 1% MINIMUM SLOPE
- 15 CLEAN OUT REEDS. SEE DETAIL.
- 16 SLOPE PAVED ON THE ADJACENT SIDEWALK
- 17 CONTROL STRUCTURE #4. SEE DETAIL.
- 18 13.1% IF PROP. @ 1% MINIMUM SLOPE
- 19 15.5% IF PROP. @ 1% MINIMUM SLOPE
- 20 2' MIN. SLOPE @ 1% MINIMUM SLOPE FOR DISTRIBUTION. SEE DETAIL.
- 21 TIE TO ROOF DRAINAGE.
- 22 8" x 8" BIRNAP POND.

LEGEND	
[Symbol]	EXISTING STORM SEWER
[Symbol]	EXISTING BUILDING LINE
[Symbol]	EXISTING IMPROVEMENTS
[Symbol]	EXISTING CURB AND GUTTER
[Symbol]	EXISTING DRIVE AND DRIVE
[Symbol]	EXISTING PAINT STRIPING
[Symbol]	PROPOSED IMPROVEMENTS
[Symbol]	EASIMENT LINE
[Symbol]	EXISTING FLOW
[Symbol]	PROPOSED CONTOURS
[Symbol]	PROPOSED STORM SEWER
[Symbol]	PROPOSED SANITARY SEWER
[Symbol]	PROPOSED WATER MAIN
[Symbol]	PROPOSED LIGHT POLE
[Symbol]	EXISTING SANITARY SEWER
[Symbol]	EXISTING WATER MAIN
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING DRAIN LINE
[Symbol]	PROPOSED ELEVATION
[Symbol]	PROPOSED EXISTING ELEVATION
[Symbol]	PROPOSED WATER MAIN INVERT
[Symbol]	PROPOSED WATER MAIN
[Symbol]	PROPOSED LIGHT POLE



CONTROL STRUCTURE (POND 1 & 2) DETAIL N.T.S.
 CONTROL STRUCTURE (POND 3) DETAIL N.T.S.

KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE
BE	5	'BOSQUE' ELM	ULMUS PARVIFOLIA 'UPMTF'	2½" CAL. 12'-14' B&B
SO	4	SHUMARD OAK	QUERCUS SHUMARDII	2½" CAL. 12'-14' B&B
MAG	1	'CLAUDIA WANNAMAHER' MAGNOLIA	MAGNOLIA GRANDIFLORA 'CLAUDIA WANNAMAHER'	8-9' HT. FULL TO THE GROUND B&B
SBMAG	1	AUSTRALIS BAY MAGNOLIA	MAGNOLIA VIRGINIANA 'AUSTRALIS'	8-10' MULTI-TRUNKED B&B
ST WCM	3	'NATCHEZ' CRAPE MYRTLE STD	LAGERSTROEMIA INIDCA 'NATCHEZ'	10-12' 2½" CAL. SINGLE TRUNK LIMBED UP 3' B&B FULL
FH	1	FOSTER'S HOLLY STD	ILEX X ATTENUATA 'FOSTERI' STD	10-12' 3" CAL. SINGLE TRUNK LIMBED UP 3' B&B
BC	4	BALD CYPRESS	TAXODIUM DISTICHUM	2½" CAL. 9-10' B&B
RB	2	'DURA HEAT' RIVER BIRCH	BETULA NIGRA 'DURA HEAT'	8-9' MULTI-TRUNKED B&B
LP	60	LOBLOLLY PINE	PINUS TAEDA	3 GALLON FULL
DAB	24	DWARF ABELIA 'EDWARD GOUCHER'	ABELIA X 'EDWARD GOUCHER'	3 GALLON 15" SPREAD
RMB	61	DWARF INDIAN HAWTHORN 'SNOW WHITE'	RHAPHIOLEPIS INDICA 'SNOW WHITE'	3 GALLON 15" SPREAD
DYH	101	DWARF YAUPON HOLLY 'SCHILLINGS'	ILEX VOMITORIA NANA 'SCHILLINGS'	3 GALLON 15" SPREAD
EA	121	ENCORE AZALEA	AZALEA X 'CORLEB' (RED)	3 GALLON 15" SPREAD
OG	3	MISCANTHUS	MISCANTHUS SINENSIS 'GRACILLIMUS'	3 GALLON 30" HEIGHT
NSH	26	'NELLIE R. STEVENS' HOLLY SHRUBBY YEW	ILEX X 'NELLIE R. STEVENS' PODOCARPUS	7 GALLON HEAVY
JY	12	PODOCARPUS	MACROPHYLLUS 'MAKI'	7 GALLON HEAVY
WM	86	WAX MYRTLE	MYRICA CERIFERA	3 GALLON 15" SPREAD
SC	300	SEASONAL COLOR- ANNUALS	MIXED COLORS- SEASONAL COLOR	4 ½" POTS HEAVY
DAY	53	'STELLA D'ORO' DAYLILLY	HEMEROCALLIS 'STELLA D'ORO'	1 GALLON FULL
BBL	155	'BIG BLUE' LIRIOPE	LIRIOPE MUSCARI 'BIG BLUE'	4 ½" POTS FULL

