

**CITY OF VESTAVIA HILLS  
DESIGN REVIEW BOARD  
AGENDA  
SEPTEMBER 5, 2019  
6:00 P.M.**

Roll Call.

Approval of minutes – May 2, 2019

- (1) **D-0919-16** Continental Equity Corporation is requesting **Lighting Plan Review** for the property located at **2301 Old Columbiana Rd.** The purpose of this request is for new park lighting. The property is owned by Continental Equity Corporation and is zoned Vestavia Hills Inst-1.
- (2) **D-0919-17** Cahaba Heights Corner CGP I, LLC, et al is requesting **Landscape Review, Architectural Review, and Final Review of Materials** for the property located at **3961 Crosshaven Dr.** The purpose of this request is for renovation of an existing building. The property is owned by Cahaba Heights Corner CGP I, LLC, et al and is zoned Vestavia Hills B-2.
- (3) **D-0919-18** Scott Deason is requesting **Landscape Review, Architectural Review, and Final Review of Materials** for the property located at **4557 Pine Tree Circle.** The purpose of this request is for a new building. The property is owned by Scott Deason and is zoned Vestavia Hills B-1.2.
- (4) **D-0919-19** Overton Condos, LLC is requesting **Architectural Review and Final Review of Materials** for the property located at **3791 Poe Dr.** The purpose of this request is for new townhomes. The property is owned by the Overton Condos, LLC and is zoned Vestavia Hills R-9.
- (5) **D-0919-20** 8001 Liberty Park, LLC is requesting **Landscape Review, Architectural Review, and Final Review of Materials** for the property located at **8001 Liberty Pkwy.** The purpose of this request is for a new building. The property is owned by 8001 Liberty Park, LLC and is zoned Vestavia Hills PUD-PB.
- (6) **D-0919-21** Vestavia MZL LLC is requesting **Architectural Review and Final Review of Materials** for the property located at **700 Montgomery Hwy.** The purpose of this request is for a new architectural plan. The property is owned by Vestavia MZL LLC and is zoned Vestavia Hills B-2.

Time of Adjournment.

**CITY OF VESTAVIA HILLS**

**DESIGN REVIEW BOARD**

**MINUTES**

**AUGUST 1, 2019**

The Vestavia Hills Landscape and Architectural Control Board met in a regular session on this date at 6:00 PM. The roll was called with the following:

**MEMBERS PRESENT:** Robert Thompson, Chairman  
David Giddens  
Chris Pugh  
Jeff Slaton  
Joe Ellis

**MEMBERS ABSENT:** Mae Coshatt  
Rip Weaver

**OTHER OFFICIALS PRESENT:** Conrad Garrison, City Planner

**APPROVAL OF MINUTES**

The minutes for July 10, 2019 were presented for approval.

**MOTION** Motion to dispense with the reading of the minutes for July 10, 2019 was made by Mr. Giddens and 2<sup>nd</sup> was by Mr. Pugh. Motion as carried on a voice vote as follows:

Mr. Pugh – yes	Mr. Giddens – yes
Mr. Slaton – yes	Mr. Ellis– yes
Mr. Thompson – yes	Motion carries.

**Landscape Review**

**D-0819-13** Harris Doyle Homes is requesting **Landscape Review** for the property located at **Cahaba Heights Rd.** The purpose of this request is for a new landscaping plan. The property is owned by Harris Doyle Homes and is zoned Vestavia Hills R-9.

Mr. Garrison described the background of the request and stated it was the new pedestrian bridge.

Duane Pritchett was present to explain the subdivision entrance.

The Board agreed with the plan

**MOTION** Motion to approve Landscaping Plan for the property located at Cahaba Heights Rd. was made by Mr. Pugh. Second was made by Mr. Gidden. Voice vote as follows:

Mr. Pugh – yes	Mr. Giddens – yes
Mr. Slaton – yes	Mr. Ellis– yes
Mr. Thompson – yes	Motion carries.

**Architectural Review & Final Review of Materials**

**D-0819-14** Mark Hancock is requesting **Architectural Review and Final Review of Materials** for the property located at **2828 Old 280 Ct.** The purpose of this request is for a new building. The property is owned by Mark Hancock and is zoned Vestavia Hills O-1.

Mr. Garrison described the background of the request.

Justin Collier was present to present the plan. The Board agreed with the plan and asked Mr. Collier to bring back the landscaping at a later date.

**MOTION** Motion to approve Architectural Review and Final Review of Materials for the property located at 2828 Old 280 Ct. was made by Mr. Ellis. Second was made by Mr. Pugh. Voice vote as follows:

Mr. Pugh – yes	Mr. Giddens – yes
Mr. Slaton – yes	Mr. Ellis– yes
Mr. Thompson – yes	Motion carries.

**Architectural Review & Final Review of Materials**

**D-0819-15** Vestavia MZL, LLC is requesting **Lighting Review** for the property located at **608-680 Montgomery Hwy.** The purpose of this request is for a new lighting plan. The property is owned by Vestavia MZL, LLC and is zoned Vestavia Hills B-2.

Mr. Garrison described the background of the request and stated Alabama Power are changing the parking lot lights at City Center.

The Board agreed with the change.

**MOTION** Motion to approve Lighting Review for the property located at 608-680 Montgomery Hwy. was made by Mr. Slaton. Second was made by Mr. Ellis. Voice vote as follows:

Mr. Pugh – yes  
Mr. Slaton – yes  
Mr. Thompson – yes

Mr. Giddens – yes  
Mr. Ellis– yes  
Motion carries.

---

Conrad Garrison  
City Planner

**CITY OF VESTAVIA HILLS  
DESIGN REVIEW BOARD  
APPLICATION**

**I. APPLICANT INFORMATION:**

**Owner of Property (This Section Must Be Completed)**

Name: Davis Hunt - CONTINENTAL EQUITY CORPORATION, LLC

Address: 2604 Tyne Blvd

Nashville, TN 37215

Phone #: 615-500-6810 Other #: \_\_\_\_\_

E-Mail: business@dhunt.com

**Representing Attorney/Other Agent**

Name: Richard Pennino

Address: 2301 Old Columbiana Road

Birmingham, AL 35216

Phone #: 770-262-5741 Other #: \_\_\_\_\_

E-Mail: rich@forgevestavia.com

**II. DESCRIPTION OF PROPERTY:**

LOCATION: 2221 Old Columbiana Road

*Street Address*

\_\_\_\_\_  
*Subdivision name, Lot #, Block #, etc.*

**III. REASONS FOR REQUEST:**

1. ( ) Preliminary Review
2. ( ) Landscape Review
3. ( ) Architectural Review
5. ( ) Final Review of Materials
6. ( ) Other - Explain \_\_\_\_\_

2019 AUG 20 P 1:15

**IV. PROCESS:**

1. ( ) New Building
2. ( ) Renovation of Existing Building
3. ( ) New Landscape Plan
4. ( ) Renovation to Existing Landscaping Plan
7. ( ) Other - Explain \_\_\_\_\_

**V. ZONING**

Vestavia Hills Zoning for the subject property is \_\_\_\_\_.

