

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
AGENDA
MARCH 7, 2019
6:00 P.M.**

Roll Call.

Approval of minutes – February 7, 2019

- (1) **D-0319-02** Southmont Development Company is requesting **Architectural Review, Landscape Review, and Final Review of Materials** for the property located at **3350 Morgan Dr.** The purpose of this request is for a new building. The property is owned by the City of Southmont Development Company and is zoned Vestavia Hills B-2.
- (2) **D-0319-03** The Church at Liberty Park is requesting **Architectural Review and Final Review of Materials** for the property located at **12001 Liberty Parkway.** The purpose of this request is for renovation to an existing building. The property is owned by The Church at Liberty Park and is zoned Vestavia Hills PUD-PR-1.

Time of Adjournment.

CITY OF VESTAVIA HILLS

DESIGN REVIEW BOARD

MINUTES

FEBRAURY 7, 2019

The Vestavia Hills Landscape and Architectural Control Board met in a regular session on this date at 6:00 PM. The roll was called with the following:

MEMBERS PRESENT: Robert Thompson, Chairman
David Giddens
Mae Coshatt
Joe Ellis
Rip Weaver
Jeff Slaton

MEMBERS ABSENT: Chris Pugh

OTHER OFFICIALS PRESENT: Conrad Garrison, City Planner

APPROVAL OF MINUTES

The minutes for January 3, 2019 were presented for approval.

MOTION Motion to dispense with the reading of the minutes for January 3, 2019 was made by Mrs. Coshatt and 2nd was by Mr. Weaver. Motion as carried on a voice vote as follows:

Mrs. Coshatt– yes	Mr. Ellis – yes
Mr. Giddens – yes	Mr. Weaver – yes
Mr. Slaton – yes	Mr. Thompson– yes
Motion carries.	

Architectural Review

D-1218-24 City of Vestavia Hills is requesting Architectural Review for the property located at 1280 Montgomery Highway. The purpose of this request is for a new building. The property is owned by the City of Vestavia Hills and is zoned Vestavia Hills B-2.

Mr. Garrison described the background of the request and stated it was a follow-up to a previously approved application.

John Brenner was present to explain the plan.

The Board agreed with the application as presented.

MOTION Motion to approve Architectural Review for the property located at 1280 Montgomery Highway was made by Mrs. Coshatt. Second was made by Mr. Weaver. Voice vote as follows:

Mrs. Coshatt– yes	Mr. Ellis – yes
Mr. Giddens – yes	Mr. Weaver – yes
Mr. Slaton – yes	Mr. Thompson– yes

Motion carries.

Architectural Review and Final Review of Materials

D-0219-01 Van Corr-Commercial Realty, LLC is requesting Architectural Review and Final Review of Materials for the property located at 1841 Montclair Ln./1900 Kentucky Ave. The purpose of this request is for renovation to an existing building. The property is owned by Van Corr-Commercial Realty, LLC and is zoned Vestavia Hills B-2.

Mr. Garrison described the background of the request.

Van Coor was present to explain the plan and stated he was reskinning the building.

Mrs. Coshatt was concerned about some materials that may be reflective.

MOTION Motion to approve Architectural Review and Final Review of Materials for the property located at 1841 Montclair Ln./1900 Kentucky Ave. was made by Mr. Ellis. Second was made by Mr. Giddens. Voice vote as follows:

Mrs. Coshatt– no	Mr. Ellis – yes
Mr. Giddens – yes	Mr. Weaver – yes
Mr. Slaton – yes	Mr. Thompson– yes

Motion carries.

Conrad Garrison
City Planner

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
APPLICATION**

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: SOUTHMONT DEVELOPMENT COMPANY
Address: 3300 MORGAN DRIVE
VESTAVIA HILLS, AL 35216
Phone #: 205-822-7513 Other #: 205-478-5370
E-Mail: MORGANPR@BELLSOUTH.NET

~~Representing Attorney/Other Agent~~

Name: Columbia Engineering (Contact: Jennifer Losurdo, PE)
Address: 2862 Buford Highway Suite 200
Duluth, GA 30097
Phone #: (770) 925-0357 Other #: _____
E-Mail: JLOSURDO@COLUMBIA-ENGINEERING.COM

II. DESCRIPTION OF PROPERTY:

LOCATION: 3350 Morgan Drive
Street Address
Section 32, Township 18 South, Range 2 West
Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST:

- 1. () Preliminary Review
- 2. (x) Landscape Review
- 3. (x) Architectural Review
- 5. (x) Final Review of Materials
- 6. () Other - Explain _____

IV. PROCESS:

- 1. (x) New Building
- 2. () Renovation of Existing Building
- 3. () New Landscape Plan
- 4. () Renovation to Existing Landscaping Plan
- 7. () Other - Explain _____

V. ZONING

Vestavia Hills Zoning for the subject property is B-2.

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

[Signature]
Owner Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this 15th day of February, 2019.

