

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
AGENDA
AUGUST 1, 2019
6:00 P.M.**

Roll Call.

Approval of minutes – July 10, 2019

- (1) **D-0819-13** Harris Doyle Homes is requesting **Landscape Review** for the property located at **Cahaba Heights Rd.** The purpose of this request is for a new landscaping plan. The property is owned by Harris Doyle Homes and is zoned Vestavia Hills R-9.
- (2) **D-0819-14** Mark Hancock is requesting **Landscape Review, Architectural Review, and Final Review of Materials** for the property located at **2828 Old 280 Ct.** The purpose of this request is for a new building. The property is owned by Mark Hancock and is zoned Vestavia Hills O-1.
- (3) **D-0819-15** Vestavia MZL, LLC is requesting **Lighting Review** for the property located at **608-680 Montgomery Hwy.** The purpose of this request is for a new lighting plan. The property is owned by Vestavia MZL, LLC and is zoned Vestavia Hills B-2.

Time of Adjournment.

CITY OF VESTAVIA HILLS

DESIGN REVIEW BOARD

MINUTES

JULY 10, 2019

The Vestavia Hills Landscape and Architectural Control Board met in a regular session on this date at 6:00 PM. The roll was called with the following:

MEMBERS PRESENT: Robert Thompson, Chairman
Rip Weaver
Mae Coshatt
David Giddens
Chris Pugh
Jeff Slaton
Joe Ellis

MEMBERS ABSENT:

OTHER OFFICIALS PRESENT: Conrad Garrison, City Planner

APPROVAL OF MINUTES

The minutes for May 2, 2019 were presented for approval.

MOTION Motion to dispense with the reading of the minutes for May 2, 2019 was made by Mrs. Coshatt and 2nd was by Mr. Giddens. Motion as carried on a voice vote as follows:

Mrs. Coshatt – yes	Mr. Pugh – yes
Mr. Giddens – yes	Mr. Weaver – yes
Mr. Slaton – yes	Mr. Ellis – yes
Mr. Thompson – yes	Motion carries.

Final Review of Materials

D-0719-12 City of Vestavia Hills is requesting **Final Review of Materials** for the property located at **2925 Columbiana Rd.** The purpose of this request is for a renovation to an existing building. The property is owned by the City of Vestavia Hills and is zoned Vestavia Hills Inst-1.

Mr. Garrison described the background of the request and stated it was the new pedestrian bridge.

Greg Gilchrist was present to explain the plan for Fire Station #2.

The Board agreed with the plan

MOTION Motion to approve Final Review of Materials for the property located at 2925 Columbiana Rd was made by Mr. Giddens. Second was made by Mr. Weaver. Voice vote as follows:

Mrs. Coshatt– yes	
Mr. Giddens – yes	Mr. Weaver – yes
Mr. Slaton – yes	Mr. Ellis– yes
Mr. Thompson – yes	Motion carries.

Architectural Review & Final Review of Materials

D-0719-11 8001 Liberty Park, LLC is requesting **Architectural Review and Final Review of Materials** for the property located at **8001 Liberty Pkwy.** The purpose of this request is for a new building. The property is owned by 8001 Liberty Park, LLC and is zoned Vestavia Hills PUD-PB.

Mr. Garrison described the background of the request.

Chris Pugh recused himself due to his firm working on the project.

Lauren Barrett was present to explain the request

The Board agreed with the plan, with some changes to the landscape plan.

MOTION Motion to approve Preliminary Review for the property located at 8001 Liberty Pkwy. was made by Mr. Ellis. Second was made by Mr. Weaver. Voice vote as follows:

Mrs. Coshatt– yes	Mr. Giddens – yes
Mr. Weaver – yes	Mr. Slaton – yes
Mr. Ellis– yes	Mr. Thompson – yes
Motion carries	

MOTION Motion to approve Architectural Review & Final Review of Materials for the property located at 8001 Liberty Pkwy. was made by Mr. Ellis. Second was made by Mr. Weaver. Voice vote as follows:

Mrs. Coshatt– yes	Mr. Giddens – yes
Mr. Weaver – yes	Mr. Slaton – yes
Mr. Ellis– yes	Mr. Thompson – yes
Motion carries	

Conrad Garrison
City Planner

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
APPLICATION**

2019 JUL 17 A 11: 55

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: Russ Doyle, Harris Doyle Homes
Address: 3111 Timberlake Drive
Birmingham, Alabama 35243
Phone #: 205-982-2896 ext. 127 Other #: _____
E-Mail: tyler@harrisdoyle.com

Representing Attorney/Other Agent

Name: Duane Pritchett
Address: 1000 Providence Park, Suite 200
Birmingham, AL 35242
Phone #: 205-585-8414 Other #: _____
E-Mail: duane@edsincweb.com

II. DESCRIPTION OF PROPERTY:

LOCATION: Cahaba Heights Road / Blue Lake Drive
Street Address
Helen Ridge
Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST:

- 1. () Preliminary Review
- 2. (x) Landscape Review
- 3. () Architectural Review
- 5. (x) Final Review of Materials
- 6. () Other - Explain _____

IV. PROCESS:

- 1. () New Building
- 2. () Renovation of Existing Building
- 3. (x) New Landscape Plan
- 4. () Renovation to Existing Landscaping Plan
- 7. (x) Other - Explain Entrance sign/column

V. ZONING

Vestavia Hills Zoning for the subject property is x.

VI. OWNER AFFIDAVIT:

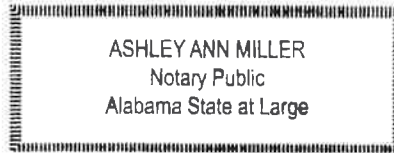
I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.



Owner Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this 8 day of July, 2019.





Notary Public

My commission expires 20
day of January, 2022.

Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

General: Provide fifteen copies plus one 8½” by 11” copy of all drawings or plans required below for review. Drawings must be to scale. These drawings should be turned in with the application.

1. Architectural Review
 - a. Site plan showing roadways, entrances, exits and parking.
 - b. Building elevations showing construction material, material colors, context, and protrusions. Color rendering is preferred. Roof design must be detailed.
 - c. Presentation by architect or owner with knowledge of compatibility with adjacent structures, city context, etc.
2. Landscape Review
 - a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
 - b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
 - c. Parking lots: Provide calculations of total square footage and square footage designated for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
 - d. Irrigation plan for all landscaped areas.
 - e. Statement of maintenance policy and provisions.

Helen Ridge

Harris Doyle Homes

Vestavia Hills, Alabama

PROJECT NOTES

1. SOME ASPECTS OF THESE PLANS ARE DESIGN-BUILD AND THEREFORE ARE THE CONTRACTORS RESPONSIBILITY TO VERIFY AND SHALL BE COMPLETED ACCORDING TO INDUSTRY STANDARDS AND APPLICABLE BUILDING CODES.
2. ALL WORK SHALL COMPLY WITH ALL CODES AND ORDINANCES RELATIVE TO THE WORK.
3. ALL WORK, MATERIAL AND LABOR SHALL BE COVERED BY A MINIMUM 1-YEAR WARRANTY.

Landscape Construction Documents



Environmental
Design Studio
Site Planning
Garden Design
Signage & Wayfinding
Landscape Architecture
www.edsiincweb.com
phone: 205.582.2052

FOR OWNER APPROVAL FOR FINAL PRICING FOR PERMITTING FOR CONSTRUCTION

SHEET INDEX

L-1.00	TITLE SHEET
L-2.00	LAYOUT AND LIGHTING PLAN
L-3.00	PAVING PLAN - DRIVEWAY
L-4.00	PAVING PLAN - ENTRANCE
L-5.00	PAVING PLAN - COMMON AREA A
L-6.00	PAVING PLAN - COMMON AREA B
L-7.00	PAVING DETAILS

SHEET NUMBER:
L-1.00

SOURCE:
1 of 7

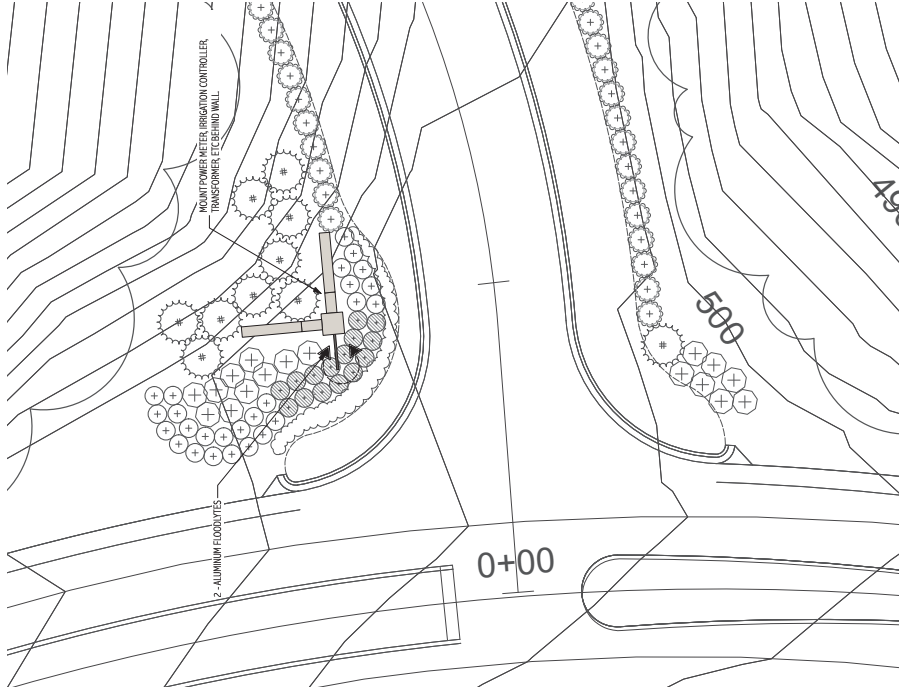


Vestavia Hills, Alabama
Harris Doyle Homes
 Helen Ridge

REVISIONS

DATE: February 12, 2019
 PROJECT NUMBER: 18-0003
 DRAWING: 01
 PROJECT NO.: 2018-010
 SHEET TITLE:

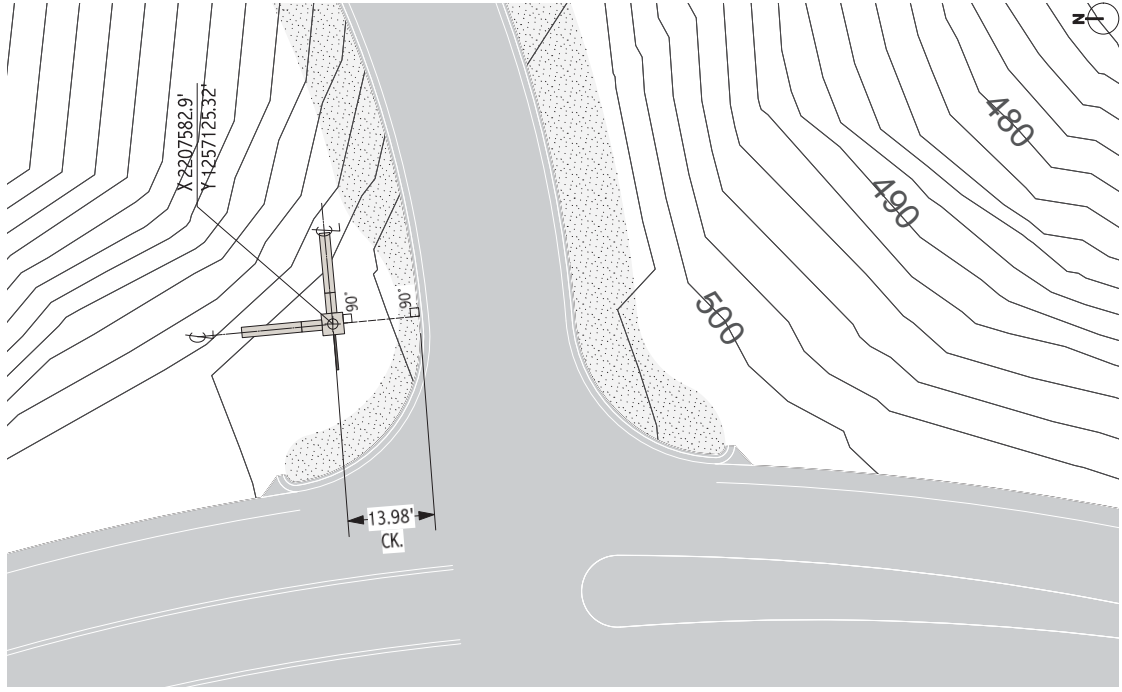
Layout and Lighting Plan
 SHEET NUMBER: L-2.00
 SOURCE: 2 of 7



QTY	ITEM NUMBER	LIGHTING TYPE	MANUFACTURER	NOTES
2	100011 F 557	ALUMINUM FLOODLIGHT	PHILIPS HICO	ALUMINUM WITH BRONZE FINISH

- LANDSCAPE LIGHTING NOTES**
1. PROVIDE AN INSTALL LETTER SHOWING ON THE SCHEDULE
 2. PROVIDE AND INSTALL COMPATIBLE EXACTLY TRANSFORMER AND DIGITAL ASTRONOMICAL CLOCK CONTROLLER.
 3. WIRING LAYOUT AND SLEEVING SHALL BE THE CONTRACTOR'S RESPONSIBILITY. SUBMIT DETAILED WIRING PLAN TO THE ARCHITECT FOR REVIEW AND APPROVAL.
 4. CONDUIT SHALL BE 1/2" DIA. AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. ALL NECESSARY EQUIPMENT AND PERFORMANCE NOT SHOWN SO AS TO PROVIDE A COMPLETE WORKING SYSTEM IN ACCORDANCE WITH THE SCHEDULE.
 5. CONTRACTOR SHALL COORDINATE THE LOCATION OF THE POWER SUPPLY AND TRANSFORMER WITH THE ARCHITECT AND LANDSCAPE ARCHITECT.
 6. ALL WORK SHALL CONFORM TO CODES AND REGULATIONS ISSUED BY ANY GOVERNING AUTHORITIES. OBTAIN ALL PERMITS, LICENSES, ETC. REQUIRED FOR EXECUTION OF WORK.

2 | Lighting Plan
 Scale: 1" = 10'-0"



1 | Lighting Plan
 Scale: 1" = 10'-0"



Harris Doyle Homes
 Helen Ridge
 Vestavia Hills, Alabama

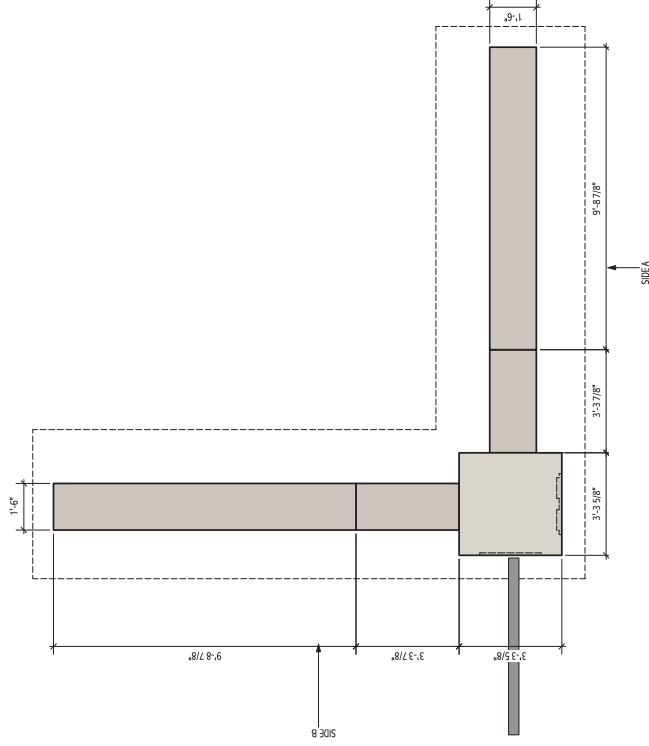
REVISIONS

DATE:	February 12, 2019
PROJECT NUMBER:	AL000000
DRAWN:	rh
REVIEWED:	df
PROJECT NO.:	2018-0100
SHEET TITLE:	

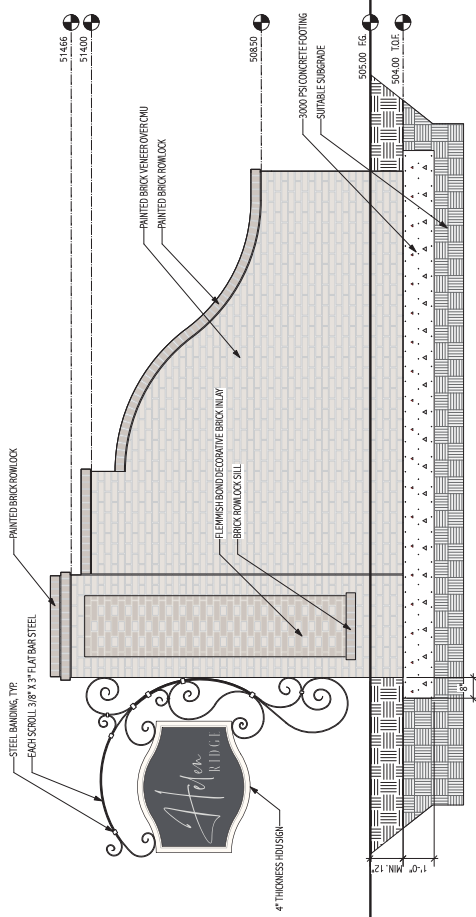
Materials Plan

SHEET NUMBER:
L-3.00

SOURCE:
 3 of 7

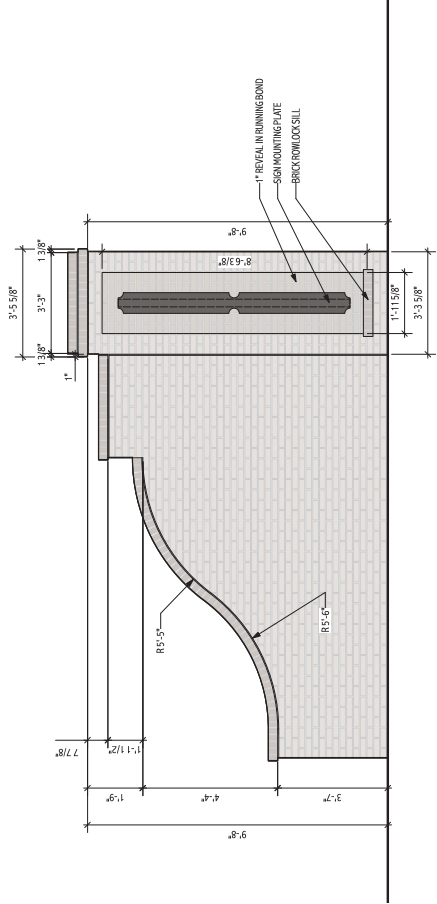


3 Entrance Sign Plan
 Scale: 1/2" = 1'-0"



- NOTES
1. ALL STEEL SHALL BE CLEANY CUT W/TS GRINDSMOOTH. PAINTED WITH MINIMUM 2 COAT SETCHING PRIMER AND 2 COATS EXTERIOR GRADE PAINT.
 2. CAD FILES AVAILABLE FROM LANDSCAPE ARCHITECTURE REQUEST.