**VI. OWNER AFFIDAVIT:**

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

U. D. [Signature]  
Owner Signature/Date

\_\_\_\_\_  
Representing Agent (if any)/date

Given under my hand and seal  
this 4 day of December, 20 18.

[Signature]  
Notary Public

My commission expires 05/05/2020  
day of 05, 20 20.



### Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

- General: Provide fifteen copies plus one 8½" by 11" copy of all drawings or plans required below for review. Drawings must be to scale. These drawings should be turned in with the application.
1. Architectural Review
    - a. Site plan showing roadways, entrances, exits and parking.
    - b. Building elevations showing construction material, material colors, context, and protrusions. Color rendering is preferred. Roof design must be detailed.
    - c. Presentation by architect or owner with knowledge of compatibility with adjacent structures, city context, etc.
  2. Landscape Review
    - a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
    - b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
    - c. Parking lots: Provide calculations of total square footage and square footage designated for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
    - d. Irrigation plan for all landscaped areas.
    - e. Statement of maintenance policy and provisions.

# SPEC PRO

## LED SPORTSLIGHTER

500W, 700W

REPLACES UP TO A 1600-WATT METAL HALIDE FIXTURE

- Double-Folded Aluminum Fin Heatsink
- Suitable for Indoor and Outdoor Locations
- Expected Life over 100,000 Hours
- Available in 500W and 700W
- Superior Optics for Exceptional Beam Uniformity
- Industry-Leading 15-Year LED Board Warranty



SPL Shown With Optional VGS Glare Shield



### POWER

Available in 500W and 700W Configurations

### PRECISION

High Precision Optics are Paired with an Engraved Protractor for Proper Aim

### ENGINEERING

Folded-fin Heatsink Keeps High-Output LEDs Cooler During Operation

## ORDERING INFORMATION

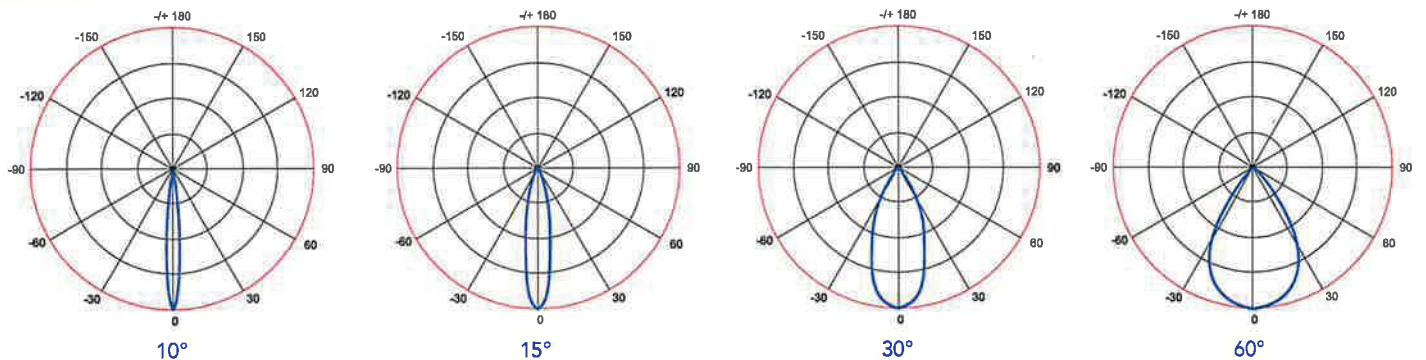
EXAMPLE PART #: SPL-500-40K-15-V01-BL-TL-VDIM-80C

SERIES	WATTS	CCT	OPTICS	INPUT PWR	FINISH	MOUNTING	DIMMING	OPTIONS
SPL	500	40K	10	V01   110/277V	BL	TL   Tilt Bracket (Remote Driver)	NDIM   No Dimming	SP-10   Surge Protector 10kA
	700	50K	15	V04   347/480V	WT	HT   Horizontal Tennon (Remote Driver)	VDIM   0-10V Dimmable	SP-20   Surge Protector 20kA
		57K	30		RAL		DDIM   DALI Dimming	VGS   Visor Glare Shield
			60					BGS   Bulls-eye Glare Shield
								90C   90 CRI
								80C   80 CRI
								SF14   Slipfitter for 2-3/8" Tennon
								NAT   Natatorium
								SYN   Synapse Wireless

### NOTES

- Remote Driver Standard; Distance from Luminaire May Not Exceed 100'.
- Standard Remote Driver Distance from Luminaire is 6' unless Otherwise Specified.
- 74 CRI Standard
- Custom RAL Colors Require Additional Costs & Lead Times

## OPTICS



Due to continuous improvement and innovation, product appearance and specifications may change without notice. Actual performance may differ as a result of end-user environment and application.

# SPEC PRO

## LED SPORTSLIGHTER

D-0919-16//2900362002004.001  
 2221 Old Columbiana Rd.  
 Review for LED lighting  
 Continental Equity Corporation



### LUMEN CHART

	4000K	5000K	5700K
500W	62,100 lm	62,300 lm	63,200 lm
700W	82,900 lm	83,100 lm	84,500 lm

Typical delivered lumen data is approximate. Actual lumens will vary due to installation environment and beam pattern. Please see IES files.

### SPECIFICATIONS

- Expected Life** | Over 100,000 hrs.
- Rating** | IP65 Housing / IP66 Boards
- Color Rendering Index (CRI)** | >74
- Operating Temp** | -45°C – +65°C
- Relative Humidity** | 0-90% RH
- Power Factor** | >96%
- Input Line Voltage** | 90-305 / 200-525 VAC
- Input Line Frequency** | 50/60 Hz
- THD** | <10%
- LED Chips** | Osram
- Driver** | Remote: Inventronics/Meanwell
- Weight & EPA** | See Chart
- Vibration Rating** | 3.0G per ANSI 136.31

### LISTINGS

- UL | 1598
- UL Surge Protection | 1449
- ANSI Surge Protection | C62.41.2
- ETL Listed
- CE Listed
- DLC Listed

### EPA & WEIGHT

500W & 700W Standard Fixture	Front	Side
90° From Horizontal	2.9	1.3
45° From Horizontal	1.7	1.3
0° From Horizontal	1.3	1.3

500W & 700W Fixture w/VGS	Front	Side
90° From Horizontal	2.9	1.9
45° From Horizontal	1.7	1.9
0° From Horizontal	1.3	1.9

500W & 700W Fixture w/BGS	Front	Side
90° From Horizontal	2.9	1.9
45° From Horizontal	1.7	1.9
0° From Horizontal	1.9	1.9

### MATERIALS

- Housing** | Corrosion Resistant Aluminum
- Gasketing** | Neoprene Rubber
- Hardware** | 18-8 Stainless Steel
- Finish** | Protective UV Stabilized Powdercoat
- 4000 Hour Salt Spray Tested to ASTM B117
- Lens** | Tempered Glass