[Signature]
Notary Public

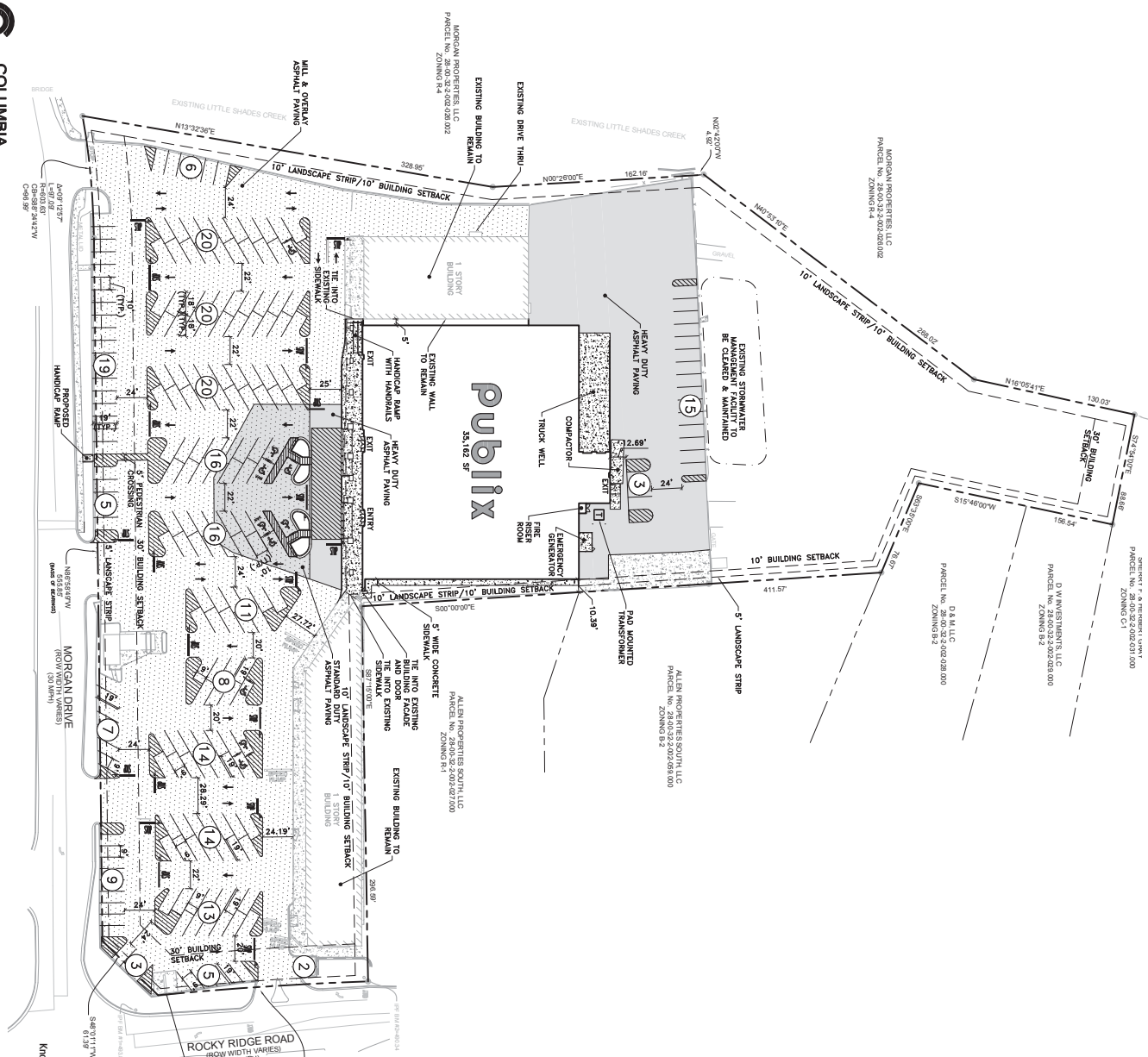


My commission expires September 15th
day of September, 2021.

Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

- General: Provide fifteen copies plus one 8½" by 11" copy of all drawings or plans required below for review. Drawings must be to scale. These drawings should be turned in with the application.
1. Architectural Review
 - a. Site plan showing roadways, entrances, exits and parking.
 - b. Building elevations showing construction material, material colors, context, and protrusions. Color rendering is preferred. Roof design must be detailed.
 - c. Presentation by architect or owner with knowledge of compatibility with adjacent structures, city context, etc.
 2. Landscape Review
 - a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
 - b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
 - c. Parking lots: Provide calculations of total square footage and square footage designated for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
 - d. Irrigation plan for all landscaped areas.
 - e. Statement of maintenance policy and provisions.



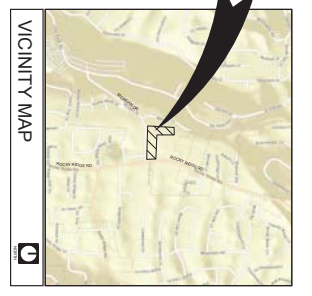
FOR ANY EXISTING UTILITIES, SURVEYORS MUST OBTAIN RECORD DRAWINGS FROM THE APPROPRIATE UTILITY COMPANIES. THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE ANY WORK UNTIL THE UTILITIES ARE LOCATED AND MARKED. OTHER UTILITIES OR CONDITIONS ARE RESERVED.

CIVIL ENGINEERS * LAND PLANNERS
LANDSCAPE ARCHITECTS * SURVEYORS



SITE LEGEND	
	PROPOSED CURB & GUTTER
	REVERSED PITCH CURB & GUTTER
	PROPERTY LINE
	ADJOINING LOT LINE
	FENCING
	TRAFFIC FLOW
	STRIPPING
	PARKING BAY COUNT
	HEAVY DUTY PAVING
	STANDARD DUTY PAVING
	MILL & OVERLAY PAVING
	CONCRETE
	EXISTING FEATURES SCREENED

SITE DATA	
SHOPPING CENTER TRACT	6,372 AC
ZONING	B-2
TAX PARCEL	28-00-32-2-002-028.001
DISTURBED AREA	41.96 AC
PROJECT IMPERVIOUS AREA	
IMPERVIOUS AREA - DEMOLISHED	73,136 SF
IMPERVIOUS AREA - PROPOSED	71,486 SF
NET REDUCTION	1,650 SF
EXISTING BUILDING AREA	53,275 SF
BUILDING TO BE DEMOLISHED	35,813 SF
EXISTING BUILDING AREA TO REMAIN	19,462 SF
PROPOSED PUBLIX	35,162 SF
TOTAL BUILDING AREA	54,624 SF
PARKING REQUIRED	444 / 1,000 GROSS SF
BY JURISDICTION:	228 SPACES (INCLUDES 10 HC SPACES)
PARKING PROVIDER:	5.14 / 1,000 SF



SITE

DATE	BY	CHKD	DESCRIPTION
07/18/16	DRB-1		

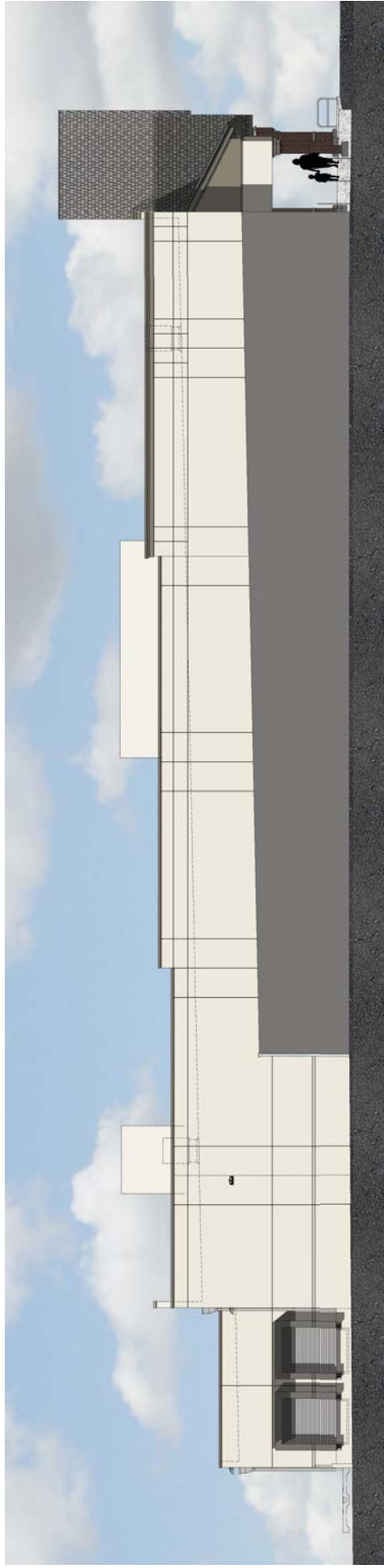
REVISIONS	DATE

PROJECT
PUBLIX AT ROCKY RIDGE SQUARE
3350 MORGAN DRIVE
VESTAVIA HILLS, ALABAMA

CLIENT
RGS PROPERTIES, INC.
1014 20TH STREET SOUTH
BIRMINGHAM, ALABAMA 35233



PUBLIX FRONT ELEVATION



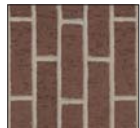
PUBLIX LEFT ELEVATION



PAINT
SW 7012
CREAMY
TO MATCH EXISTING



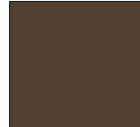
PAINT
SW 6172
HARDWARE
TO MATCH EXISTING