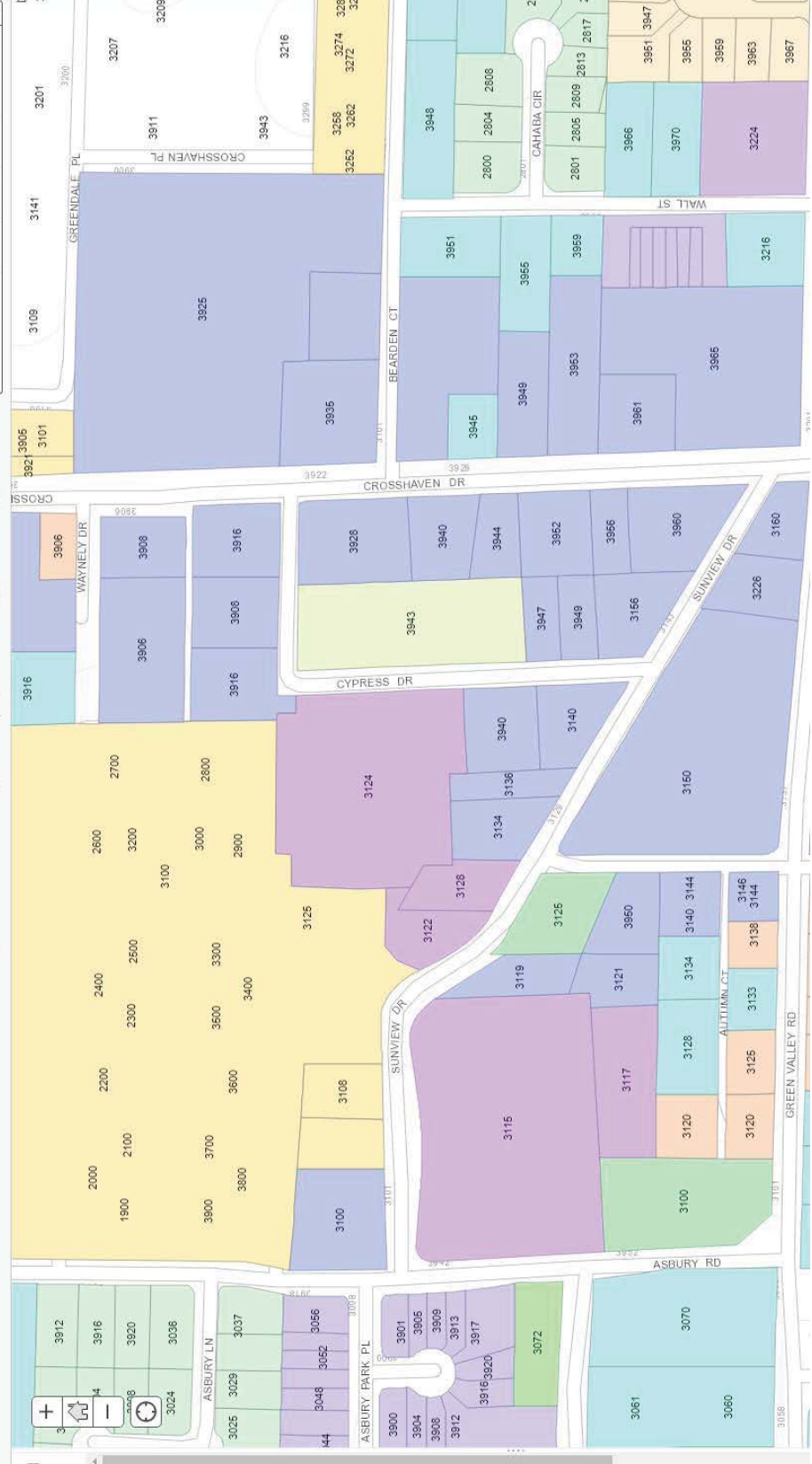
Zoning - Vestavia_Hills_Address_Points

About Content Legend



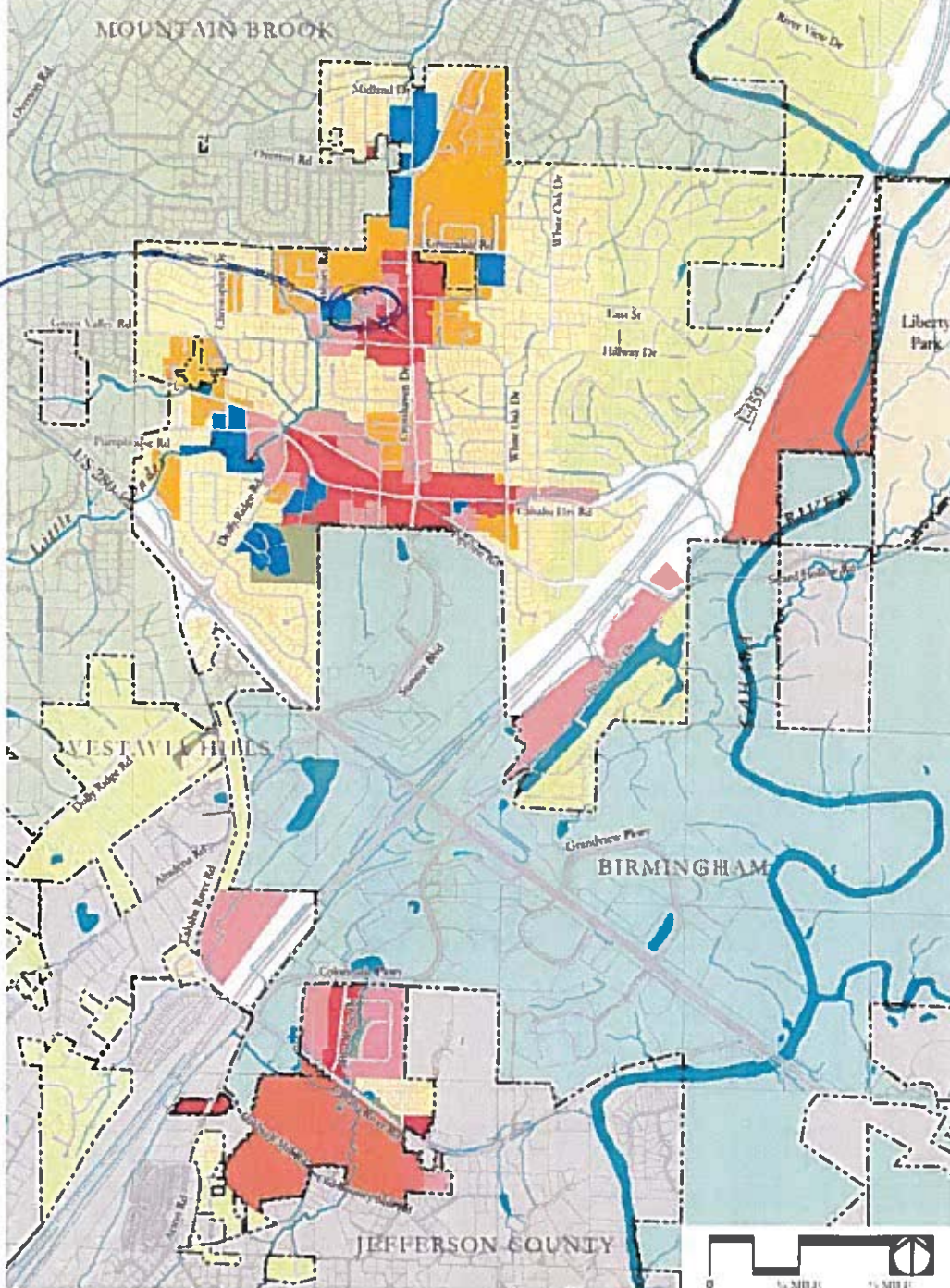
Zoning

- A
- B-1
- B-1*
- B-1.2
- B-1.2*
- B-2
- B-2*
- B-3
- B-3*
- E-2
- E-2*
- Inst-1
- Inst-1*
- O-1
- O-1*
- O-2
- O-2*
- PUD-MU
- PUD-PB
- PUD-PB*
- pin-pr-01



Future Land Use

- | | | |
|--|---|--|
|  Low-Density Residential |  Retail/Mixed Use |  Institutional |
|  Medium-Density Residential |  Limited Mixed Use |  Parks and Open Space |
|  High-Density Residential |  Planned Mixed Use | |
|  Birmingham |  Jefferson County |  Mountain Brook |



Subject Parcel

Figure 4: Future Land Use Map

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: DECEMBER 14, 2017

- **CASE:** P-1217-58
- **REQUESTED ACTION:** Rezoning From Vestavia Hills Inst-1 to Vestavia Hills B-2
The Purpose Of A Sports Medicine & Fitness Institute
- **ADDRESS/LOCATION:** 2301 Old Columbiana Rd.
- **APPLICANT/OWNER:** Russell W. Polhemus
- **REPRESNTING AGENT:**
- **GENERAL DISCUSSION:** Property consists only of Sports Medicine & Fitness Institute. Property is being sold and the proposed rezoning will bring property into current compliance with zoning regulations since the new owners are moving from non-profit to for-profit status. The only changes planned by the purchaser are the improvement of drainage and improved property maintenance. The applicants have also included a list of permitted B-2 uses that they have agreed to have stricken.
- **VESTAVIA HILLS COMPREHENSIVE PLAN:** The request is consistent with the Comprehensive Plan for Neighborhood (recreational areas).
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: Rezoning conditioned on uses presented.
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems notes.
 4. **Building Safety Review:** I have reviewed the application and I have no issues with this request.