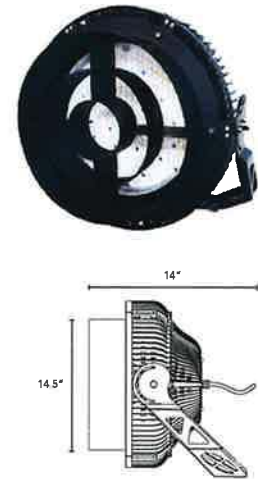
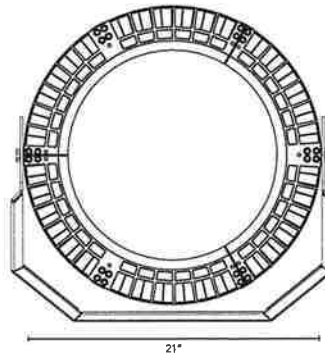
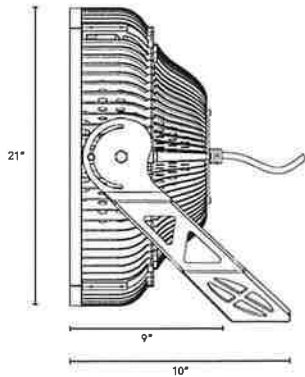
### WARRANTIES

- See Website for Details
- LED | 15-Year
- Driver | 7-Year

### PRODUCT DRAWINGS

Standard

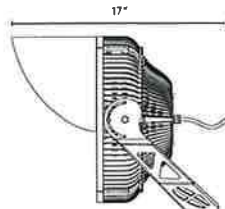
BGS: Bullseye Glare Shield



VGS: Visor Glare Shield

Remote Drivers

SF14



- Slipfitter for 2-3/8" Tennon

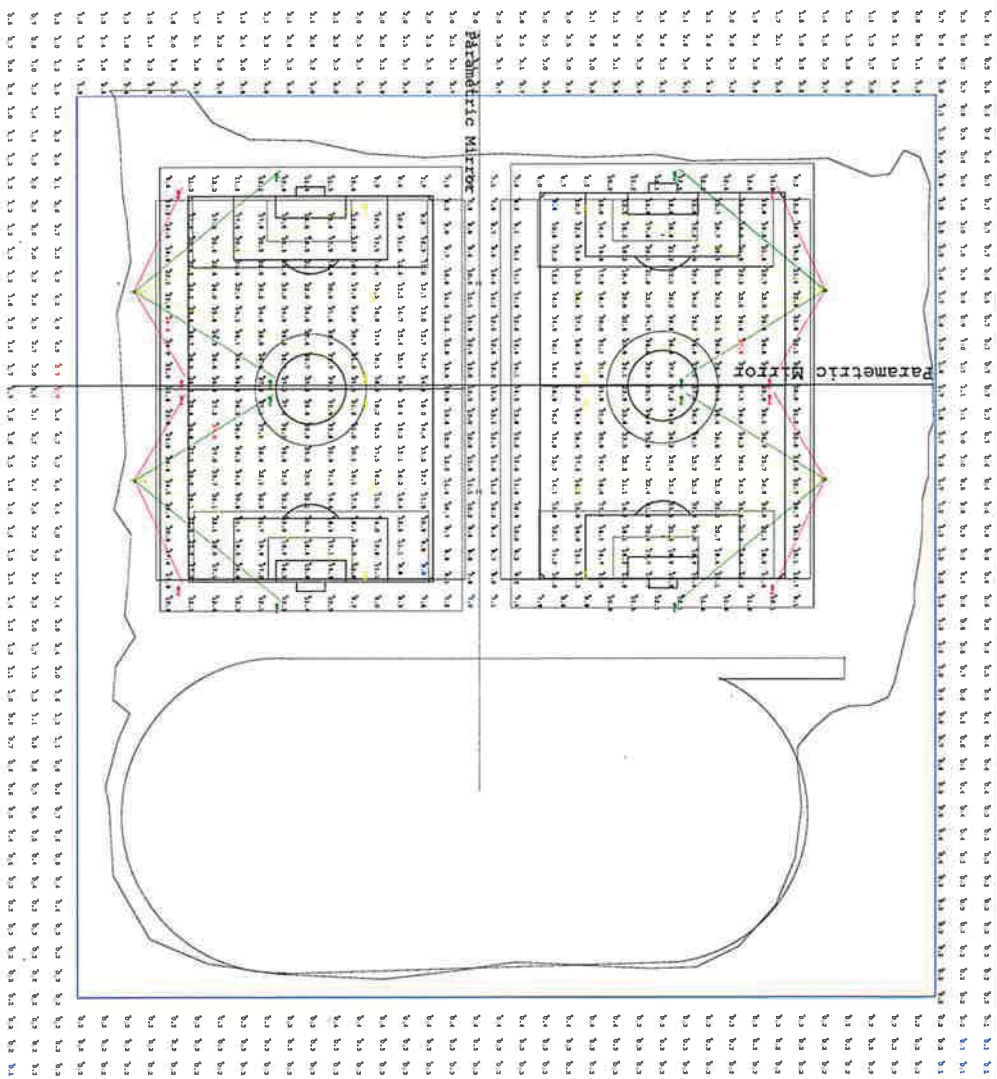
- Distance from Luminaire May Not Exceed 100'.  
 Standard Remote Driver Distance from Luminaire is 6' unless Otherwise Specified.

Due to continuous improvement and innovation, product appearance and specifications may change without notice. Actual performance may differ as a result of end-user environment and application.

TOLL-FREE: 888-410-5337 | FAX: 614-868-5344 | © 2018 SpecGradeLED

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D-0919-16//2900362002004.001  
 2221 Old Columbiana Rd.  
 Review for LED lighting  
 Continental Equity Corporation

Quad Sports Fitness  
 Soccer Practice REV F 20FC

Drawn By: Robert DeWeese, IES, LC  
 Checked By:  
 Date: 8/7/2019  
 Scale:

#	Date	Comments

2019 AUG 20 P 1:46  
**CITY OF VESTAVIA HILLS  
DESIGN REVIEW BOARD  
APPLICATION**

**I. APPLICANT INFORMATION:**

**Owner of Property (This Section Must Be Completed)**

Name: Cahaba Heights Corner CGP I, LLC and Cahaba Heights Corner CGP

Address: II, LLC

361 Summit Blvd, Suite 110, Birmingham, AL 35243

Phone #: 205-790-3424

E-Mail: will@cgpre.com

**Representing Attorney/Other Agent**

Name: N/A

Address:

Phone #: Other #:

E-Mail:

**II. DESCRIPTION OF PROPERTY:**

3961 AND  
LOCATION: 3965 Crosshaven Drive, Vestavia Hills, AL 35243

Street Address

Part of the SE 1/4 of the SE 1/4 Sec. 15, T 18 S, R 2 W  
Jefferson County, AL

Subdivision name, Lot #, Block #, etc.