BRICK
BORAL BRICK
MAHOOGANY
TO MATCH EXISTING



SHINGLE ROOF
TIMBERLINE
WOODLAND
CASTLEWOOD GRAY
TO MATCH EXISTING



METAL ROOF
AGED BRONZE
BERRIDGE
TO MATCH EXISTING



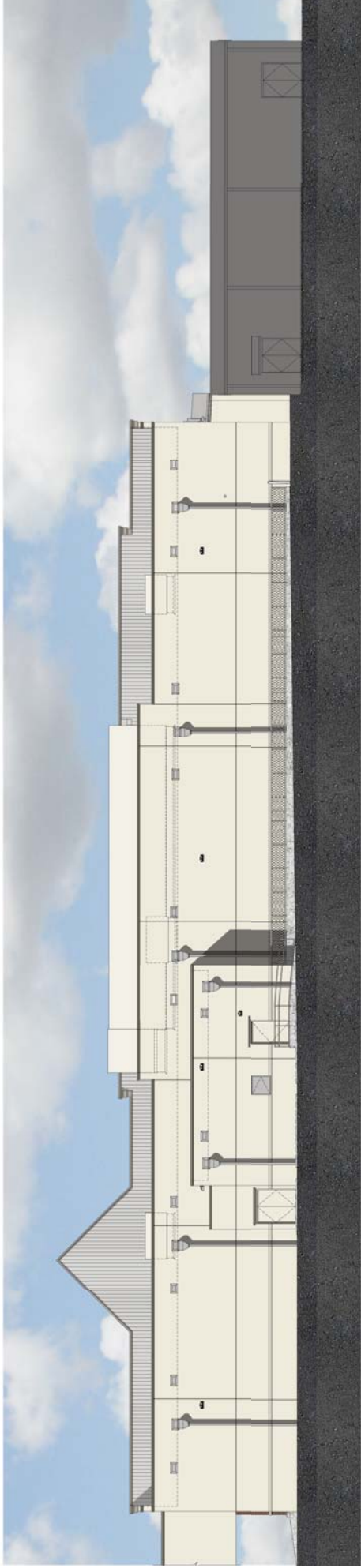
ROCKY RIDGE PUBLIX

DESIGN DEVELOPMENT

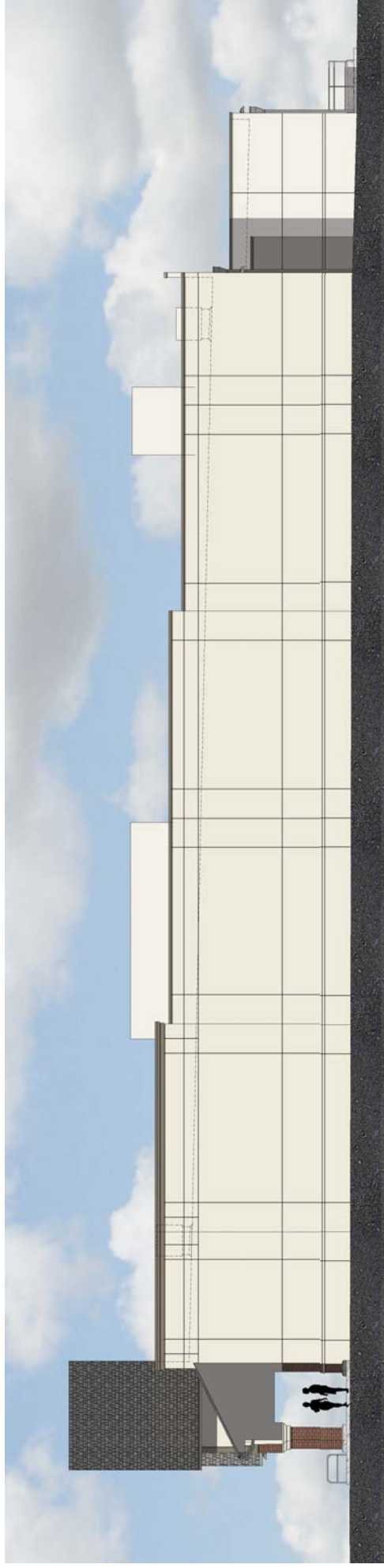
VESTAVIA HILLS, AL

01.03.19





PUBLIX FRONT ELEVATION



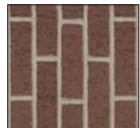
PUBLIX LEFT ELEVATION



PAINT
SW 7012
CREAMY
TO MATCH EXISTING



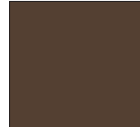
PAINT
SW 6172
HARDWARE
TO MATCH EXISTING



BRICK
BORAL BRICK
MAHOGANY
TO MATCH EXISTING



SHINGLE ROOF
TIMBERLINE
WOODLAND
CASTLEWOOD GRAY
TO MATCH EXISTING



METAL ROOF
AGED BRONZE
BERRIDGE
TO MATCH EXISTING



ROCKY RIDGE PUBLIX

DESIGN DEVELOPMENT

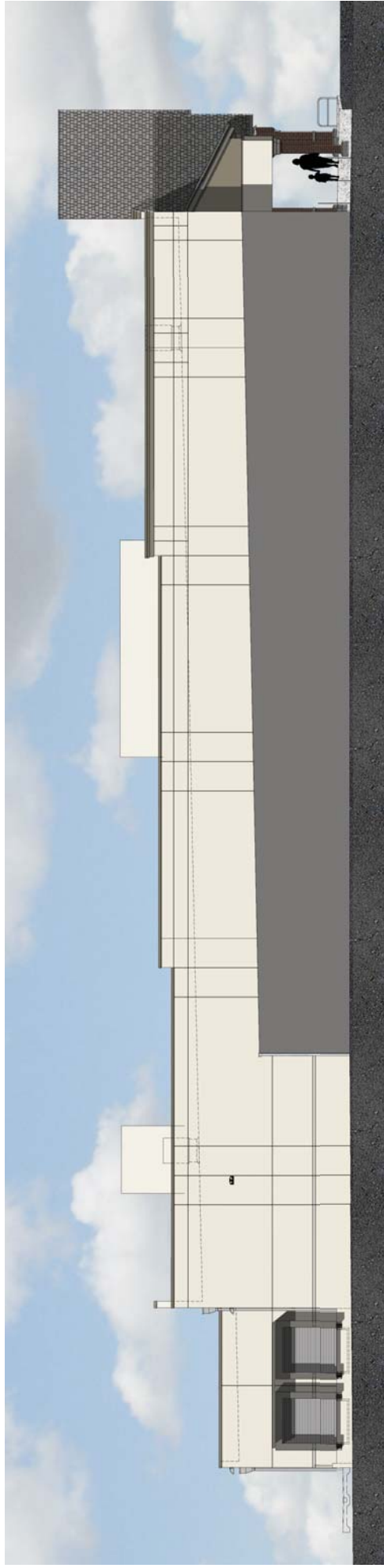
VESTAVIA HILLS, AL

01.03.19





PUBLIX FRONT ELEVATION



PUBLIX LEFT ELEVATION

- PAINT**
SW 7012
CREAMY
TO MATCH EXISTING
- PAINT**
SW 6172
HARDWARE
TO MATCH EXISTING
- BRICK**
BORAL BRICK
MAHOGANI
TO MATCH EXISTING
- SHINGLE ROOF**
TIMBERLINE
WOODLAND
CASTLEWOOD GRAY
TO MATCH EXISTING
- METAL ROOF**
AGED BRONZE
BERRIDGE
TO MATCH EXISTING