CITY OF VESTAVIA HILLS

APPLICATION

PLANNING AND ZONING COMMISSION

I. INSTRUCTIONS AND INFORMATION:

- (1) The Vestavia Hills Planning and Zoning Commission meets regularly on the second Thursday of each month at 6:00 PM in Council Chambers at the Municipal Center.
 - (2) All materials and information relating to a zoning/rezoning request or conditional use approval before the Planning and Zoning Commission must be submitted to the Office of the City Clerk no later than **25 working days prior to the scheduled meeting at which it shall be considered**. All information relating to Preliminary Map approvals must be submitted to the Office of the City Clerk no later than 20 days prior to the scheduled meeting at which is shall be considered. All information relating to Final Map approvals must be submitted to the Office of the City Clerk no later than 15 days prior to the scheduled meeting at which it is to be considered.
 - (3) This application must be filled out in its entirety complete with zip codes.
 - (4) All applicable fees shall accompany this application prior to its being considered complete. Fees include an application fee of \$100.00 along with applicable postage per property owner to be notified for Commission meeting. Fees may also include notification fees for City Council meeting and publication fees which will be billed to applicant at a later date. ***No permits will be issued until all fees have been paid.*
 - (5) Appropriate plats and maps with proper legal description shall accompany this application. Please refer to attached checklist.
-

II. APPLICANT INFORMATION: (owner of property)

NAME: Russell W. Polhemus LLC

ADDRESS: 2301 Old Columbiana Road Vestavia Hills, AL 35216

MAILING ADDRESS (if different from above) _____

PHONE NUMBER: Home 404-971-4507 Office _____

NAME OF REPRESENTING ATTORNEY OR OTHER AGENT: Richard Pennino

1756 Mountain Woods Cr Vestavia Hills, AL 35216

III. ACTION REQUESTED

Request that the above described property be zoned/rezoned

From: Institutional

To: B2 with restrictions (Zoning only changes if property is sold)

For the intended purpose of: Recreational, Fitness and Rehabilitation and related activities

(Example: From "VH R-1" to "VH O-1" for office building)

****if additional information is needed, please attached full description of request****

IV. PROPERTY DESCRIPTION: (address, legal, etc.)

2301 Old Columbiana Road, Vestavia Hills, Al 35216

Lot 2 Polhemus Addition to Vestavia Hills PB 223 Page 52

Property size: _____ feet X _____ feet. Acres: 2.61

V. INFORMATION ATTACHED:

Attached Checklist complete with all required information.

Application fees submitted.