**III. REASONS FOR REQUEST:**

1.  Preliminary Review
2.  Landscape Review
3.  Architectural Review
5.  Final Review of Materials
6.  Other - Explain

**IV. PROCESS:**

1.  New Building
2.  Renovation of Existing Building
3.  New Landscape Plan
4.  Renovation to Existing Landscaping Plan
7.  Other - Explain

**V. ZONING**

Vestavia Hills Zoning for the subject property is B-2

**VI. OWNER AFFIDAVIT:**

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

LR 8-6-19  
Owner Signature/Date Representing Agent (if any)/date

Given under my hand and seal  
this 6th day of August, 2019.

Maria Raven Smith  
Notary Public



My commission expires 21st  
day of October, 2019.

**Review Requirements**

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

- General: Provide fifteen copies plus one 8½" by 11" copy of all drawings or plans required below for review. Drawings must be to scale. These drawings should be turned in with the application.
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    - b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
    - c. Parking lots: Provide calculations of total square footage and square footage designated for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
    - d. Irrigation plan for all landscaped areas.
    - e. Statement of maintenance policy and provisions.

# 3965 CROSSHAVEN DRIVE

## WELLSPRINGS HOLDINGS, LLC

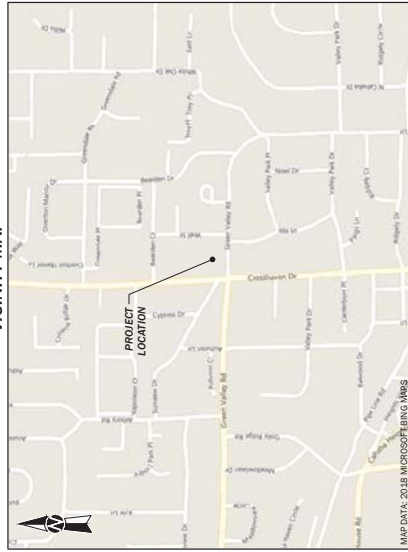
### CROSSHAVEN DRIVE | GREEN VALLEY ROAD

### BIRMINGHAM, ALABAMA

TTL PROJECT NO. 000181002561.00

**PERMIT SET - AUGUST 16, 2019**

VICINITY MAP



INDEX TO SHEETS

PROJECT NOTES AND LEGEND	C1.1
SITE SURVEY AND DEMOLITION PLAN	C1.2
PAVING, SIGNING, STRIPING PLAN	C2.1
SITE GRADING PLAN	C3.1
SANITARY SEWER PLAN	C4.1
WATER DISTRIBUTION PLAN	C5.1
EROSION CONTROL PLAN	C6.1
STANDARD DETAILS	C7.1 - C7.6



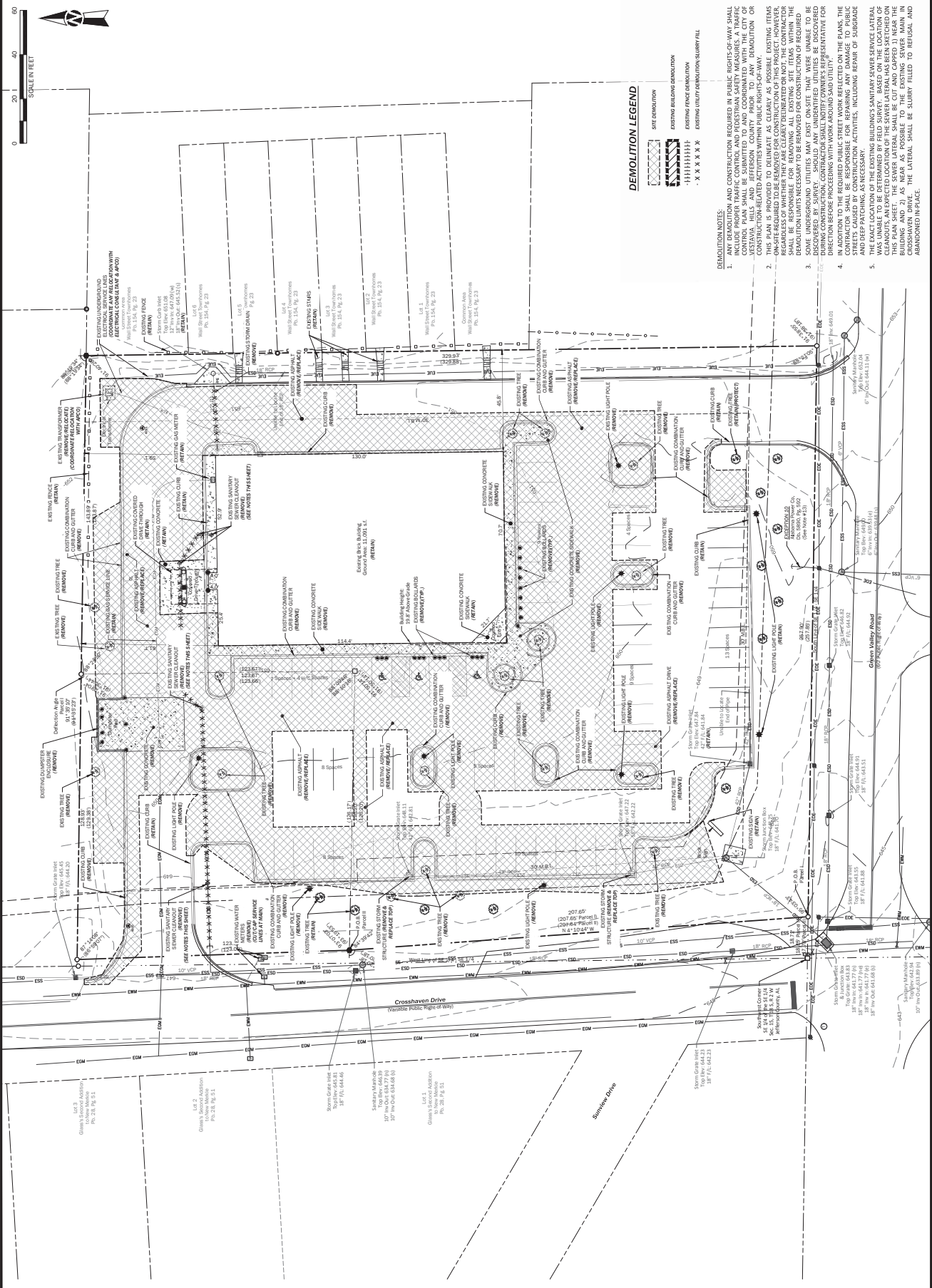
2890 Rice Mine Road NE | Tuscaloosa, AL 35406  
205.561.3778 | www.ttlusa.com

3965 CROSSHAVEN DRIVE  
WELLSPRINGS HOLDINGS, LLC  
BIRMINGHAM, ALABAMA

PRELIMINARY  
(NOT FOR CONSTRUCTION  
OR PERMITTING PURPOSES)

APPROVED BY:  
TTL, INC.  
ALABAMA REG. NO. 30070  
JOHN ANDREW MCCARTNEY, P. E.