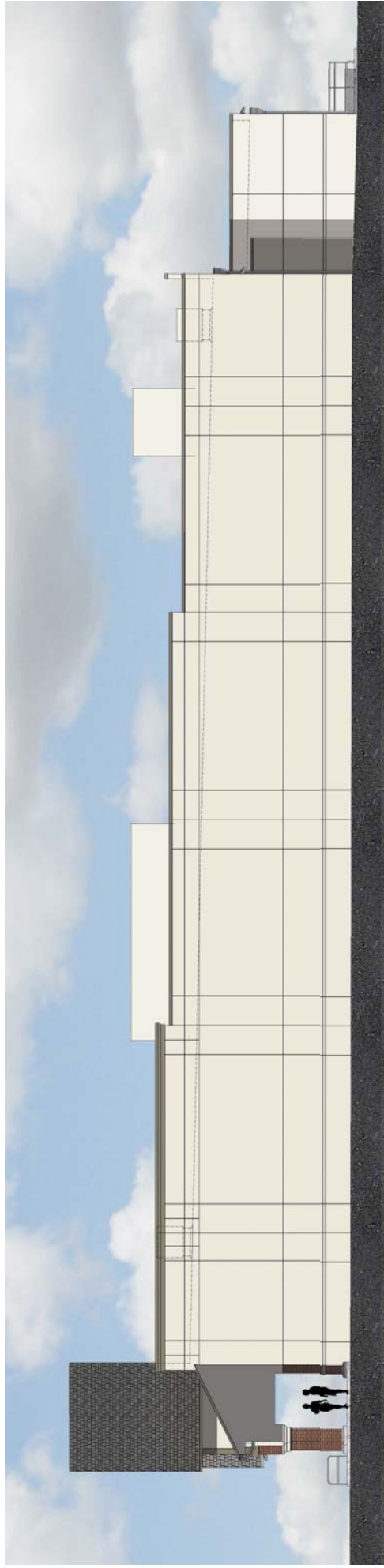


ROCKY RIDGE PUBLIX
DESIGN DEVELOPMENT

VESTAVIA HILLS, AL
02.28.19



PUBLIX FRONT ELEVATION



PUBLIX LEFT ELEVATION

- PAINT**
SW 7012
CREAMY
TO MATCH EXISTING
- PAINT**
SW 6172
HARDWARE
TO MATCH EXISTING
- BRICK**
BORAL BRICK
MAHOGANI
TO MATCH EXISTING
- SHINGLE ROOF**
TIMBERLINE
WOODLAND
CASTLEWOOD GRAY
TO MATCH EXISTING
- METAL ROOF**
AGED BRONZE
BERRIDGE
TO MATCH EXISTING



ROCKY RIDGE PUBLIX
DESIGN DEVELOPMENT

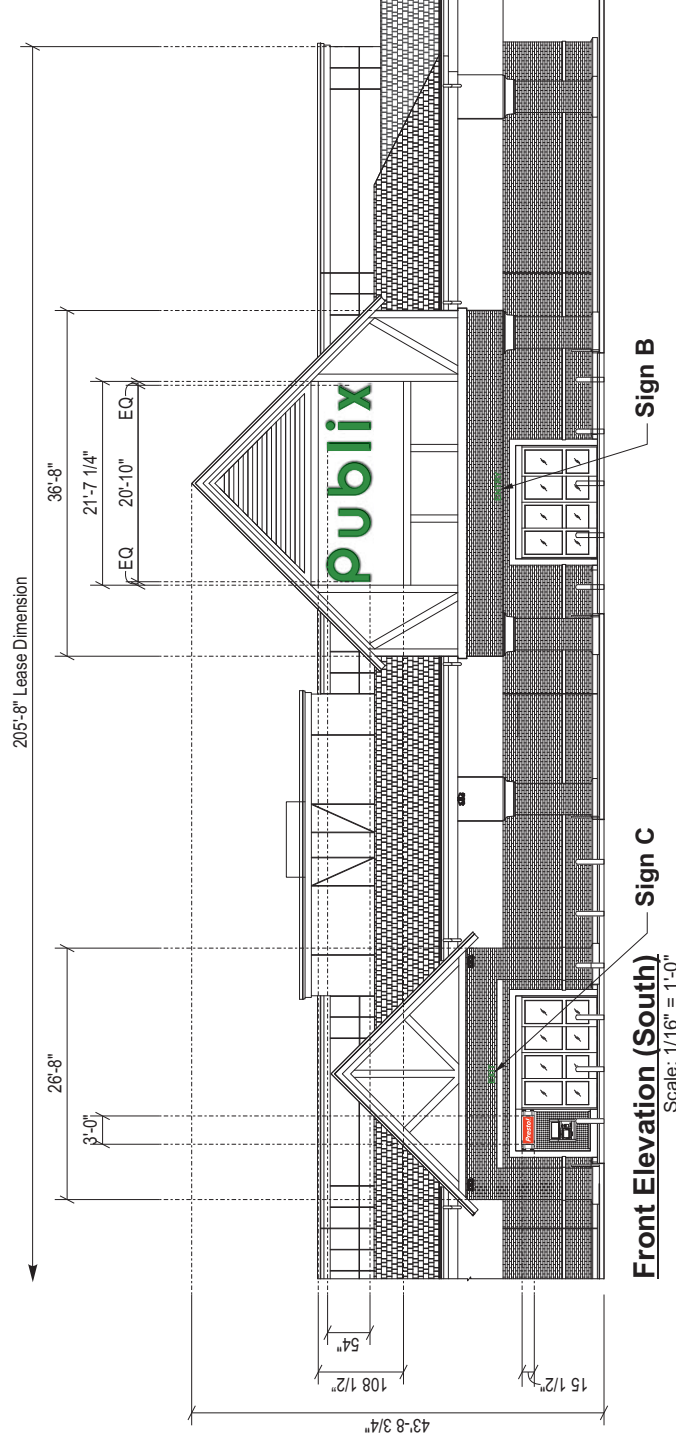
VESTAVIA HILLS, AL
02.28.19

SIGN A	54" Publix Individual Channel Letters
Type:	Individual Channel Letters
Illumination:	Internally Illuminated LED
Square Footage:	93.75
To Grade:	Top of Sign To Grade = 29'-3 3/4" Bottom of Sign To Grade = 24'-9 3/4"

SIGN B	8" ENTRY
Type:	Routed PVC Letters
Illumination:	Non-Illuminated
Square Footage:	2.04

SIGN C	8" EXIT
Type:	Routed PVC Letters
Illumination:	Non-Illuminated
Square Footage:	1.32

SIGN D	Presto!
Type:	Wall Sign
Illumination:	Internally Illuminated LED
Square Footage:	3.88
To Grade:	Top of Sign To Grade = 7'-1" Bottom of Sign To Grade = 5'-9 1/2"



Front Elevation (South)
Scale: 1/16" = 1'-0"

Allowable Square Footage this Elevation:	TBD
Actual Square Footage this Elevation:	TBD

Publix	Client: Publix	02/13/2019	Original Rendering	KD
	Site #: PU-1675	REVISION INFO		
Address: 3350 Morgan Drive Birmingham, AL 35216				

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SIGN A	54" Publix
Type:	Individual Channel Letters
Illumination:	Internally Illuminated LED
Square Footage:	93.75
To Grade:	Top of Sign To Grade = 29'-3 3/4"
	Bottom of Sign To Grade = 24'-9 3/4"