1 Entrance Sign Elevation - Side A
 Scale: 1/2" = 1'-0"



2 Entrance Sign Elevation - Side A
 Scale: 1/2" = 1'-0"

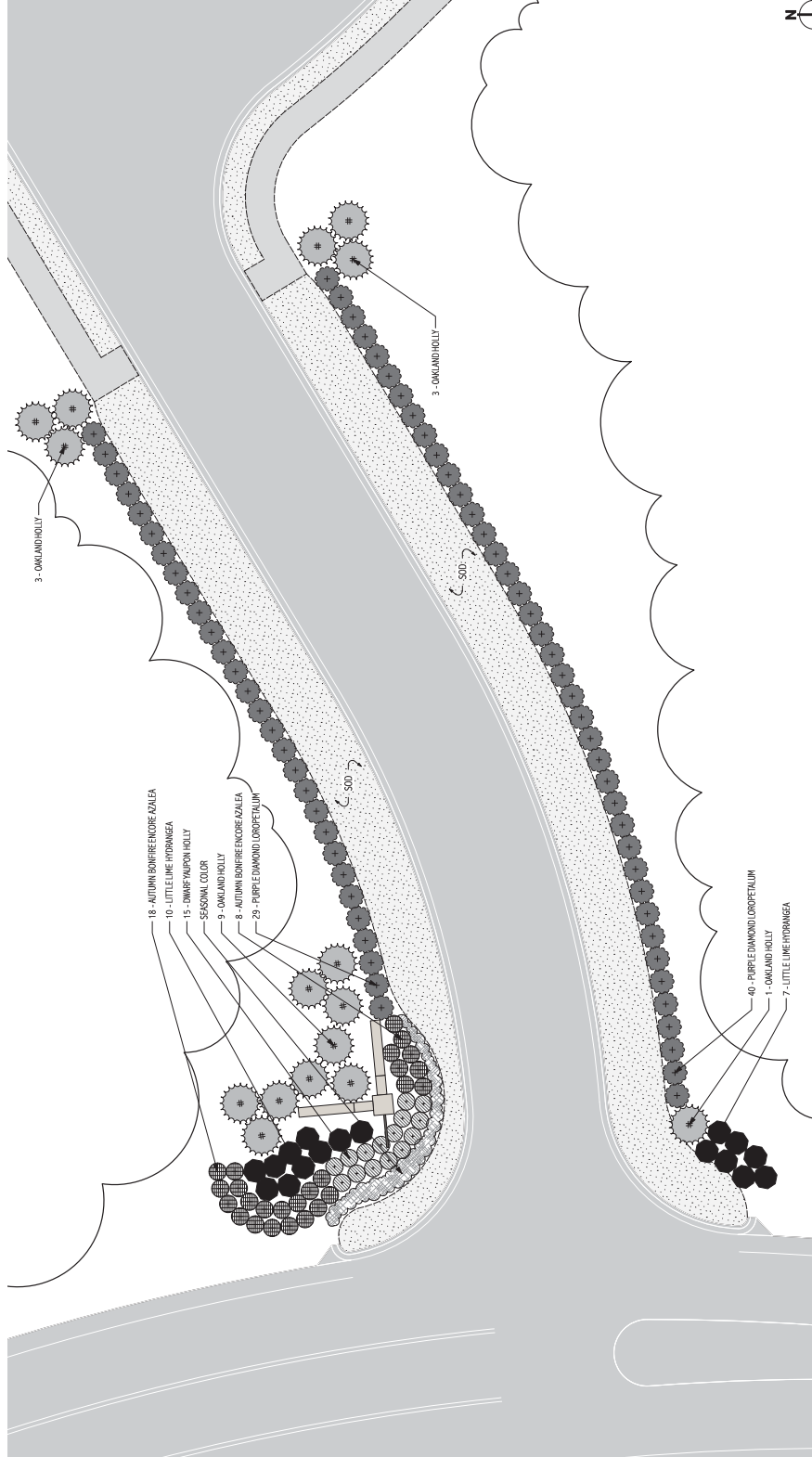


Harris Doyle Homes
 Helen Ridge
 Vestavia Hills, Alabama

REVISIONS

DATE: February 12, 2019
 DRAWN BY: [Signature]
 PROJECT NUMBER: [Number]
 REVISIONS: [List]
 PROJECT NO.: 2018-010
 SHEET TITLE:

Planting Plan - Entrance
 SHEET NUMBER: L-4.00
 SOURCE: 4 of 7



1 Entrance Planting Plan
 Scale: 1" = 10'-0"

PLANT SCHEDULE

Count	Scientific Name	Common Name	Size	Spacing	Root	Remarks
16	<i>Yucca 'Waxgard'</i>	Oakland Holly	5'-6" ht.	6' o.c.	B&B	Fall to ground
17	<i>Hydrangea paniculata 'Jane'</i>	Little Lime Hydrangea	18"-24" sp.	4' o.c.	Cont.	Full Plant
15	<i>Ilex vomitoria 'Nana'</i>	Dwarf Yaupon Holly	15"-18" sp.	3' o.c.	Cont.	Full Plant
69	<i>Loropetalum chinense 'Shang-ni'</i>	Purple Edamond Loropetalum	18"-24" sp.	4' o.c.	Cont.	Full Plant
26	<i>Rhododendron 'Hobbit'</i>	Autumn Bonfire Core Azalea	15"-18" sp.	3' o.c.	Cont.	Full Plant
500	<i>Crocodylacton '419'</i>	Bermuda Sod		Sod/Sod		Sod/Sod



Harris Doyle Homes
 Helen Ridge
 Vestavia Hills, Alabama

REVISIONS

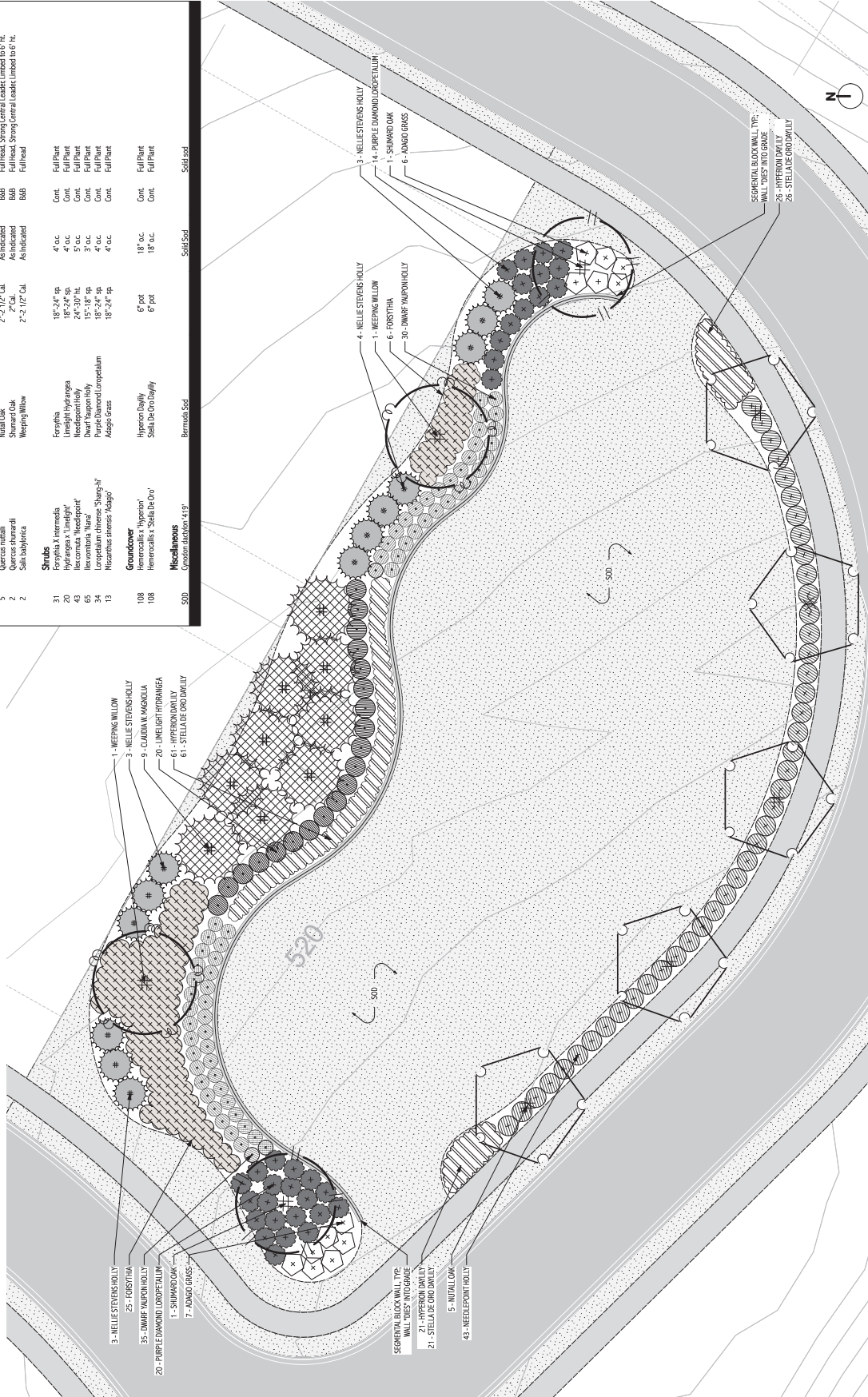
DATE: February 12, 2019
 PROJECT NUMBER: 18-001
 DRAWN: JH
 REVISIONS: 01
 PROJECT NO: 679
 SHEET TITLE: 2018-02-06