VI. I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

Russell W. Polhemus
Owner Signature/Date 11/9/17

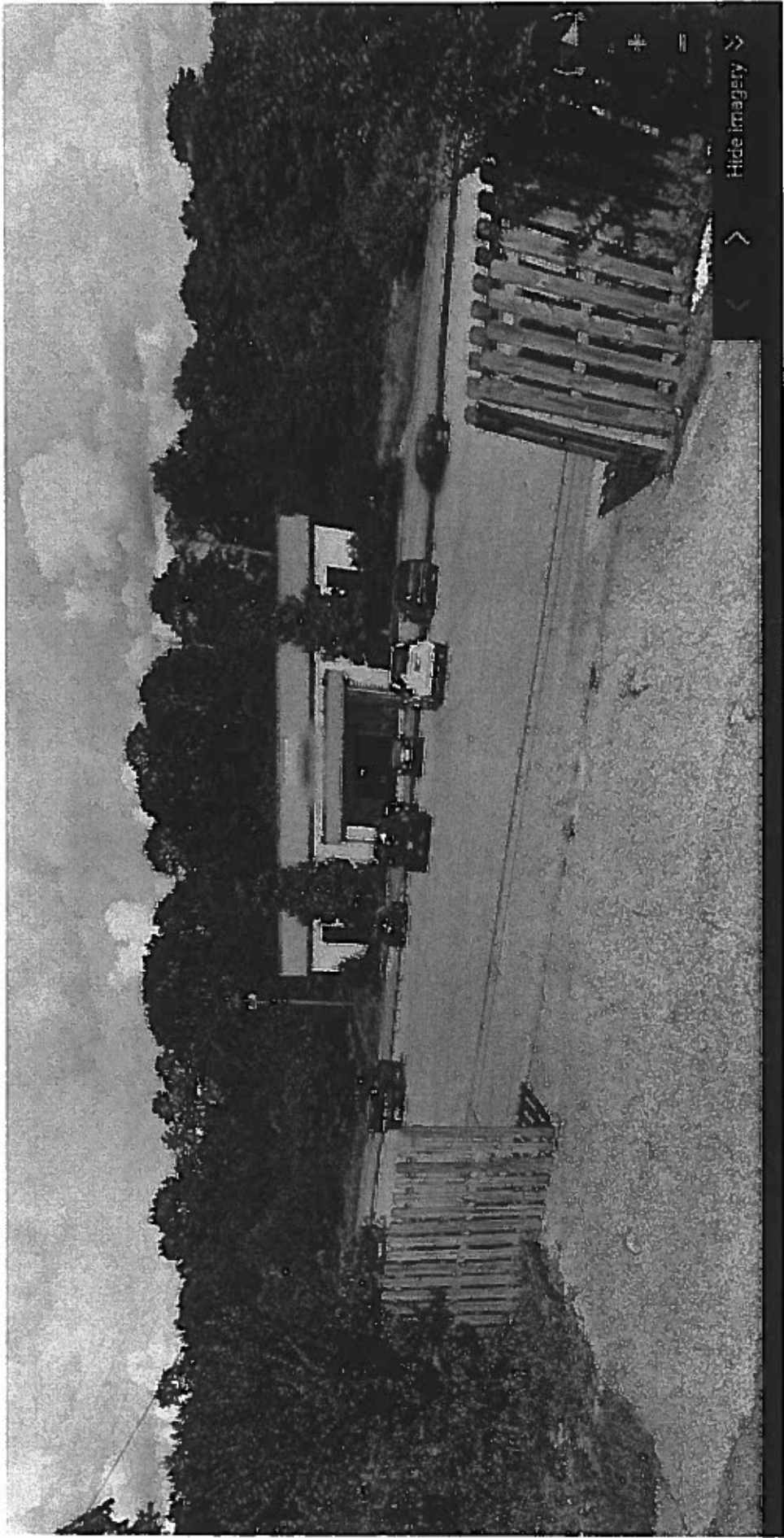
Richard J. [Signature] 11/9/2017
Representing Agent (if any)/date

Given under my hand and seal
this 9 day of November, 2017.

Michael White Arledge
Notary Public

My commission expires 10
day of April, 2018.