Sign Layout Detail

Scale: 3/16" = 1'-0"

Specifications: Publix Channel Letters

- Existing Facade: To be determined
- .040 Aluminum letter returns painted to match PMS 363c
- 1" x 1" Aluminum angle retainers painted to match PMS 363c
- 3mm Signabond Lite composite backs fastened to returns w/ 1/2" 18 gauge staples. Seal w/ VOC compliant, 360 white latex caulk to prevent moisture penetration. (Interior of sign can be painted white for maximum illumination)
- Green US LEDs
- 3/16" SG Plus #63273 Green faces
- Disconnect switch UL Outdoor rated toggle type w/ neoprene boot per NEC 600-6
- Primary electrical feed in UL conduit / customer supplied UL junction box
- Transformers within UL enclosure (removable lid), 1/4" x 1" min screws
- Mounting hardware to suit

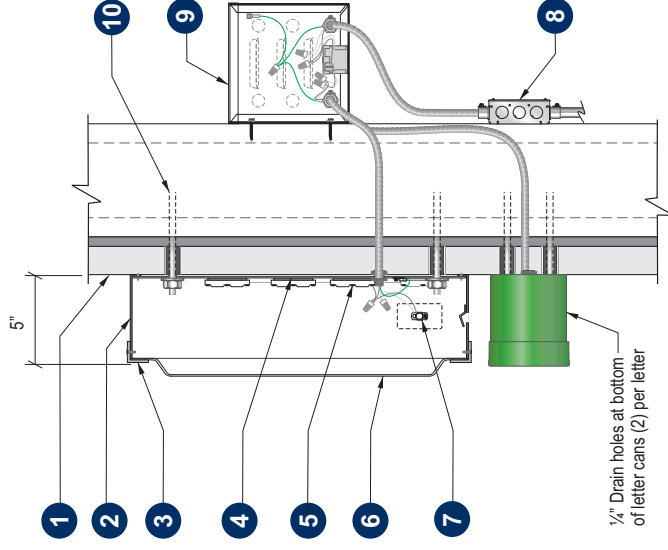
Specifications: Food & Pharmacy Channel Letters

- .063 Aluminum letter returns painted to match PMS 363c
- 1" Jewelite trimcap (painted to match PMS 363c) bonded to face, #8 pan head screws to returns
- .063" Aluminum backs welded to returns. Seal w/ VOC compliant 360 white latex caulk to prevent moisture penetration. (Interior of sign can be painted white for maximum illumination)
- Green US LEDs
- .177" SG Plus #363c Green faces

General Notes:

This sign is to be installed in accordance with the requirements of Article 600 of the National Electrical Code.

- Grounded and bonded per NEC 600.7/NEC 250
 - Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps
 - Sign is to be UL listed per NEC 600.3
 - UL disconnect switch per NEC 600.6- required per sign component before leaving manufacturer*
- *For multiple signs, a disconnect is permitted but not required for each section



Section @ LED Channel Letter Front-Lit (Remote)

Scale: N.T.S.

REVISION INFO		Original Rendering	
KD			

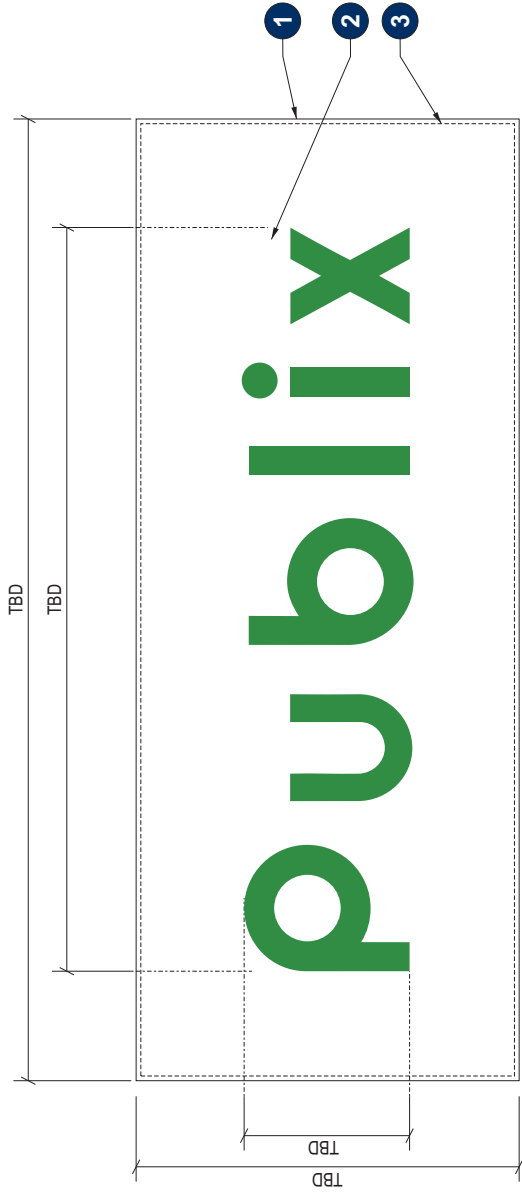
Client: Publix
 Site #: PU-1675
 Address: 3350 Morgan Drive
 Birmingham, AL 35216

Publix

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AnchorSign.
 1 . 8 0 0 . 2 1 3 . 3 3 3 1

SIGN E	Publix
Sign Type:	New Lexan Panels w/ Applied Vinyl
Actual Size:	TBD
Viewable Size:	TBD
Square Footage:	TBD



Panel Replacement on Existing D/F Pylon
QTY 2 (1 SET)

Scale: 3/8" = 1'-0"

Specifications:

1. New 3/16" white lexan
2. First surface applied vinyl to match PMS 370 Green
3. Existing retainers



Existing



Proposed

Publix

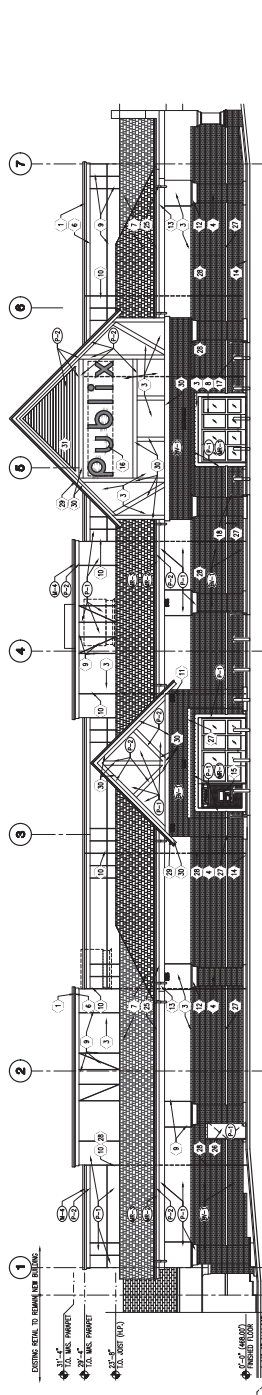
Client: Publix
 Site #: PU-1675
 Address: 3350 Morgan Drive
 Birmingham, AL 35216