Planting Plan - Common
 Area A

SHEET NUMBER:
 L-5.00
 SOURCE:

PLANT SCHEDULE

Count	Scientific Name	Common Name	Size	Spacing	Root	Remarks
13	<i>Ilex x 'Nellee R. Stevens'</i>	Nellee R. Stevens Holly	6" H.C.	6" o.c.	BBB	Full to ground
9	<i>Magnolia grandiflora 'Clavell Marumaine'</i>	Clavell W. Magnolia	7'-8" H.C.	12" o.c.	BBB	Full to ground
5	<i>Quercus nuttallii</i>	Nuttall Oak	2'-2 1/2" Cal.	As indicated	BBB	Full to ground, Strong Central Leader, Limited to 6' H.C.
2	<i>Quercus shumardii</i>	Shumard Oak	2'-2 1/2" Cal.	As indicated	BBB	Full to ground, Strong Central Leader, Limited to 6' H.C.
2	<i>Sax. laevis</i>	Weeping Yucca	2'-2 1/2" Cal.	As indicated	BBB	Full to ground
Shrubs						
31	<i>Forsythia x 'Intermedia'</i>	Forsythia	18"-24" Sp.	4" o.c.	Cont.	Full Plant
20	<i>Hydrangea x 'Limelight'</i>	Limelight Hydrangea	18"-24" Sp.	4" o.c.	Cont.	Full Plant
43	<i>Ilacornata 'Needlepoint'</i>	Needlepoint Holly	24"-30" H.C.	5" o.c.	Cont.	Full Plant
6	<i>Forstia</i>	Forstia	18"-24" Sp.	4" o.c.	Cont.	Full Plant
34	<i>Lopodolium chinense 'Shang-hi'</i>	Shang-hi	18"-24" Sp.	4" o.c.	Cont.	Full Plant
13	<i>Mecranthus sinensis 'Adagio'</i>	Adagio Grass	18"-24" Sp.	4" o.c.	Cont.	Full Plant
Groundcover						
108	<i>Hemerocallis x 'Hypericoid'</i>	Hypericoid Holly	6" pot	18" o.c.	Cont.	Full Plant
108	<i>Hemerocallis x 'Stella De Oro'</i>	Stella De Oro Holly	6" pot	18" o.c.	Cont.	Full Plant
Miscellaneous						
SOD	<i>Cynodon dactylon</i> 4'x9'	Bermuda Sod				Sold sod





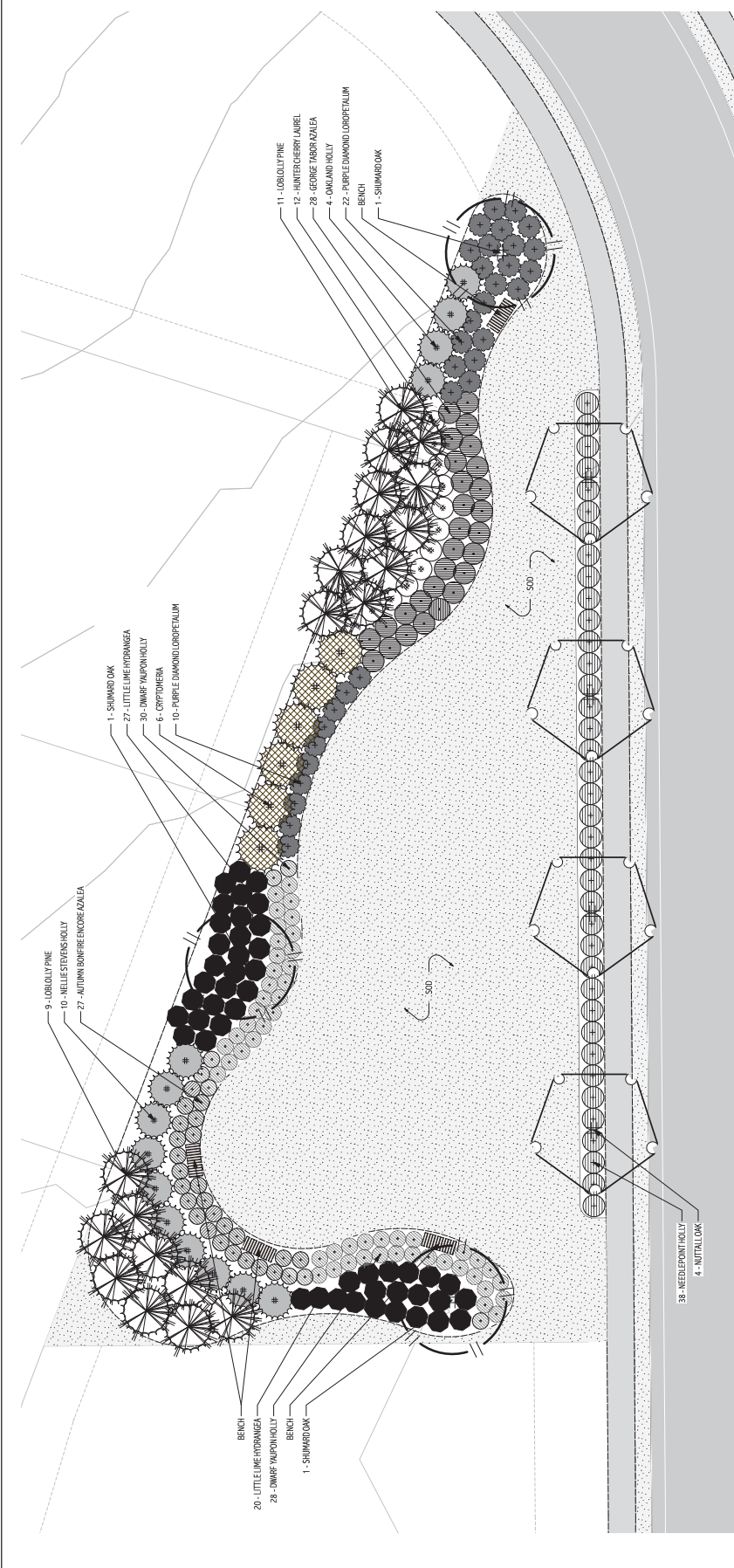
Harris Doyle Homes
 Helen Ridge
 Vestavia Hills, Alabama

REVISIONS

DATE: February 12, 2019
 PROJECT NO: As Indicated
 PROJECT NAME: Helen Ridge
 DRAWN: rjh
 REVISIONS: 019
 PROJECT NO: 2018-010

SHEET TITLE: Planting Plan - Common Area B

SHEET NUMBER: L-6.00
 SOURCE:



1 Planting Plan - Common Area B
 Scale: 1" = 10'-0"

PLANT SCHEDULE

Count	Scientific Name	Common Name	Size	Spacing	Root	Remarks
6	<i>Cydonia japonica</i> 'Yoshino'	Yoshino Cydonia	8'-10' Ht.	As indicated	B&B	Full to ground
4	<i>Ilex x 'Magical'</i>	Oakleaf Holly	5'-6' Ht.	6' o.c.	B&B	Full to ground
10	<i>Negundo grandiflora</i> 'Charles Wernhamer'	Oakleaf Magnolia	7'-8' Ht.	12' o.c.	B&B	Full to ground
12	<i>Parsonsia japonica</i> 'Hester'	Parsonsia	30' Ht.	As indicated	B&B	Full to ground
4	<i>Quercus marshalli</i>	Nuttall Oak	2'-2, 1/2" Cal.	As indicated	B&B	Full to ground
3	<i>Quercus shumardi</i>	Shumard Oak	2" Cal.	As indicated	B&B	Full Head, Strong Central Leader, Limbed to 6' Ht.
47	<i>Hydrangea paniculata</i> 'Inch' / Little Lime	Little Lime Hydrangea	18"-24" sp.	4' o.c.	Cont.	Full Plant
38	<i>Hexconia 'Nancy'</i>	Nancy Yapon Holly	24"-30" sp.	5' o.c.	Cont.	Full Plant
32	<i>Leopodium chinense</i> 'Shang-H'	Purple Diamond Loropetalum	18"-24" sp.	4' o.c.	Cont.	Full Plant
28	<i>Rhododendron indica</i> 'George L. Tabor'	George Tabor Azalea	24"-30" sp.	4' o.c.	Cont.	Full Plant
27	<i>Rhododendron</i> 'Robles PFP'	Autumn Bonfire Encore Azalea	15"-18" sp.	3' o.c.	Cont.	Full Plant
SOD	<i>Cynodon dactylon</i> 419P	Bermuda Sod		Sod/Sod		Sod/Sod

CITY OF VESTAVIA HILLS DESIGN REVIEW BOARD APPLICATION

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: Mark Hancock
Address: 4517 Pine Tree Circle
Vestavia Hills, AL 35243
Phone #: 205.497.3291 Other #: _____
E-Mail: Mark@hancocksbuilt.com

2019 JUL 17 P 12:21

Representing Attorney/Other Agent

Name: Justin Collier / Principal Architect
Address: 4517 Pine Tree Circle
Vestavia Hills, AL 35243
Phone #: 334.399.7713 Other #: _____
E-Mail: justin@coendeavor.com

II. DESCRIPTION OF PROPERTY:

LOCATION: 2828 Old 280 Court, Vestavia Hills, AL 35243
Street Address

Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST:

1. () Preliminary Review
2. (✓) Landscape Review
3. (✓) Architectural Review
5. (✓) Final Review of Materials
6. () Other - Explain _____

IV. PROCESS:

1. (✓) New Building
2. () Renovation of Existing Building
3. () New Landscape Plan
4. () Renovation to Existing Landscaping Plan
7. () Other - Explain _____

V. ZONING

Vestavia Hills Zoning for the subject property is O-1.