SET NO. \_\_\_\_\_



**DEMOLITION NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONSTRUCTION REQUIRED IN PUBLIC RIGHTS-OF-WAY SHALL INCLUDE PROPER TRAFFIC CONTROL AND PEDESTRIAN SAFETY MEASURES. A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO AND COORDINATED WITH THE CITY OF BIRMINGHAM. ALL CONSTRUCTION ACTIVITIES WITHIN PUBLIC RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH THE CITY OF BIRMINGHAM'S CONSTRUCTION-RELATED ACTIVITIES WITHIN PUBLIC RIGHTS-OF-WAY.
2. THE PLAN IS PROVIDED TO DELINEATE AS CLEARLY AS POSSIBLE EXISTING ITEMS TO BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCOVERING ANY UNDETERMINED UTILITIES OR OBSTRUCTIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER REPRESENTATIVE FOR THE CITY OF BIRMINGHAM IMMEDIATELY UPON DISCOVERY OF ANY UNDETERMINED UTILITIES OR OBSTRUCTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EXISTING SITE ITEMS WITHIN THE DEMOLITION LIMITS NECESSARY TO RECONSTRUCT CONSTRUCTION OF REQUIRED TO BE DISCOVERED BY SURVEY. SHOULD ANY UNDETERMINED UTILITIES BE DISCOVERED DURING CONSTRUCTION, CONTRACTOR SHALL NOTIFY THE ENGINEER REPRESENTATIVE FOR THE CITY OF BIRMINGHAM IMMEDIATELY UPON DISCOVERY OF ANY UNDETERMINED UTILITIES OR OBSTRUCTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY AND DEEP PATCHING AS NECESSARY. ACTIVITIES, INCLUDING REPAIR OF SUBGRADE AND DEEP PATCHING AS NECESSARY.
3. THE EXACT LOCATION OF THE EXISTING BUILDING'S SANITARY SEWER SERVICE LATERAL AND DEEP PATCHING AS NECESSARY. THE EXACT LOCATION OF THE EXISTING BUILDING'S SANITARY SEWER SERVICE LATERAL AND DEEP PATCHING AS NECESSARY. THE EXACT LOCATION OF THE EXISTING BUILDING'S SANITARY SEWER SERVICE LATERAL AND DEEP PATCHING AS NECESSARY. THE EXACT LOCATION OF THE EXISTING BUILDING'S SANITARY SEWER SERVICE LATERAL AND DEEP PATCHING AS NECESSARY.
4. IN ADDITION TO THE REQUIRED PUBLIC STREET WORK REFLECTED ON THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY AND DEEP PATCHING AS NECESSARY. ACTIVITIES, INCLUDING REPAIR OF SUBGRADE AND DEEP PATCHING AS NECESSARY.
5. THE EXACT LOCATION OF THE EXISTING BUILDING'S SANITARY SEWER SERVICE LATERAL AND DEEP PATCHING AS NECESSARY. THE EXACT LOCATION OF THE EXISTING BUILDING'S SANITARY SEWER SERVICE LATERAL AND DEEP PATCHING AS NECESSARY. THE EXACT LOCATION OF THE EXISTING BUILDING'S SANITARY SEWER SERVICE LATERAL AND DEEP PATCHING AS NECESSARY.

Lot 3  
Glen Valley Road NE  
Tuscaloosa, AL 35406  
Ph: 205.561.3778

Lot 4  
Glen Valley Road NE  
Tuscaloosa, AL 35406  
Ph: 205.561.3778

Lot 5  
Glen Valley Road NE  
Tuscaloosa, AL 35406  
Ph: 205.561.3778

Lot 6  
Glen Valley Road NE  
Tuscaloosa, AL 35406  
Ph: 205.561.3778

Lot 7  
Glen Valley Road NE  
Tuscaloosa, AL 35406  
Ph: 205.561.3778

Lot 8  
Glen Valley Road NE  
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Ph: 205.561.3778

Lot 9  
Glen Valley Road NE  
Tuscaloosa, AL 35406  
Ph: 205.561.3778

Lot 10  
Glen Valley Road NE  
Tuscaloosa, AL 35406  
Ph: 205.561.3778



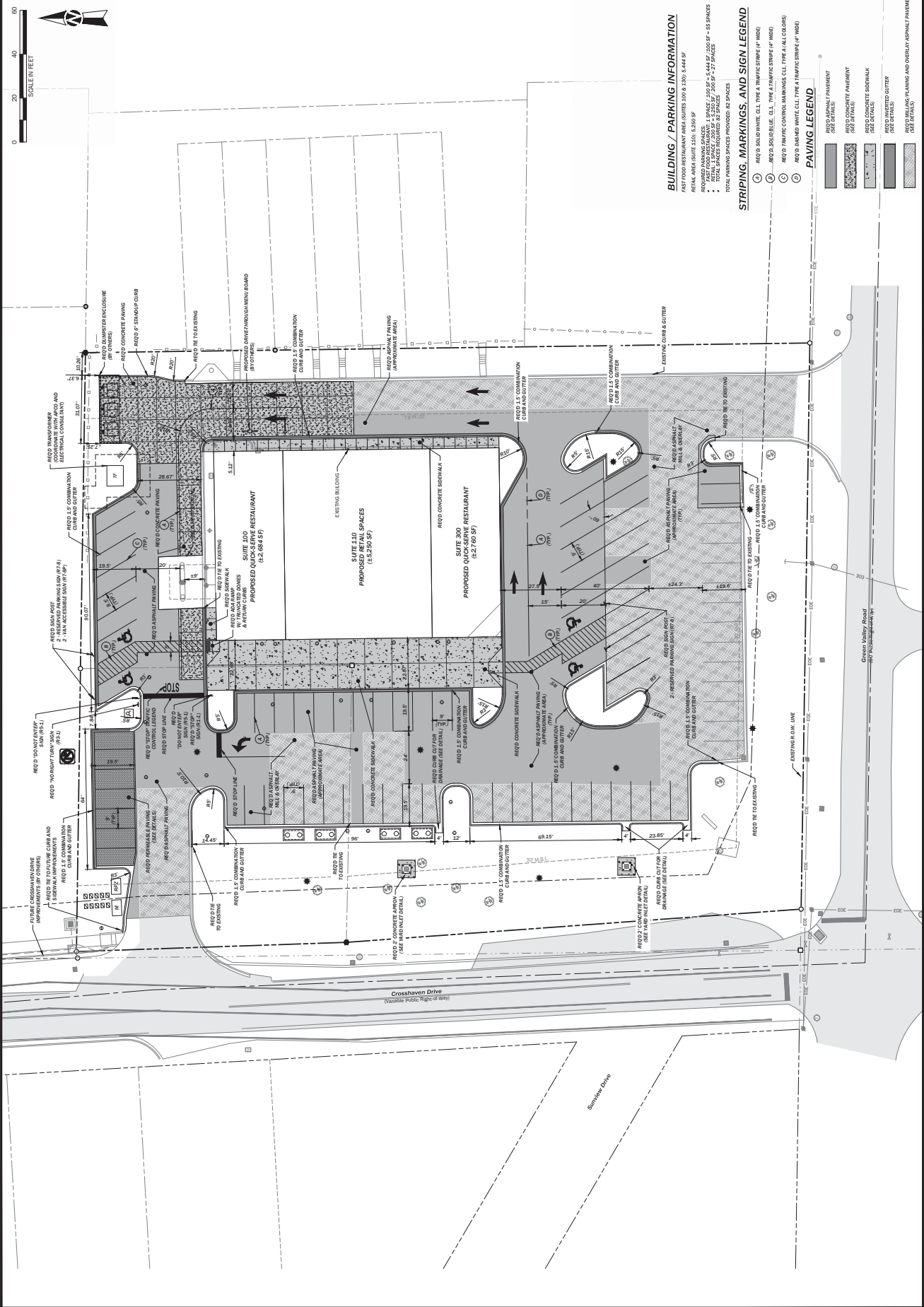
2890 Rice Mine Road NE | Tucker, GA 30084  
205.561.3778 | www.ttlusa.com