REVISION INFO

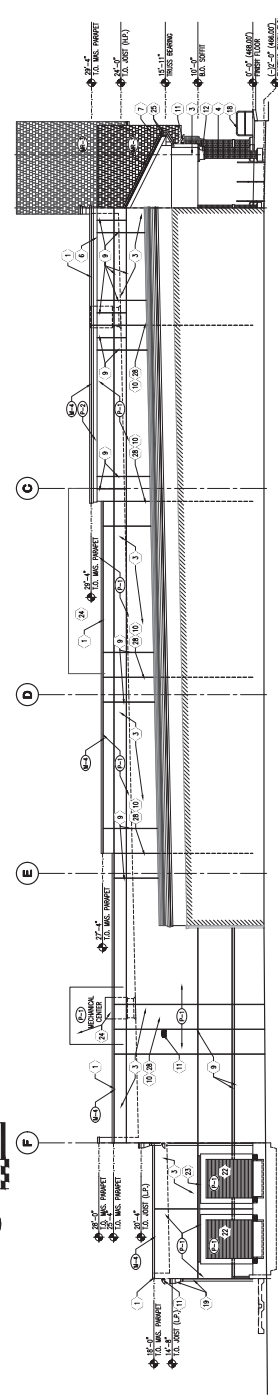
DATE	DESCRIPTION	BY
02/13/2019	Original Rendering	KD

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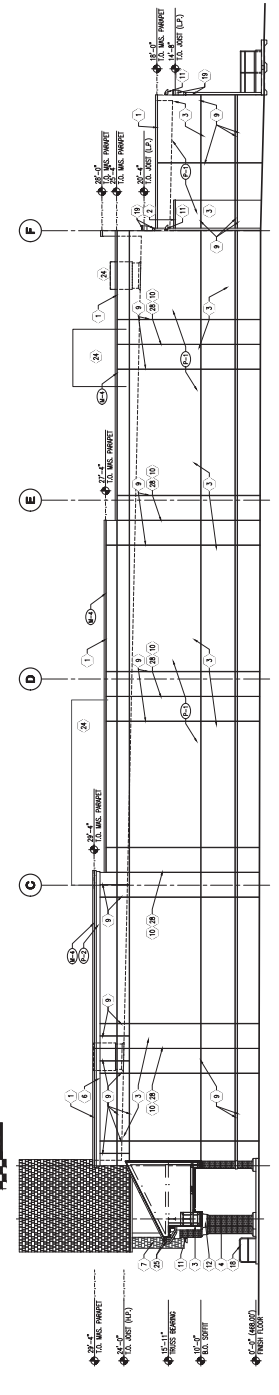
AnchorSign.
 1 . 8 0 0 . 2 1 3 . 3 3 3 1



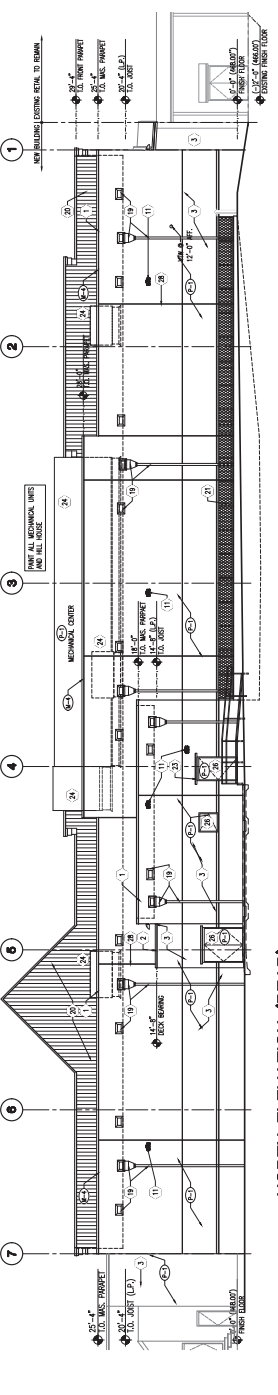
1 SOUTH ELEVATION (FRONT)
1/8" = 1'-0"



2 WEST ELEVATION (SIDE)
1/8" = 1'-0"



3 EAST ELEVATION (SIDE)
1/8" = 1'-0"



4 NORTH ELEVATION (REAR)
1/8" = 1'-0"

KEYED NOTES

- 1 STAINLESS STEEL COPING CAP
- 2 STAINLESS STEEL EDGE FLASHING
- 3 PAINTED CONCRETE PLASTER FINISH
- 4 BRICK VENEER, RUNNING BOND PATTERN
- 5 NOT USED
- 6 E.L.F.S. CROWN MOLDING, SEE DETAIL 5/10-2
- 7 ASPHALT SINGLE ROOF
- 8 CLEAR ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM
- 9 3/4" CONCRETE PLASTER CONTROL JOINTS
- 10 3/4" 2-PIECE CONCRETE PLASTER CONTROL JOINTS
- 11 MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
- 12 COLUMN CAPITAL
- 13 E.L.F.S. TRIM BAND
- 14 CONTINUOUS CONCRETE CURB
- 15 AIR MACHINE AND PRECAST CONCRETE - SEE AIR DRIES
- 16 CONCRETE CURB WITH REINFORCING BARS, PROVIDE BACKING FOR SOIL WHERE REQUIRED BY SOIL CONTRACTOR.
- 17 STAINLESS STEEL BALLARD (TYPE AT FRONT OF STORE)
- 18 STAINLESS STEEL 1/2" SHAPED PREDETERMINED GUARDRAIL
- 19 U.S. SLOPPER & DOWNSPOUT UNITS TO STORM SEWER SYS.
- 20 1/2" THICK THERMOFLEX ALUMINUM PANELS
- 21 CHAIN LINK FENCING
- 22 PAINTED OVERHEAD COILING DOOR
- 23 CONCRETE EXTERIOR, PAINTED
- 24 MECHANICAL CENTER/A/C UNIT - SEE ROOF PLAN
- 25 6" HALF ROUND GUTTERS WITH DOWNSPOUTS
- 26 PAINTED YELLOW METAL DOOR
- 27 PRECAST CONCRETE BAND
- 28 MASONRY CONTROL JOINT
- 29 PRE-FINISHED ALUMINUM EDGE FLASHING
- 30 FEED CONTINUOUS FISH & TIM BANDS, SEE SECTIONS AND DETAILS FOR SIZES
- 31 FEED CONTINUOUS UP SINKS, SEE SECTIONS AND DETAILS FOR SIZES

COLOR LEGEND

- PAINT**
- 1 SHERWIN-WILLIAMS #57012, "CREAM" (TO MATCH EXISTING)
 - 2 SHERWIN-WILLIAMS #57172, "HARDWARE" (TO MATCH EXISTING)
- WOOD FINISH**
- 1 BORG BROS. "HARDWARE" (TO MATCH EXISTING)
- WALL/LANDSCAPE**
- 1 CLEAR ANODIZED ALUMINUM ENTRANCE DOORS
 - 2 PRE-FINISHED ALUMINUM - BERGHOFF "RED BRONZE" (TO MATCH EXISTING)
 - 3 GAF ASPHALT SHINGLES - MODULAR SERIES - "CUSTLEWOOD GRAY"
 - 4 STAINLESS STEEL COPING CAP

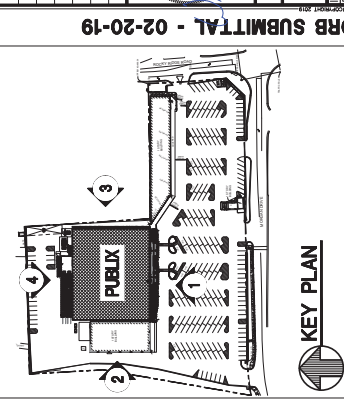
GENERAL NOTES

1. CONTRACTOR TO PROVIDE 6" WIDE x 8" HIGH JOB SITE MUDOUT OF ALL EXISTING FINISHES AND COLORS FOR ARCHITECT APPROVAL PRIOR TO COMMENCEMENT OF WORK. FINISHES AND COLORS TO BE PROVIDED BY ARCHITECT AND OTHER PRIOR TO FINISH INSTALLATIONS - SEE A02.
2. COORDINATE STRUCTURAL JOINTS WITH STUCCO JOINTS.
3. PAINT ELECTRICAL CONDUIT BOXES AND METERS TO MATCH ADJACENT BUILDING COLOR.