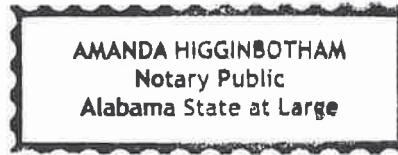
VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.


Owner Signature/Date

 07/17/2019
Representing Agent (if any)/date

Given under my hand and seal
this 17th day of July, 2019.




Notary Public

My Commission Expires
June 8, 2022

My commission expires _____,
day of _____, 20____.

Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

- General: Provide fifteen copies plus one 8½" by 11" copy of all drawings or plans required below for review. Drawings must be to scale. These drawings should be turned in with the application.
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 - a. Site plan showing roadways, entrances, exits and parking.
 - b. Building elevations showing construction material, material colors, context, and protrusions. Color rendering is preferred. Roof design must be detailed.
 - c. Presentation by architect or owner with knowledge of compatibility with adjacent structures, city context, etc.
 2. Landscape Review
 - a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
 - b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
 - c. Parking lots: Provide calculations of total square footage and square footage designated for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
 - d. Irrigation plan for all landscaped areas.
 - e. Statement of maintenance policy and provisions.

**co
endeavor**

The Lindsey Building | Design Review Packet
2828 Old 280 Court
Vestavia Hills, Alabama 35243

1 July 2019

Exterior Rendering



Material Palette

Hardie Lap Siding (Smooth)
Color: SW 7047 "Porpoise"

Board Formed Concrete
Color: Raw/Unfinished

Painted Brick
Color: SW 7008 "Alabaster"

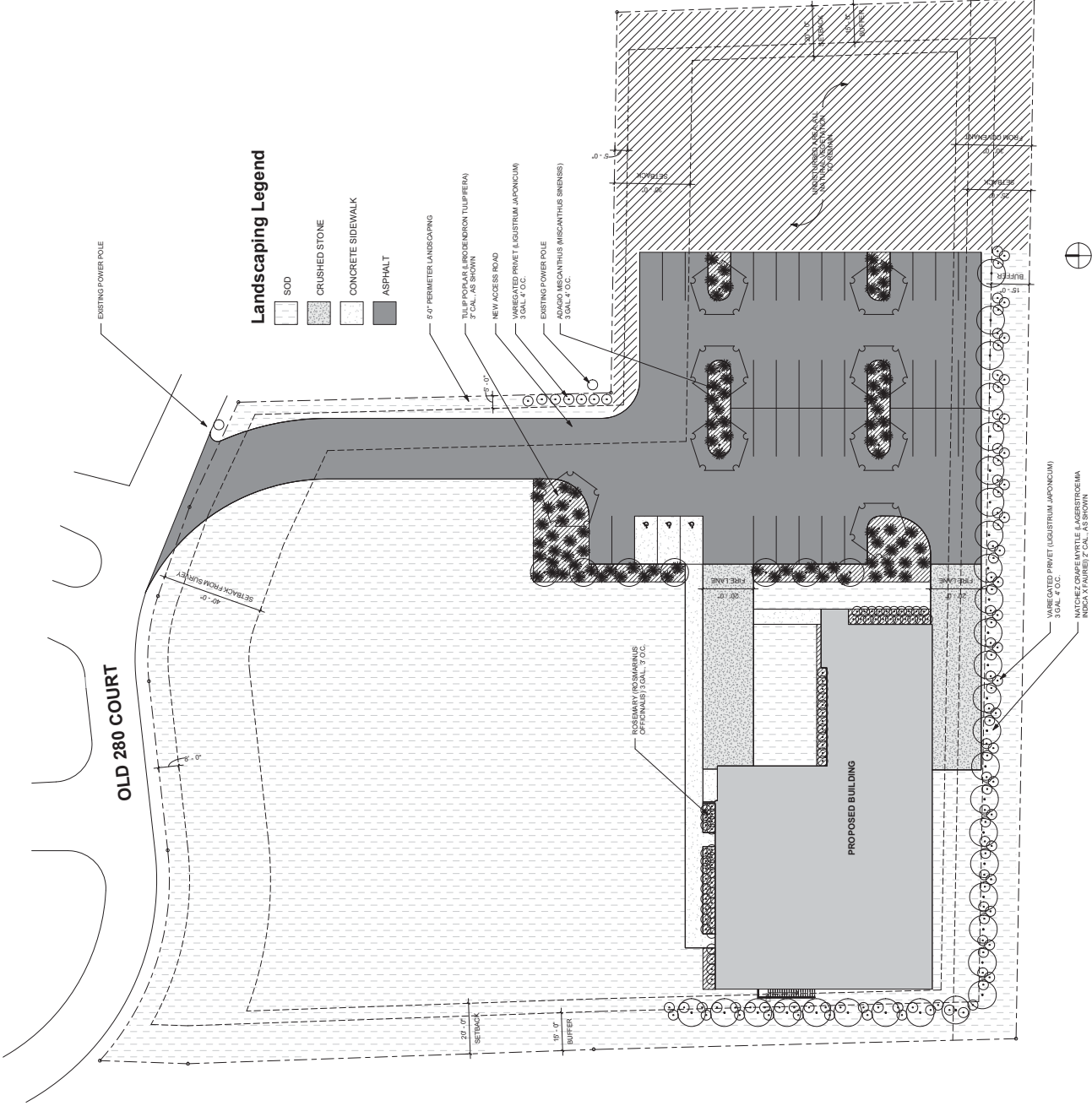
Glulam Structure/T&G Decking
Color: Sealed

Structural Steel
Color: SW 7069 "Iron Ore"

Gutters & Downspouts
Color: SW 7069 "Iron Ore"

Anodized Aluminum Storefront
Color: Dark Bronze

Landscaping Plan

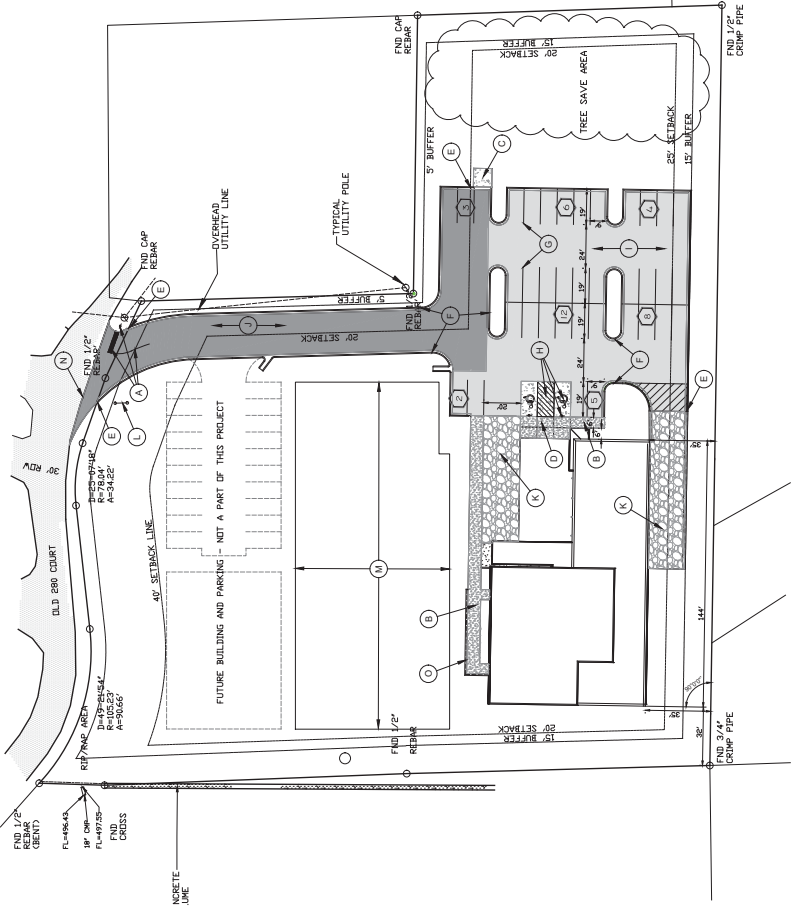
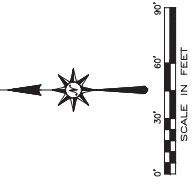
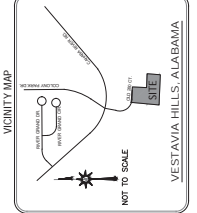


Landscaping Legend

- SOD
- CRUSHED STONE
- CONCRETE SIDEWALK
- ASPHALT

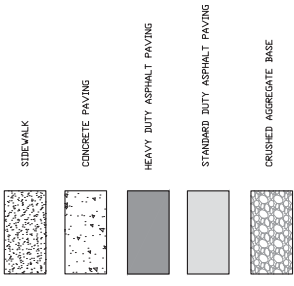
Site Layout

SITE DATA TABLE	
PROJECT NAME	LINDSEY BUILDING
LOCATION	VESTAVIA HILLS, ALABAMA
PROPOSED USE	OFFICE
CURRENT ZONING	D-1 COMMERCIAL
BUILDING HEIGHT	35 FEET
REAR YARD	25 FEET - PER GOVDMANT
FRONT YARD	25 FEET
PARKING REQUIREMENTS	1 SPACE / 250 SF OF GFA
OR 10000 / 250 OR 40 SPACES	
PARKING PROVIDED	40 STALLS INCLUDING 2 HANDICAPPED SPACES