Hide Imagery

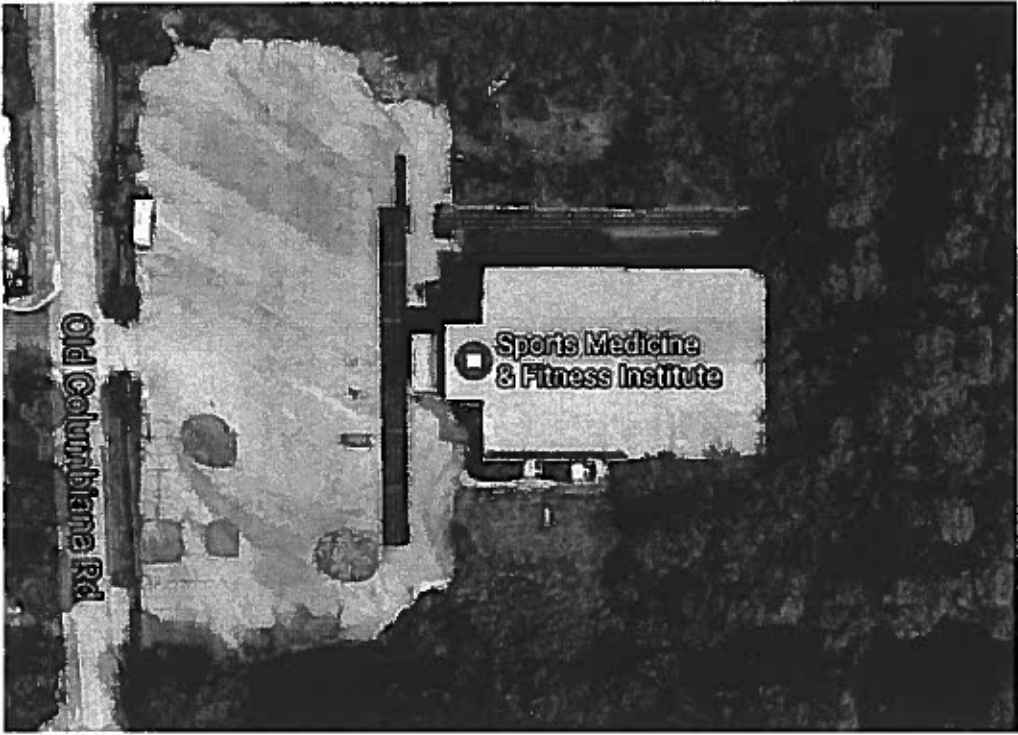
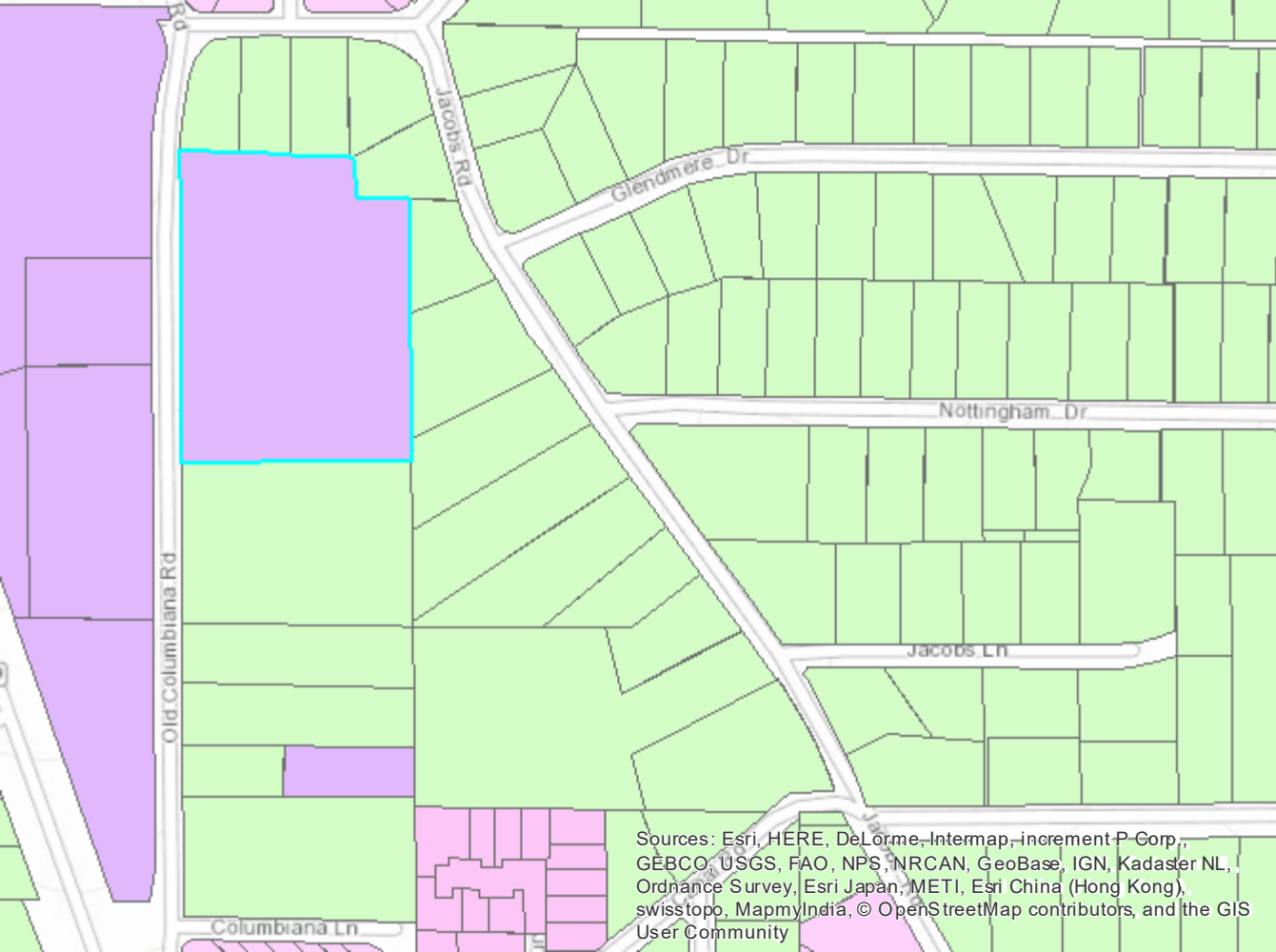