FISHER ARCHITECTS, LLC
 3360 MORGAN DRIVE
 ROCKY RIDGE PUBLIC
 EXTERIOR ELEVATION & FINISHES
 ESTAVIA HILLS, ALABAMA
 2885 BELLEAIR RD. CLEMENS, FL 33704 (727) 442-4636
 CA-0272

RELEASED FOR:
 BID
 PERMIT
 CONST.
 REVISIONS:

WILLIAM JOE FISHER
 ARCHITECT 4280
A-7
 ISSUE DATE: 11/01/18
 PROJECT NO.: 210319



KEY PLAN

DRB SUBMITTAL - 02-20-19

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
APPLICATION**

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: The Church at Liberty Park

Address: 12001 Liberty Parkway

Vestavia Hills, Alabama 35242

Phone #: 205.969.1236 Other #: _____

E-Mail: roverstreet@libertypark.org

Representing Attorney/Other Agent

Name: Michael O'Kelley, with O'Kelley Architecture LLC

Address: 17 Mt Laurel Avenue

Birmingham, Alabama 35242

Phone #: 205.637.1124 Other #: 205.238.9334

E-Mail: mokelley@okelleyarchitecture.com

II. DESCRIPTION OF PROPERTY:

LOCATION: 12001 Liberty Parkway (at intersection with South Liberty Road)

Street Address

Liberty Park

Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST:

1. () Preliminary Review
 2. () Landscape Review
 3. (✓) Architectural Review
 5. () Final Review of Materials
 6. () Other - Explain _____
-

IV. PROCESS:

1. () New Building
 2. (✓) Renovation of Existing Building
 3. () New Landscape Plan
 4. () Renovation to Existing Landscaping Plan
 7. () Other - Explain _____
-

V. ZONING

Vestavia Hills Zoning for the subject property is PUD-PR-1.

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.



02.27.19

Owner Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this _____ day of _____, 20____.

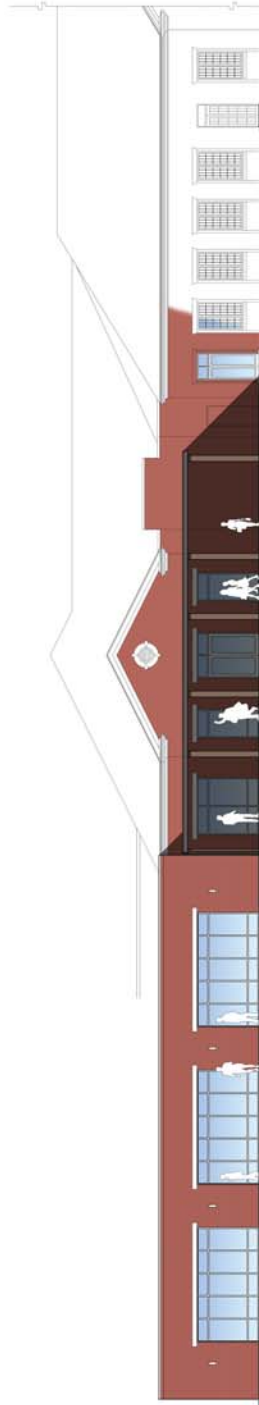
Notary Public

My commission expires _____
day of _____, 20____.

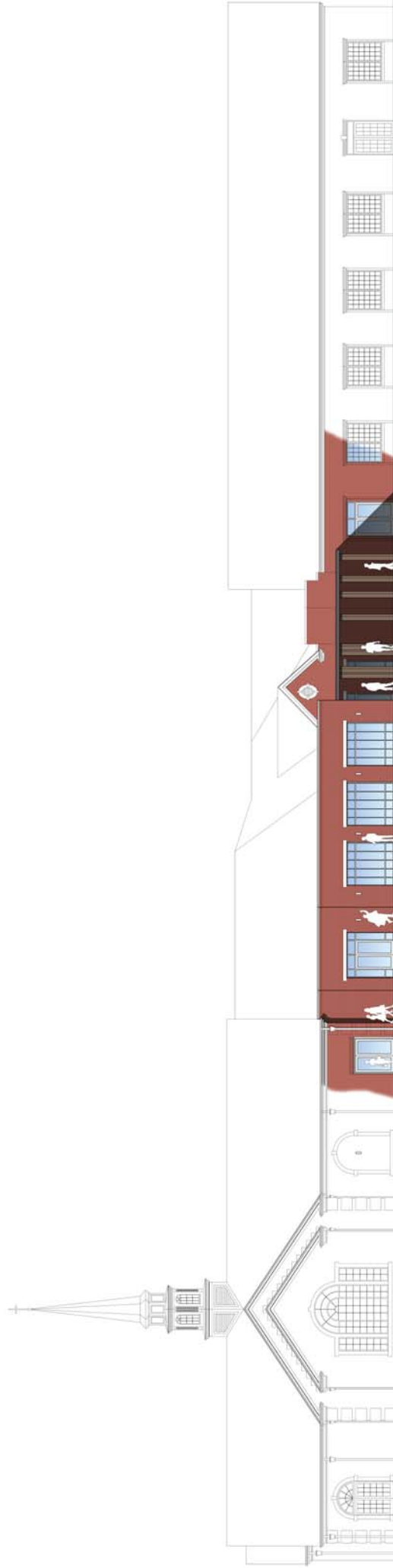
Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