LAYOUT LEGEND

- A) 2" WIDE STOP BAR AND R-1 STOP SIGN REQUIRED. SEE DETAIL.
- B) BUILDING SIDEWALK REQ'D. SEE ARCHITECTURAL PLANS FOR DETAILS.
- C) 12" CURB AND GATED ENCLOSURE REQ'D. SEE ARCHITECTURAL PLANS FOR DETAILS.
- D) ACCESSIBLE RAMP REQ'D. SEE DETAIL.
- E) TAPER BACK OF CURB FROM 6" TO 1/2" IN 6 FEET.
- F) 18" CURB AND GUTTER REQUIRED. SEE DETAIL.
- G) 4" SOLID WHITE PAINT STRIPE REQ'D, TYPICAL.
- H) ACCESSIBLE SPACE, SYMBOL, ANGLE, AND SIGN REQ'D. SEE DETAILS.
- I) STANDARD DUTY ASPHALT PAVEMENT REQ'D. SEE DETAIL.
- J) HEAVY DUTY ASPHALT PAVEMENT REQ'D. SEE DETAIL.
- K) CRUSHED AGGREGATE BASE REQUIRED. SEE DETAIL.
- L) PRIMARY IDENTIFICATION SIGN.
- M) ON-SITE SEPTIC AREA. CONTRACTOR SHALL INSTALL A TEMPORARY FENCE WITH 1/2" DIA. RINGS AND 4" DIA. POSTS TO BE MAINTAINED AT ALL TIMES. MATERIALS STORED OR LAND DISTURBING ACTIVITIES WITHIN THIS AREA SHALL BE PROHIBITED. CONTRACTOR SHALL MAINTAIN A MINIMUM 5' CLEARANCE FROM THE SEPTIC TANK WITH NO FLOODING OF WATER.
- N) SITE RETAINING WALL WITH HANDRAIL REQUIRED. DESIGN BY OTHERS.



GENERAL NOTES

1. BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY OTHERS.
2. CONTRACTOR SHALL VERIFY ALL PROPERTY CORNERS AND BENCHMARKS. IF DESTROYED DURING CONSTRUCTION, CONTRACTOR SHALL REPLACE AT HIS EXPENSE.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGED EXISTING IMPROVEMENTS AT HIS EXPENSE.
4. ACCESSIBLE SIDEWALKS AND RAMPWAYS SHALL BE INSTALLED IN ACCORDANCE WITH LEGAL, STATE, AND ADA REQUIREMENTS.
5. CONTRACTOR SHALL MAINTAIN CONCRETE PAVEMENT CURBS AND LOCATED UTILITIES WITHIN THE WORK AREA PRIOR TO STARTING CONSTRUCTION. ANY CORNERS SHALL BE REPORTED TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION.
6. CONTRACTOR SHALL OBTAIN ALL PERMITS AND APPROVALS PRIOR TO BEGINNING CONSTRUCTION.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGED EXISTING IMPROVEMENTS AT HIS EXPENSE.

SITE LAYOUT NOTES

1. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING, TO FACE OF CURB, OR EDGE OF SURFACING, UNLESS OTHERWISE NOTED.
2. INFORMATION.
3. UNLESS LOCAL CODES INDICATE OTHERWISE STOPPING SHALL BE WHITE. ACCESSIBLE PAVING, SYMBOL, ANGLE, AND OTHER RELATED INFORMATION.
4. THE PROPOSED DRIVE TO EXISTING PARKING SHALL BE MAINTAINED AND ASSURE SMOOTH TRANSITION.
5. ALL DISCRETE PAINT STOPPING SHALL BE APPLIED IN 1/2" CURBS, CURBS TO A TOTAL THICKNESS OF 15" IS REQUIRED.

Address: 10000 Dwyer Road, Vestavia Hills, AL 35294

City: Vestavia Hills, AL 35294

State: AL 35294

Country: USA

Project: Lindsey Building

Program: Office for Engineers

Scale: 1/8" = 1'-0"

Drawn: 10/20/2017

Checked: 10/20/2017

Approved: 10/20/2017

Project: Lindsey Building

Program: Office for Engineers

Scale: 1/8" = 1'-0"

Drawn: 10/20/2017

Checked: 10/20/2017

Approved: 10/20/2017



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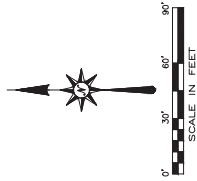


www.co2endeavor.com

Grading & Drainage

SITE PREPARATION NOTES

- All demolition, construction debris, clearing, and excess excavation shall be disposed of in a legal manner.
- Strip all topsoil and vegetation within building and pavement areas, to a depth where uniform, firm subgrade is exposed. Store topsoil in a separate area. Replant trees and shrubs in a separate area where large native trees are located. Stockpile only enough as needed for later use in landscape.
- Remove all existing structures, foundations, and utilities. Verify all existing utilities are marked and located. Prior to placing fill in pavement surface or in building pad areas, exposed subgrade shall be compacted to 95% relative density. All existing structures, foundations, and utilities shall be removed and replaced in areas where fill or structures are proposed and shown on the site plan. All existing structures, foundations, and utilities shall be removed and replaced in areas where fill or structures are proposed and shown on the site plan in accordance with these specifications. All undercut soil shall be disposed of off site in a legal manner.
- Prior to placing fill and in cut areas exposed at subgrade, contractor shall scour existing soils and remove all debris and loose material. All undercut soil shall be disposed of off site in a legal manner. Prior to placing fill and in cut areas exposed at subgrade, contractor shall scour existing soils and remove all debris and loose material. All undercut soil shall be disposed of off site in a legal manner. Prior to placing fill and in cut areas exposed at subgrade, contractor shall scour existing soils and remove all debris and loose material. All undercut soil shall be disposed of off site in a legal manner.
- Fill shall be placed in loose lifts not to exceed 8" and compacted per ASTM D-698 as follows:
 - Building areas - compact to 95%.
 - Paving areas - compact to 98%.
 - Grass areas - compact to 90%.
 Density and moisture tests should be performed on each lift prior to placement of subsequent lifts.
- Excavation shall be backfilled with approved fill material. Backfill shall be placed in lifts not to exceed 8" and compacted per ASTM D-698 as follows:
 - Building areas - compact to 95%.
 - Paving areas - compact to 98%.
 - Grass areas - compact to 90%.
 Density and moisture tests should be performed on each lift prior to placement of subsequent lifts.
- The contractor shall include all costs and necessary detailing measures for groundwater seepage.
- A geotechnical report was prepared by BHVE GEOTECHNICAL CORP., NICHOLAS DATED FEBRUARY 7, 2019.



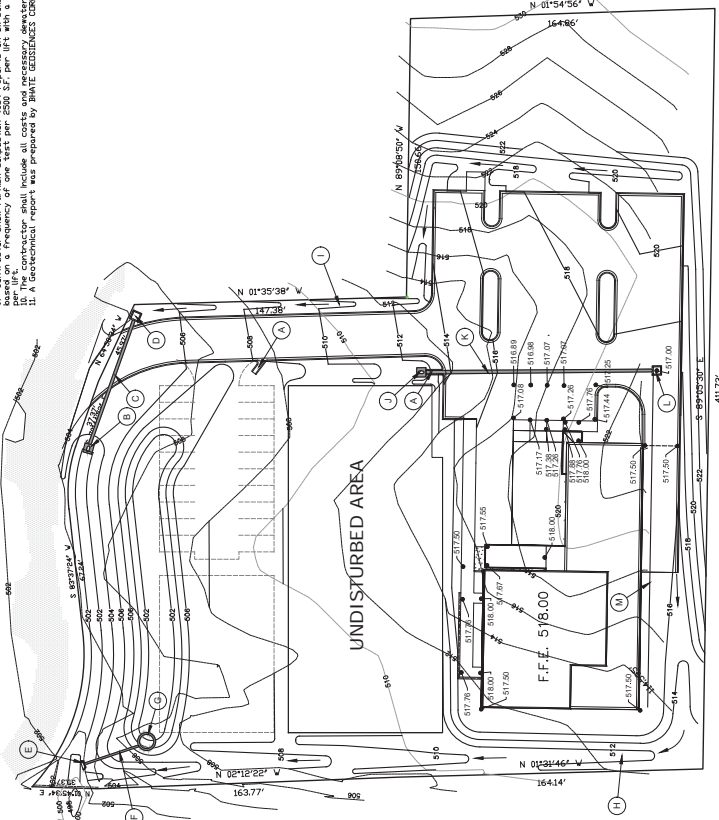
DATE	DESCRIPTION

GRADING AND DRAINAGE LEGEND

- (A) 2" WIDE CONCRETE FLUME REQUIRED. SEE DETAIL.
- (B) SLOPED PAVED HEADWALL REQUIRED. PER ALDIT. INVERT EL. = 501.00 - SEE DETAIL.
- (C) 80 LF - 14" X 24" ARCH RCP PIPE # 030X GRADE.
- (D) YARD INLET REQUIRED. SEE DETAIL. THREAT EL. = 502.50. INVERT EL. = 502.49.
- (E) 120 LF - 18" RCP PIPE # 030X GRADE. INVERT EL. = 499.00.
- (F) 36 LF - 18" RCP PIPE # 030X GRADE.
- (G) DILET CONTROL STRUCTURE REQUIRED. SEE DETAIL.
- (H) 4" WIDE X 1' DEEP SOLID SOD CUT OFF DITCH REQUIRED. GRADE VARIES.
- (I) 2" WIDE X 1' DEEP SOLID SOD CUT OFF DITCH REQUIRED. GRADE VARIES.
- (J) SLOPED PAVED HEADWALL REQUIRED. PER ALDIT. INVERT EL. = 501.00.
- (K) 120 LF - 18" RCP PIPE # 030X GRADE.
- (L) GATE INLET REQUIRED. SEE DETAIL.
- (M) 180 LF - 18" AVE. RCP DRAIN COLLECTOR PIPE FOR LOADING. SEE ARCHITECTURAL PLANS.