Table 6 Use Regulations for Non-Residential Districts								
USES / DISTRICTS:	A	B-1	B-1.2	B-2	B-3	O-1	O-2	INST
AGRICULTURAL								
Farm, Raising of Crops only	Y							
Farm, Raising of Livestock	L							
Farm Support Business	SE				C			
Forestry	Y							
Stable	Y							
RESIDENTIAL								
Assisted Living Facility			C					Y
Independent Living Facility			Y					
Multi-family dwelling			Y					
Townhouse			Y					
LODGING								
Bed and Breakfast, §7.4	C							
Hotel X				Y	Y			
Motel					Y			
INSTITUTIONAL								
Animal Shelter, §7.6 X	Y			C	C			C
Private Club X		Y	Y	Y	Y	Y	Y	Y
Day Care Center, §7.7 X		L	L	Y	Y	C	C	C
Hospital X					C		C	Y
Nursing Home Y					C			Y
Place of Assembly	C	L	L	Y	Y	L	Y	Y
Public Facility Y	L	L	L	Y	Y	L	Y	Y
Public Utility Facility Y	SE	SE	SE	SE	SE	SE	SE	SE
School, Commercial	C	L	L	Y	Y	L	Y	Y
School, Not-for-Profit	C	L	L	Y	Y	L	Y	Y
School, Public	C	L	L	Y	Y	L	Y	Y
BUSINESS								
Automotive Repair Service, Major X				C	C			
Automotive Repair Service, Minor X				Y	Y			
Automotive Sales Y				C	C			
Bank or Financial Service X		L	L	Y	Y	Y	Y	
Broadcast Studio				Y	Y	Y	Y	
Business or Professional Office		L	L	Y	Y	Y	Y	
Business Support Service		L	L	Y	Y	Y	Y	
Car Wash, Freestanding (non-accessory) X				C	C			
Convenience Store X		Y	Y	Y	Y			
Entertainment, Indoor				Y	Y			
Entertainment, Outdoor				C	C			
Funeral Home X				C	Y			
Garden Center/ Nursery X		L	L	Y	Y			

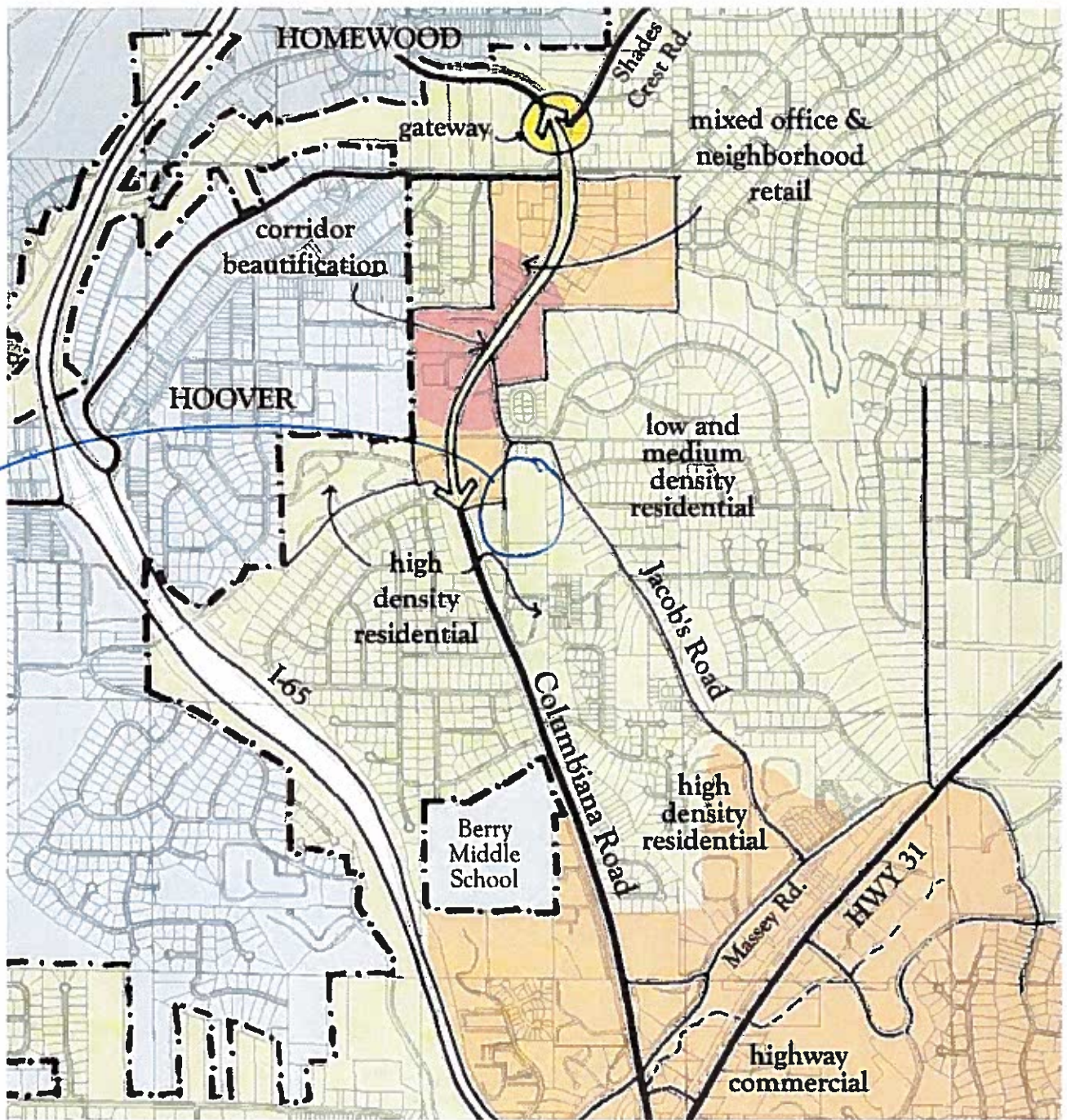
Y – The use is permitted by right.
 L – Permitted to limits set by district regulations
 SE – Special Exception Use, requires approval by BZA (see §12.3). May also be subject to district limitations.
 C – Conditional Use, requires approval by the Council (see §13.3). May also be subject to district limitations.
 A use not listed may be requested for approval as a Conditional Use per §13.3.
 A use followed by a numeric cross-reference is subject to Use-Specific Regulations in Article 7.
 A blank cell indicates that the use is not permitted.