WELLSPRING HOLDINGS, LLC  
3965 CROSSHAVEN DRIVE  
BIRMINGHAM, ALABAMA

PRELIMINARY  
NOT FOR CONSTRUCTION  
NO WARRANTIES  
OR REPRESENTATIONS

Sheet Title	PAVING, STRIPING, AND STRIPING PLAN
Scale	AS SHOWN
Drawn By	J.A.M.
Checked By	J.A.M.
Date	
Revision Description	
Proj. No.	000181002561.00
File Name	182561_Sheet_C2_Paving.dwg

SHEET NO. **C-2-1**



Crosshaven Drive  
(Variable Public Right-of-Way)

Green Valley Road  
(100' Right-of-Way)

Shirley Drive



2890 Rice Mine Road NE | Tuscaloosa, AL 35406  
205.561.378 | www.ttlusa.com

WELLSPRING HOLDINGS, LLC  
3965 CROSSHAVEN DRIVE  
BIRMINGHAM, ALABAMA

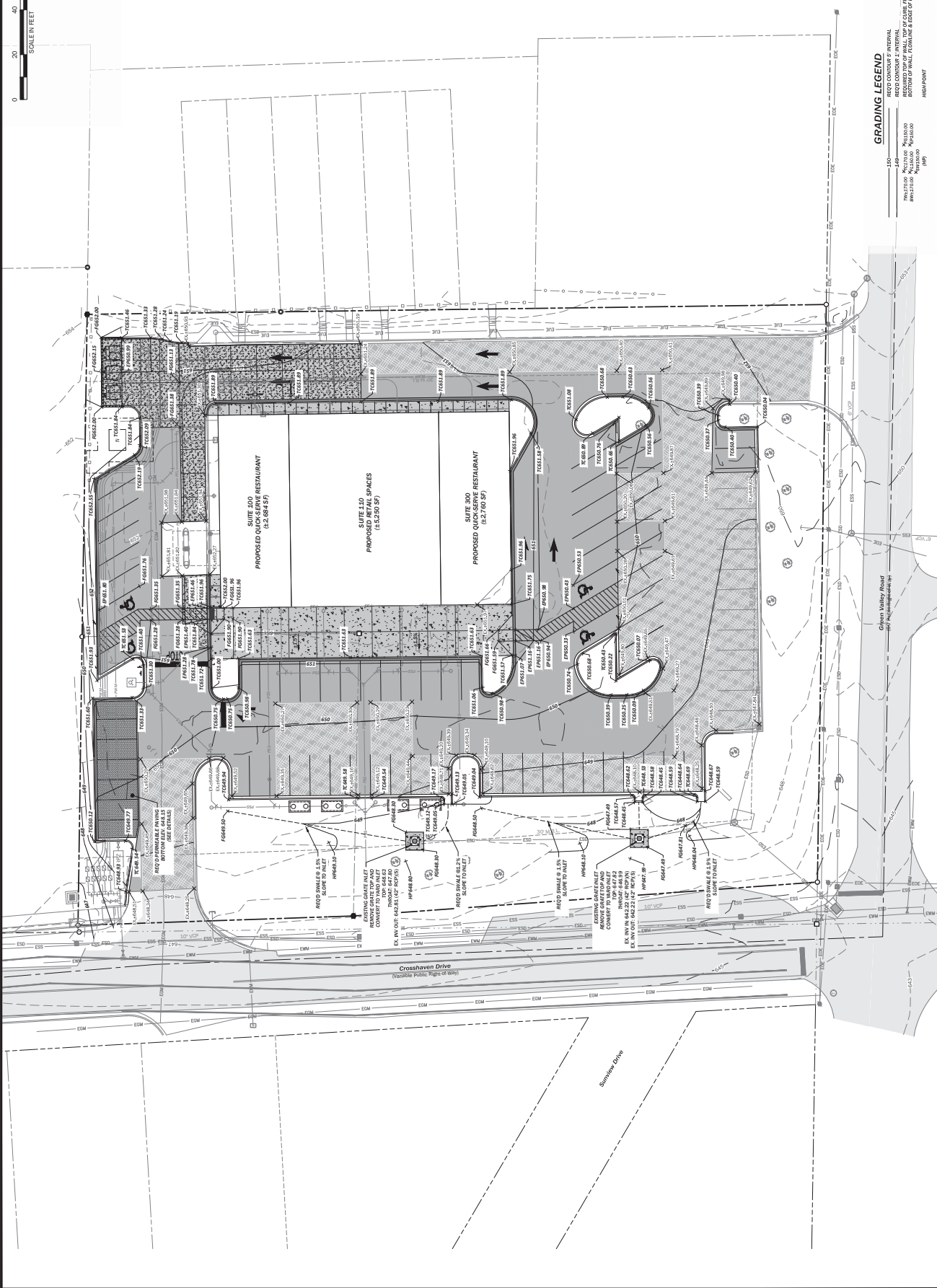
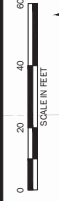
PROJ. NAME: 3965 CROSSHAVEN DRIVE  
3965 CROSSHAVEN DRIVE  
3965 CROSSHAVEN DRIVE

No.	Date	Revision Description
1		Checked By: J.A.M.
2		Proj. No.: 000181002561.00
3		Proj. Name: 182561 Sheet C3 Grading.dwg