NOTE: RCP DRAIN PIPE SHALL BE CLASS III.

NOTE: THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM THE FOUNDATION WITH NO FORMING OF WATER.



DATE	DESCRIPTION



Project: The Lister Building
Program: Add to Program

Client: The Lister Building
1200 S. 10th St.
Tulsa, Oklahoma 74106-3500

Project Name: 1200 S. 10th St. 2019
Drawing Title: GRADING AND DRAINAGE PLAN



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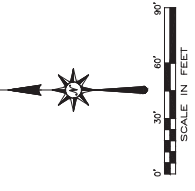
www.coendeavor.com

Erosion Control Plan

PHASE I (BMP) SEQUENCE NOTES:

1. THE CONSTRUCTION METHODOLOGY SHALL BE DETERMINED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.
2. THE CONSTRUCTION METHODOLOGY SHALL BE DETERMINED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.
3. A COPY OF THE APPROVED AND EXISTING PLAN AND PERMIT SHALL BE KEPT ON THE SITE AT ALL TIMES.
4. THE EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
5. PERMIT TO CONDUCT LAND DISTURBANCE ACTIVITY. THE LIMITS OF ACTIVITY SHALL BE DETERMINED BY THE ENGINEER.
6. THE LOCATION AND EXTENT OF ALL AUTHORIZED AND RESTRICTED AREAS SHALL BE DETERMINED BY THE ENGINEER AND SHOWN ON THE CONSTRUCTION PLAN.
7. PRIOR TO ANY CONSTRUCTION, A STABILIZED CONSTRUCTION EXIT FROM THE SITE ON THE EXISTING PAVED ROADWAY SHALL BE PROVIDED.
8. MAINTAIN FULL COORDINATION WITH THE LOCAL PROFESSIONAL ENGINEER THROUGHOUT THE CONSTRUCTION PERIOD.
9. STORMWATER SHALL BE COLLECTED AND STORED IN A STORMWATER DETENTION BASIN. THE BASIN SHALL BE CONSTRUCTED AND MAINTAINED AS SHOWN ON THE CONSTRUCTION PLAN.
10. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
11. THE CONSTRUCTION SHALL BE MONITORED AND MAINTAINED AS SHOWN ON THE CONSTRUCTION PLAN.
12. THE CONSTRUCTION SHALL BE MONITORED AND MAINTAINED AS SHOWN ON THE CONSTRUCTION PLAN.
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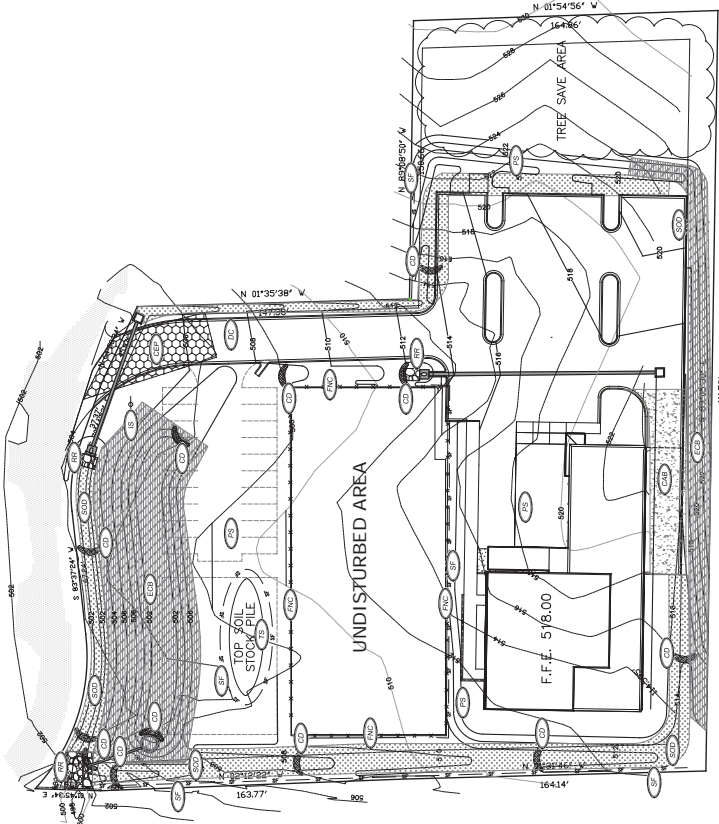
TOTAL DISTURBED AREA = 42,225
SQ. FEET APPROX PERMIT REQ'D BY
CONTRACTOR



VEGETATIVE MEASURES	
CODE	PRACTICE
C-25	VEGETATION RESTORATION (MATURE TREES)
C-26	VEGETATION RESTORATION (MATURE SHRUBS)
C-27	VEGETATION RESTORATION (MATURE GRASSES)
C-28	VEGETATION RESTORATION (MATURE FORBES)
C-29	VEGETATION RESTORATION (MATURE LEGUMES)
C-30	VEGETATION RESTORATION (MATURE BROADLEAF TREES)
C-31	VEGETATION RESTORATION (MATURE CONIFER TREES)
C-32	VEGETATION RESTORATION (MATURE PALM TREES)
C-33	VEGETATION RESTORATION (MATURE DECIDUOUS TREES)
C-34	VEGETATION RESTORATION (MATURE EVERGREEN TREES)
C-35	VEGETATION RESTORATION (MATURE BROADLEAF SHRUBS)
C-36	VEGETATION RESTORATION (MATURE CONIFER SHRUBS)
C-37	VEGETATION RESTORATION (MATURE PALM SHRUBS)
C-38	VEGETATION RESTORATION (MATURE DECIDUOUS SHRUBS)
C-39	VEGETATION RESTORATION (MATURE EVERGREEN SHRUBS)
C-40	VEGETATION RESTORATION (MATURE BROADLEAF GRASSES)
C-41	VEGETATION RESTORATION (MATURE CONIFER GRASSES)
C-42	VEGETATION RESTORATION (MATURE PALM GRASSES)
C-43	VEGETATION RESTORATION (MATURE DECIDUOUS GRASSES)
C-44	VEGETATION RESTORATION (MATURE EVERGREEN GRASSES)
C-45	VEGETATION RESTORATION (MATURE BROADLEAF FORBES)
C-46	VEGETATION RESTORATION (MATURE CONIFER FORBES)
C-47	VEGETATION RESTORATION (MATURE PALM FORBES)
C-48	VEGETATION RESTORATION (MATURE DECIDUOUS FORBES)
C-49	VEGETATION RESTORATION (MATURE EVERGREEN FORBES)
C-50	VEGETATION RESTORATION (MATURE BROADLEAF LEGUMES)
C-51	VEGETATION RESTORATION (MATURE CONIFER LEGUMES)
C-52	VEGETATION RESTORATION (MATURE PALM LEGUMES)
C-53	VEGETATION RESTORATION (MATURE DECIDUOUS LEGUMES)
C-54	VEGETATION RESTORATION (MATURE EVERGREEN LEGUMES)

STRUCTURAL PRACTICES	
CODE	PRACTICE
C-55	3X FENCE
C-56	CONSTRUCTION DIRT
C-57	SPRINKLER SYSTEM
C-58	RP RPP
C-59	CHECK DAM
C-60	CONSTRUCTION FENCE
C-61	CRACKED SURFACE
C-62	CONCRETE
C-63	WASH OUT

OFFICE OF COMMUNITY MANAGEMENT
THE PERMITTEE'S COPY OF THIS PLAN SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.



CONTRACTOR
 CONTRACTOR'S NAME
 ADDRESS
 CITY, STATE, ZIP
 PHONE
 FAX

ENGINEER
 ENGINEER'S NAME
 ADDRESS
 CITY, STATE, ZIP
 PHONE
 FAX

DATE
 DATE OF ISSUE

PROJECT
 PROJECT NAME
 ADDRESS
 CITY, STATE, ZIP

SCALE
 SCALE IN FEET

NOT FOR CONSTRUCTION



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CONSTRUCTION SOFTWARE
 15000 W. 10TH AVENUE, SUITE 100
 DENVER, CO 80202
 (303) 755-1000
 WWW.COCONSTRUCTIONSOFTWARE.COM

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
APPLICATION**

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: VESTAVIA MZL LLC
Address: 254 W. 31st Street, 4th Floor
NEW YORK, NY 10001
Phone #: 205-644-0637 Other #: _____
E-Mail: LMALLETTE@FAIRWAYMG.COM

Representing Attorney/Other Agent

Name: FAIRWAY MANAGEMENT GROUP
Address: 728 SHADES CREEK PARWAY, STE 200
BIRMINGHAM, AL 35209
Phone #: 205-402-9990 Other #: _____
E-Mail: LMALLETTE@FAIRWAYMG.COM

II. DESCRIPTION OF PROPERTY:

LOCATION: 608-680 MONTGOMERY HIGHWAY
Street Address
PARCEL 1 VESTAVIA CITY CENTER
Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST:

1. Preliminary Review
2. Landscape Review
3. Architectural Review
5. Final Review of Materials
6. Other - Explain _____

IV. PROCESS:

1. New Building
2. Renovation of Existing Building
3. New Landscape Plan
4. Renovation to Existing Landscaping Plan
7. Other - Explain UPGRADE TO LED LIGHTING

V. ZONING

Vestavia Hills Zoning for the subject property is _____.