Table 6 Use Regulations for Non-Residential Districts									
USES / DISTRICTS:		A	B-1	B-1.2	B-2	B-3	O-1	O-2	INST
Gas Station, §7.2	X			C	Y	Y			
Hardware Store	X		L	L	Y	Y			
Home Improvement Center	X				Y	Y			
Kennel, §7.6		Y				C			
Laundromat	X			Y	Y	Y			
Laundry and Dry Cleaning, Retail	X		Y	Y	Y	Y	Y	Y	
Laundry, Industrial	X				C	C			
Liquor Lounge	X		C	C	C	C			
Maintenance Service	X				C	C			
Medical Clinic				L	Y	Y	Y	Y	Y
Medical Support Service				L	Y	Y	Y	Y	Y
Personal Service			L	L	Y	Y			
Produce Market	X	Y	Y	Y	Y	Y			
Restaurant, Fast Food	X		L	L	Y	Y			
Restaurant, Standard			L	L	Y	Y			
Retail, General, Enclosed	X				Y	Y			
Retail, General, Unenclosed	X				C	Y			
Retail, Neighborhood			L	L	L	L			
Services, Neighborhood			L	L	L	L			
Service Station, §7.2	X			C	Y	Y			
Studio, Artist			Y	Y	Y	Y			
Veterinary Hospital, §7.6	X				C	C			
OTHER									
Airport						C			
Cemetery		C							C
Construction Service						C			
Country Club		C							
Heliport						C		C	C
Landfill						C			
Manufacturing, Light						C			
Mixed Use, General				L					
Mixed Use, Live-Work				L					
Parks, Gardens, Playgrounds		Y	Y	Y	Y	Y			Y
Recreation, Indoor					Y	Y			
Recreation, Outdoor					C	C			Y
Rehabilitation Facility						C			Y
Research Laboratory						C		C	
Salvage Yard						C		C	
Storage, Mini-warehouse, §7.5	X				C	C			
Storage, Outdoor						C			
Telecommunications Facilities, §7.9	X	C	C	C	C	C	C	C	C
Warehousing, Wholesale, Distribution	X				C	C			

Y – The use is permitted by right.
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Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community



Subject Parcel

Figure 20: Columbiana Road
Land Use Analysis

- Neighborhood - primarily low / medium density single-family residential areas with higher densities near village center(s). Other uses may include schools, places of worship, recreational areas, and open space.
- Village Center - mixed use centers with highest densities in core areas. Mix of uses should include retail and service businesses, professional offices, high density residential areas, institutions, recreation areas, and public spaces.
- Commercial Core - primarily high density, retail and service business areas with professional offices and multi-family residences on upper floors or on periphery. Other uses may include institutions and public space.
- Gateways and Nodes - Gateways are entryways into the community or village enhanced with consistent signage, landscaping, and other elements. Nodes are sites, such as transit stops, where public spaces, signage, and other public design elements should be considered.

- Professional Offices - primarily professional office uses. Density should vary according to surroundings. Other uses may include retail and services (supporting offices and employees), places of worship, public spaces, and open space.
- Recreation and Open Space - public and private recreation facilities and preserved natural spaces. Recreation facilities may be active, passive or combined. Open spaces are areas preserved in a natural state and may include passive recreational uses.
- Trailheads - Trailheads are public sites along a trail, where bike racks, seating, parking, and public amenities are provided for trail users.
- Schools - School facilities administered by the Vestavia Hills School System.