Sheet No. **C3-1**

**SITE GRADING PLAN**

SHEET TITLE



**GRADING LEGEND**

Symbol	Description
(Symbol)	EXISTING GRADE
(Symbol)	PROPOSED GRADE
(Symbol)	PROPOSED CONTOUR INTERVAL
(Symbol)	REQUIRED TYPE OF WALL, TYPE OF CURB, FINISH GRADE
(Symbol)	SECTION OF WALL, FORMATE & DATE OF PRESENT, DATE
(Symbol)	HIGHPOINT



2890 Rice Mine Road NE | Tuscaloosa, AL 35406  
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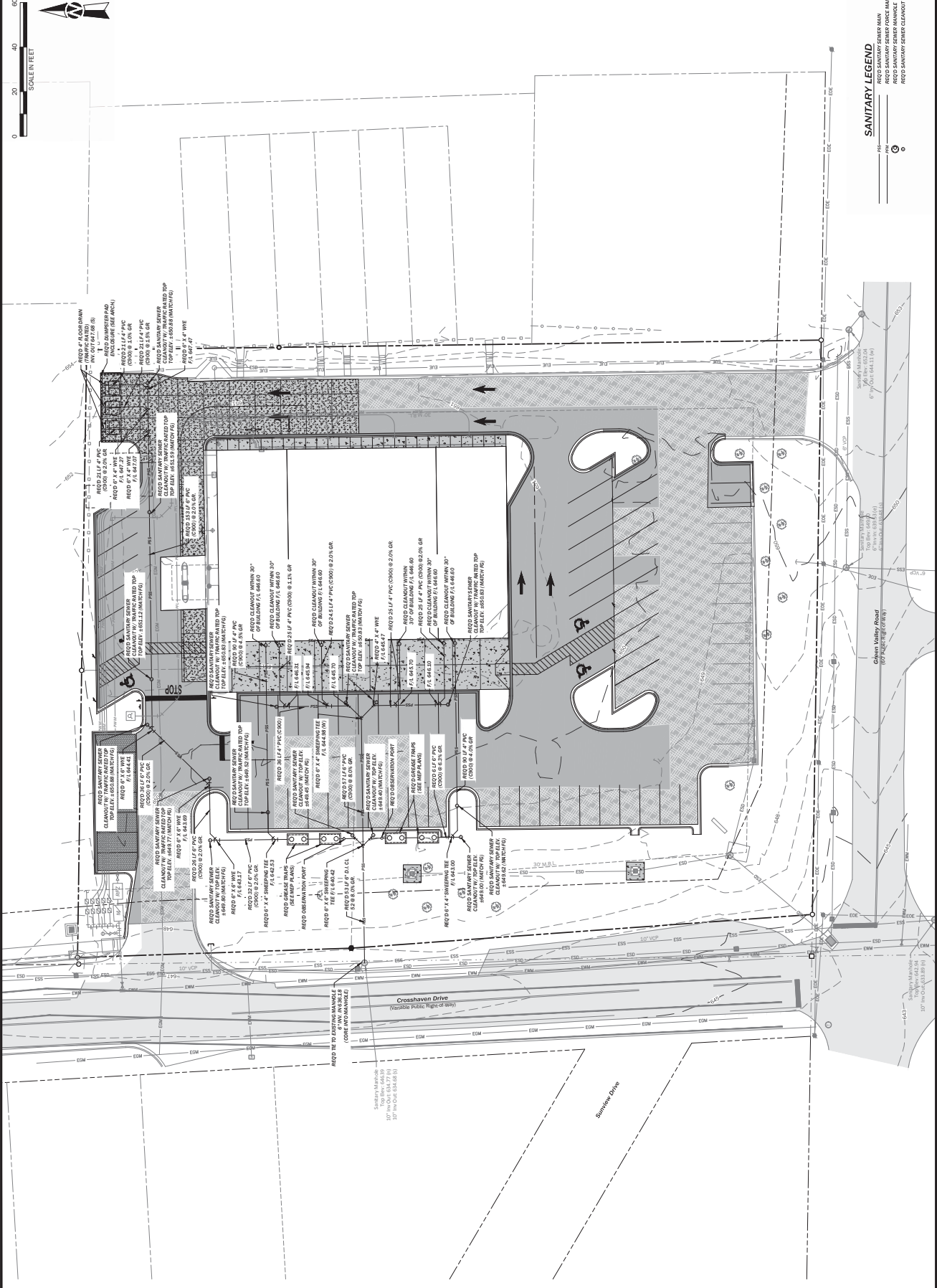
WELLSPRING HOLDINGS, LLC  
3965 CROSSHAVEN DRIVE  
BIRMINGHAM, ALABAMA

PRELIMINARY  
DESIGN  
FOR CONSTRUCTION  
NO WARRANTIES

NO.	DATE	REVISION DESCRIPTION

Checked By: J.A.M.  
Proj. No.: 000181002561.00  
Title Name: 182561\_Sewer\_CS\_Sanitary

Sheet Title  
SANITARY SEWER PLAN  
C-4.1  
Sheet No.



**SANITARY LEGEND**

- REQD SANITARY SEWER MAIN
- REQD SANITARY SEWER FORCE MAIN
- REQD SANITARY SEWER CLEANOUT





2890 Rice Mine Road NE | Tusculoosa, AL 35406  
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WELLSPRING HOLDINGS, LLC  
3965 CROSSHAVEN DRIVE  
BIRMINGHAM, ALABAMA