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

Owner Signature/Date

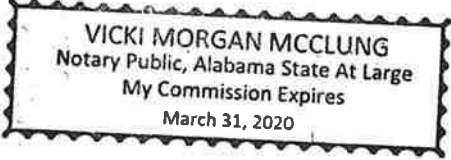
 AS AGENT FOR VESTAVIA MZL LLC
FAIRWAY MGT GROUP

Representing Agent (if any)/date

Given under my hand and seal
this 16th day of May, 20 19.



Notary Public

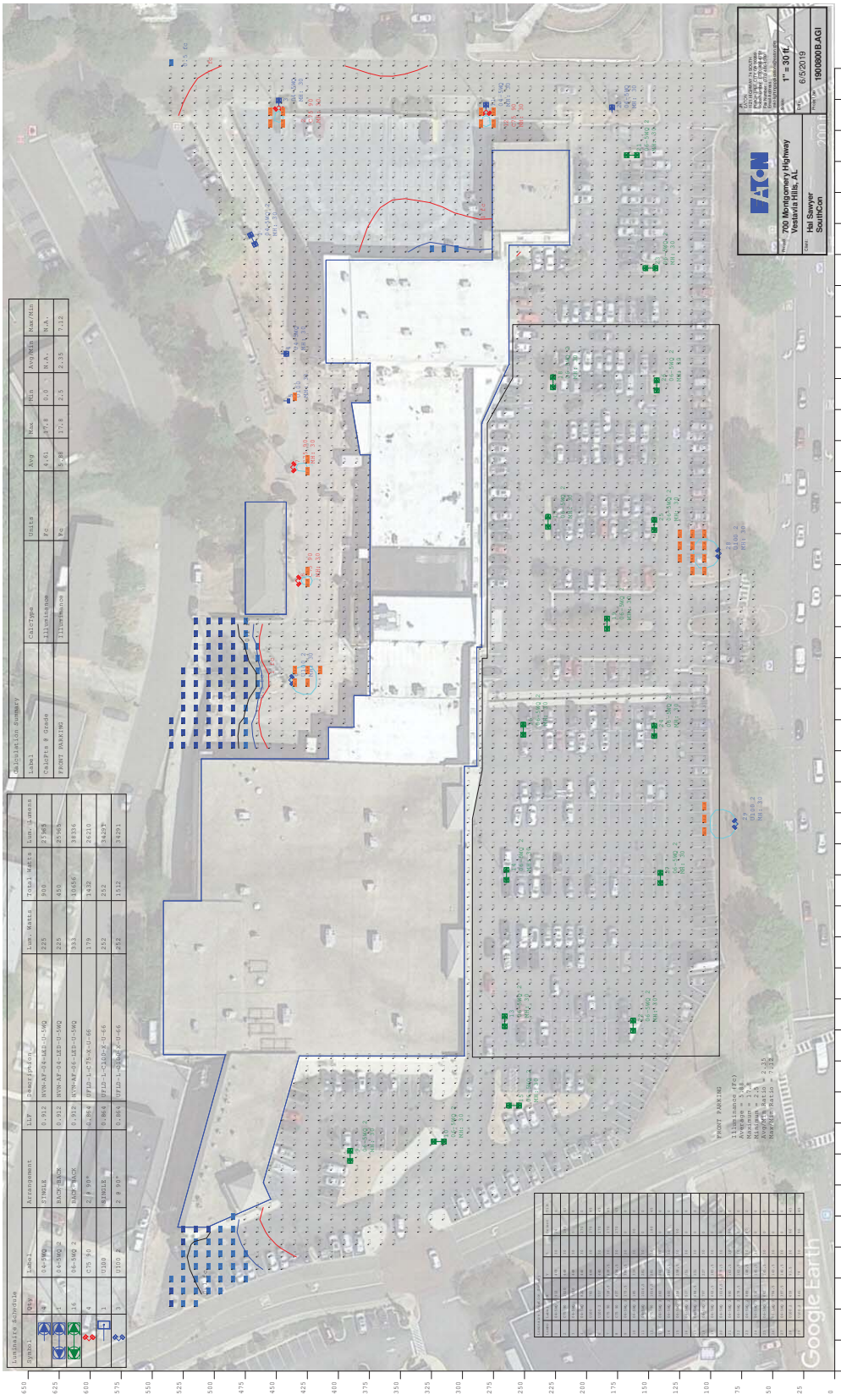


My commission expires 31st
day of March, 20 20.

Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

- General: Provide fifteen copies plus one 8½” by 11” copy of all drawings or plans required below for review. Drawings must be to scale. These drawings should be turned in with the application.
1. Architectural Review
 - a. Site plan showing roadways, entrances, exits and parking.
 - b. Building elevations showing construction material, material colors, context, and protrusions. Color rendering is preferred. Roof design must be detailed.
 - c. Presentation by architect or owner with knowledge of compatibility with adjacent structures, city context, etc.
 2. Landscape Review
 - a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
 - b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
 - c. Parking lots: Provide calculations of total square footage and square footage designated for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
 - d. Irrigation plan for all landscaped areas.
 - e. Statement of maintenance policy and provisions.



Room No.	Room Name	Area (sq ft)	Volume (cu ft)	Notes
610	RECEPTION	1,215	3,645	
615	OFFICE	4,500	13,500	
620	CONFERENCE	1,000	3,000	
625	MEETING	800	2,400	
630	TRAINING	1,500	4,500	
635	RESTROOM	200	600	
640	STORAGE	300	900	
645	MECHANICAL	500	1,500	
650	ELECTRICAL	100	300	
655	PLUMBING	100	300	
660	PAINT	100	300	
665	GLASS	100	300	
670	ROOF	100	300	
675	FOUNDATION	100	300	
680	LANDSCAPE	100	300	
685	UTILITY	100	300	
690	ENTRANCE	100	300	
695	EXIT	100	300	
700	STAIR	100	300	
705	ELEVATOR	100	300	
710	MECHANICAL	100	300	
715	ELECTRICAL	100	300	
720	PLUMBING	100	300	
725	PAINT	100	300	
730	GLASS	100	300	
735	ROOF	100	300	
740	FOUNDATION	100	300	
745	LANDSCAPE	100	300	
750	UTILITY	100	300	
755	ENTRANCE	100	300	
760	EXIT	100	300	
765	STAIR	100	300	
770	ELEVATOR	100	300	
775	MECHANICAL	100	300	
780	ELECTRICAL	100	300	
785	PLUMBING	100	300	
790	PAINT	100	300	
795	GLASS	100	300	
800	ROOF	100	300	
805	FOUNDATION	100	300	
810	LANDSCAPE	100	300	
815	UTILITY	100	300	
820	ENTRANCE	100	300	
825	EXIT	100	300	
830	STAIR	100	300	
835	ELEVATOR	100	300	
840	MECHANICAL	100	300	
845	ELECTRICAL	100	300	
850	PLUMBING	100	300	
855	PAINT	100	300	
860	GLASS	100	300	
865	ROOF	100	300	
870	FOUNDATION	100	300	
875	LANDSCAPE	100	300	
880	UTILITY	100	300	
885	ENTRANCE	100	300	
890	EXIT	100	300	
895	STAIR	100	300	
900	ELEVATOR	100	300	
905	MECHANICAL	100	300	
910	ELECTRICAL	100	300	
915	PLUMBING	100	300	
920	PAINT	100	300	
925	GLASS	100	300	
930	ROOF	100	300	
935	FOUNDATION	100	300	
940	LANDSCAPE	100	300	
945	UTILITY	100	300	
950	ENTRANCE	100	300	
955	EXIT	100	300	
960	STAIR	100	300	
965	ELEVATOR	100	300	
970	MECHANICAL	100	300	
975	ELECTRICAL	100	300	
980	PLUMBING	100	300	
985	PAINT	100	300	
990	GLASS	100	300	
995	ROOF	100	300	
1000	FOUNDATION	100	300	

ACM
 ARCHITECTURAL CONSTRUCTION MANAGEMENT
 700 Montgomery Highway
 Vestavia Hills, AL
 1" = 30'
 6/5/2019
 Hal Sawyer
 SouthCoast
 1808008B.ACI

PORT PARKING
 Illuminance (fc)
 Minimum = 1.0
 Maximum = 2.15
 Foot/Candle Ratio = 1.02

Room No.	Room Name	Area (sq ft)	Volume (cu ft)	Notes
610	RECEPTION	1,215	3,645	
615	OFFICE	4,500	13,500	
620	CONFERENCE	1,000	3,000	
625	MEETING	800	2,400	
630	TRAINING	1,500	4,500	
635	RESTROOM	200	600	
640	STORAGE	300	900	
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920	PAINT	100	300	
925	GLASS	100	300	
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950	ENTRANCE	100	300	
955	EXIT	100	300	
960	STAIR	100	300	
965	ELEVATOR	100	300	
970	MECHANICAL	100	300	
975	ELECTRICAL	100	300	
980	PLUMBING	100	300	
985	PAINT	100	300	
990	GLASS	100	300	
995	ROOF	100	300	
1000	FOUNDATION	100	300	