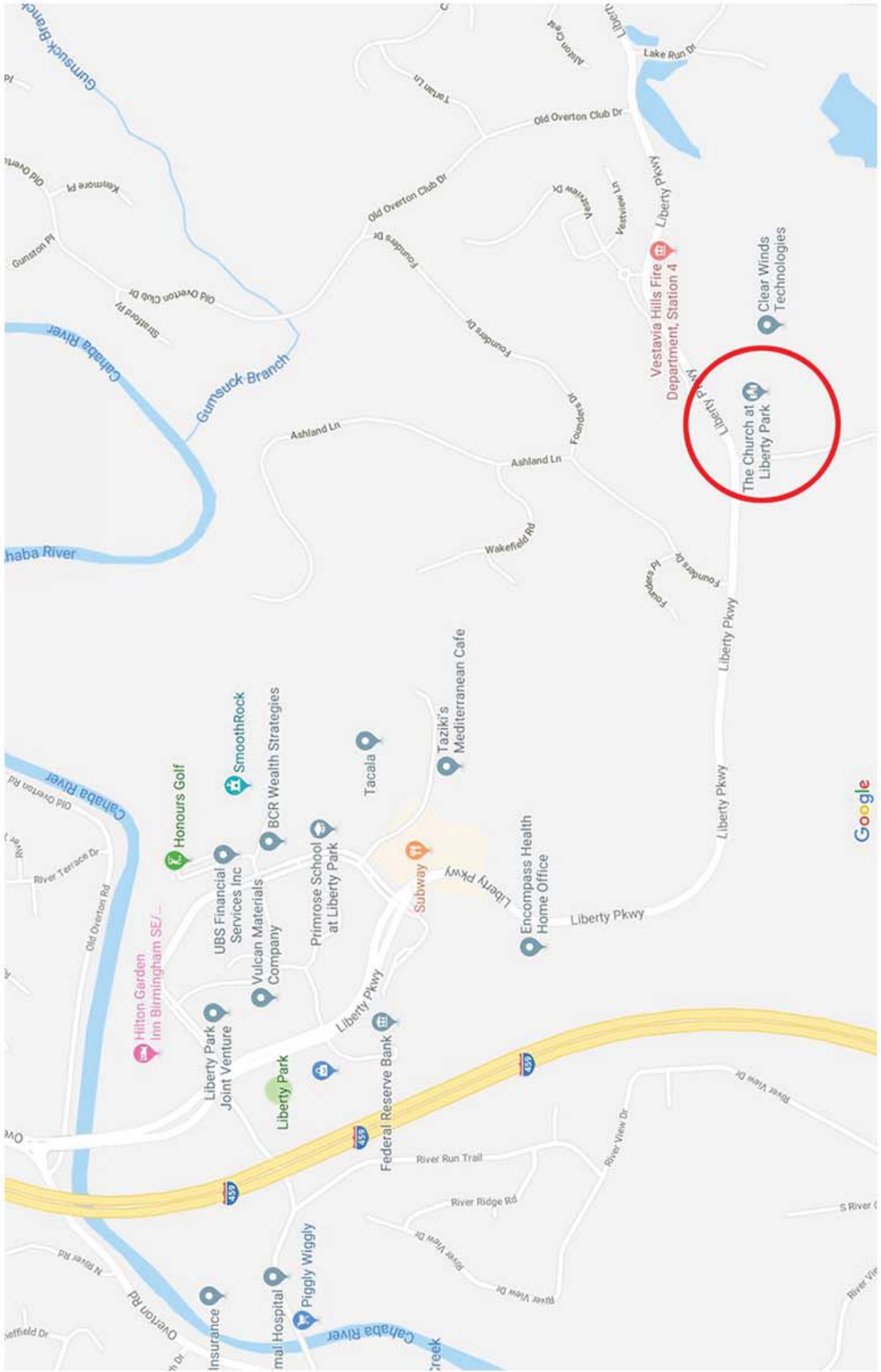
- General: Provide fifteen copies plus one 8½” by 11” copy of all drawings or plans required below for review. Drawings must be to scale. These drawings should be turned in with the application.
1. Architectural Review
 - a. Site plan showing roadways, entrances, exits and parking.
 - b. Building elevations showing construction material, material colors, context, and protrusions. Color rendering is preferred. Roof design must be detailed.
 - c. Presentation by architect or owner with knowledge of compatibility with adjacent structures, city context, etc.
 2. Landscape Review
 - a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
 - b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
 - c. Parking lots: Provide calculations of total square footage and square footage designated for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
 - d. Irrigation plan for all landscaped areas.
 - e. Statement of maintenance policy and provisions.

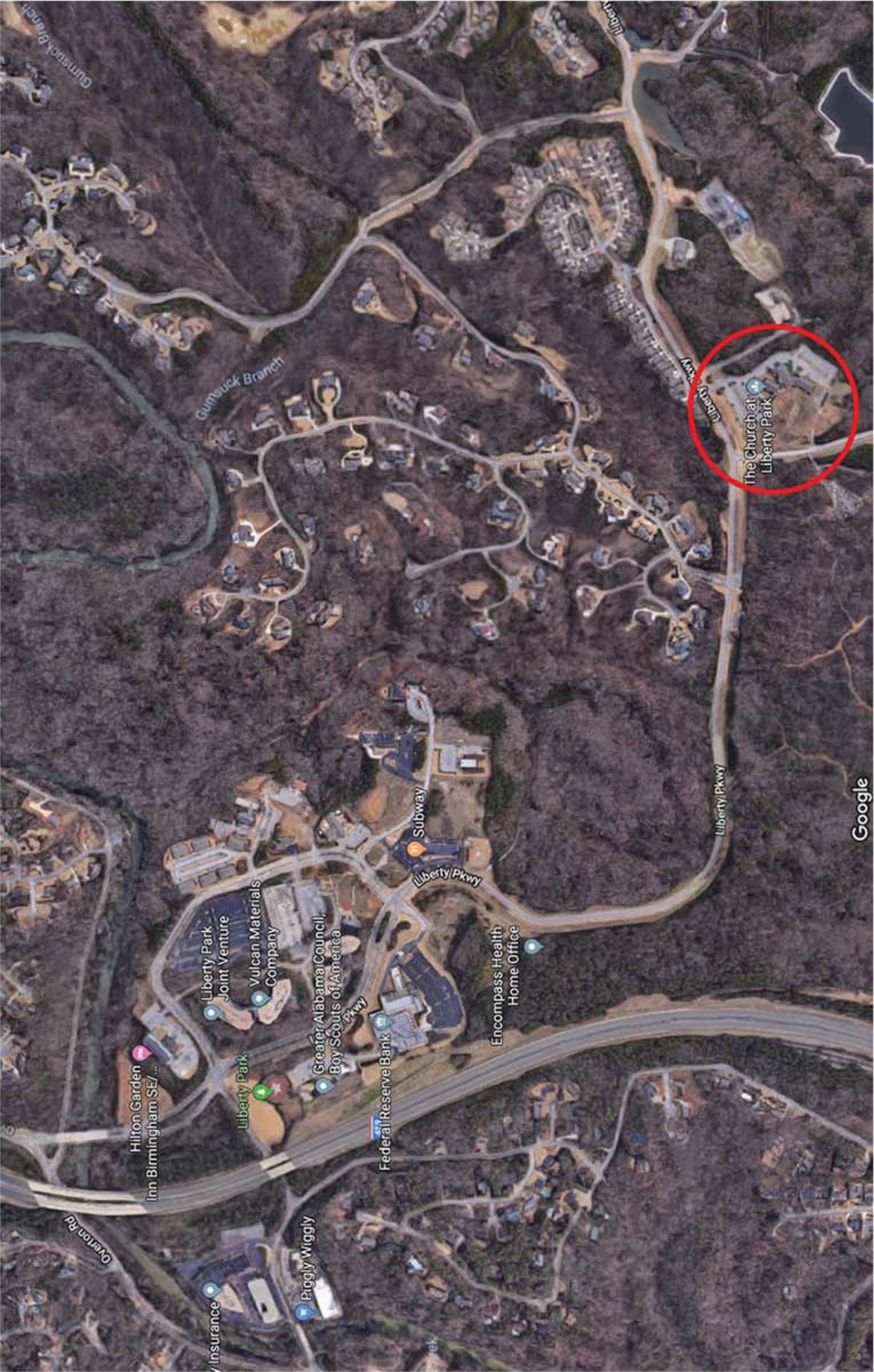


view from south liberty road



view from liberty parkway





Google