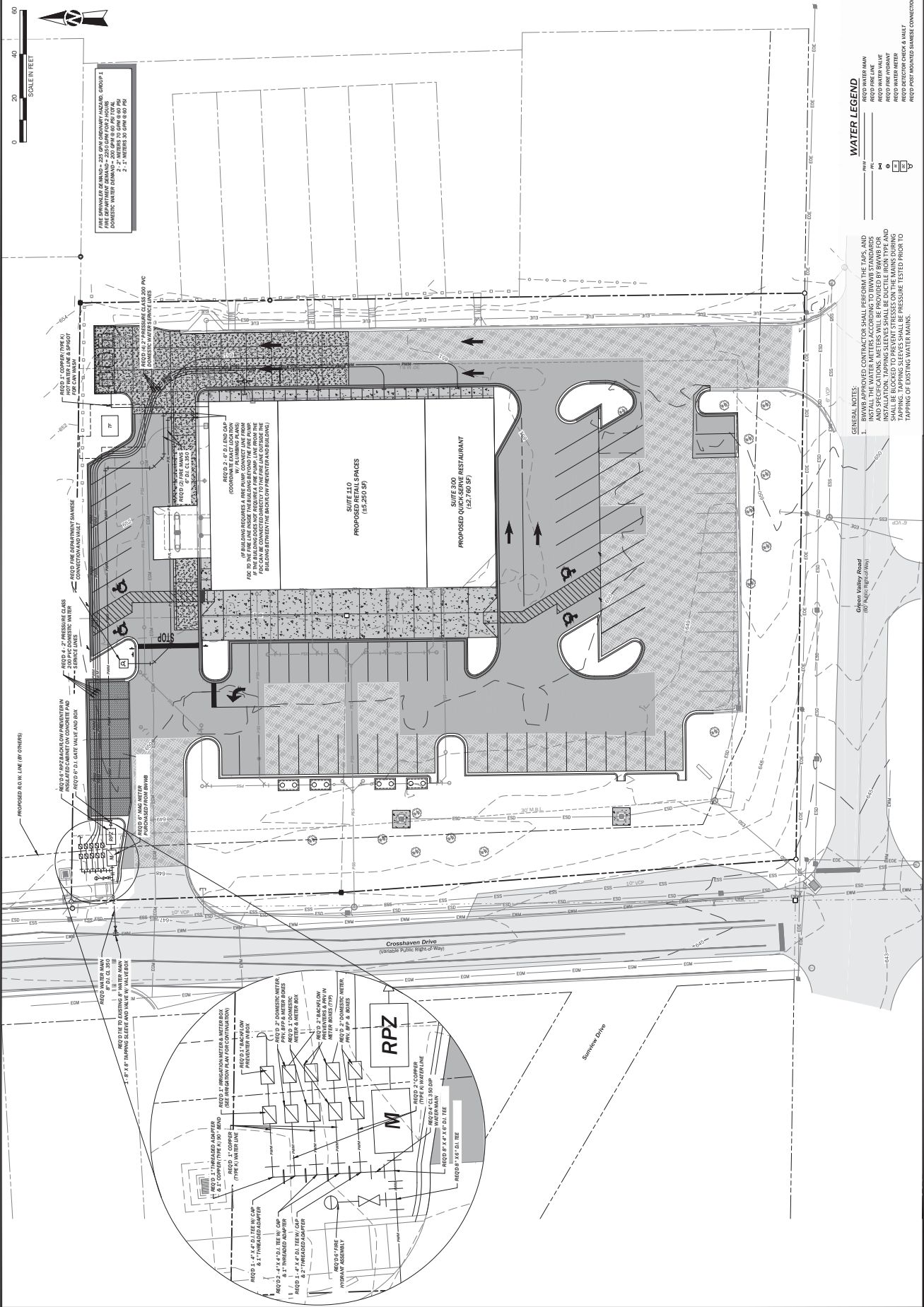
FOR APPROVAL  
BY THE CITY ENGINEER  
FOR CONSTRUCTION

NO.	DATE	REVISION DESCRIPTION

Checked By: J.A.M.  
Proj. No.: 000181002561.00  
Title Name: 182561 SHEET C5 WATERLINE

### WATER DISTRIBUTION PLAN

Sheet No. **C5-1**





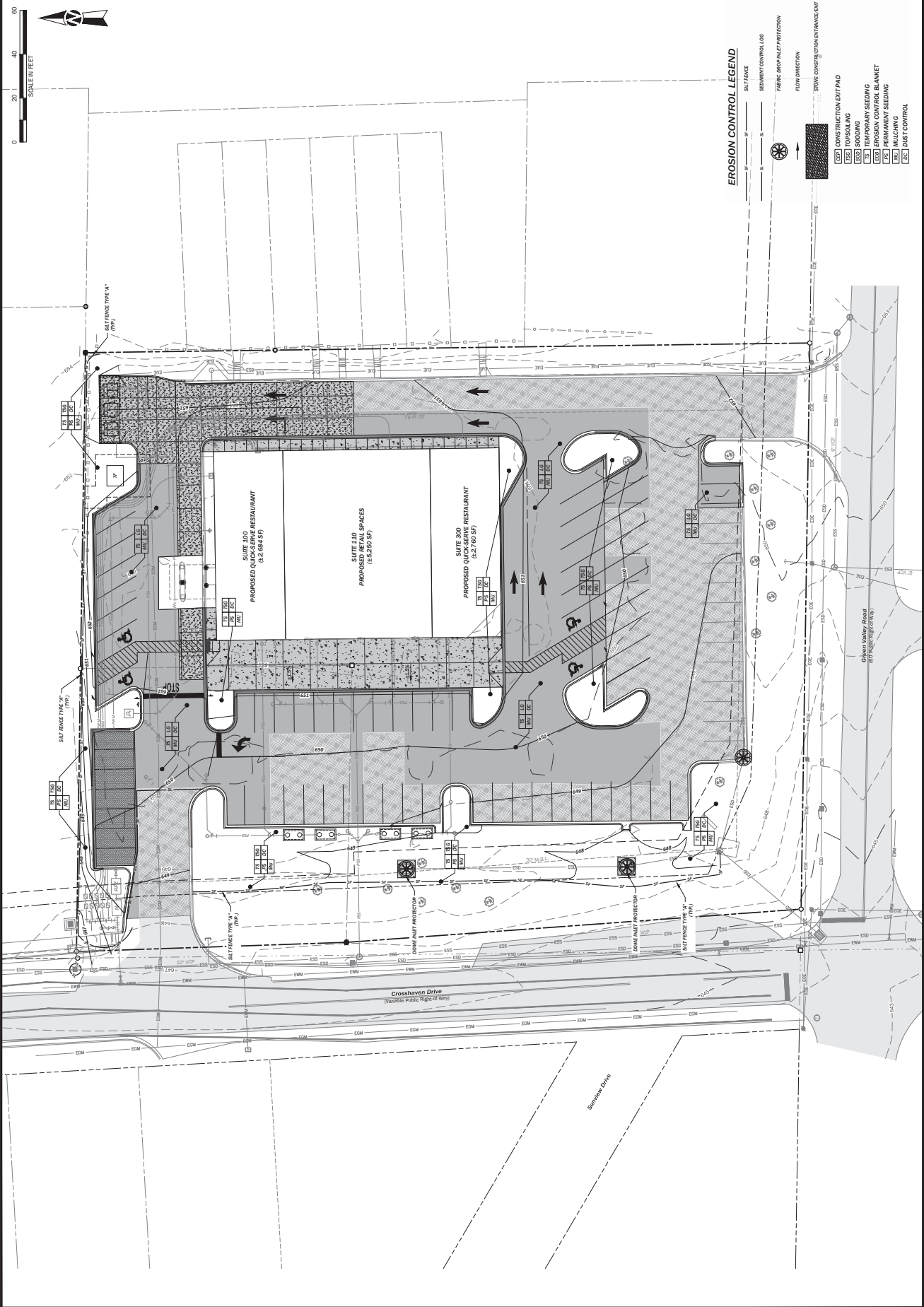
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3965 CROSSHAVEN DRIVE  
WELLSPRING HOLDINGS, LLC  
BIRMINGHAM, ALABAMA

PREPARED BY:  
TTL ENGINEERING  
3965 CROSSHAVEN DRIVE  
BIRMINGHAM, ALABAMA

Sheet Title	EROSION CONTROL PLAN
Proj. No.	000181002561.00
Checked By	J. A. M.
Date	07/25/19
Revision Description	
No.	
Date	

Sheet No.  
**C6-1**



**EROSION CONTROL LEGEND**

- [Symbol] SILT FENCE
- [Symbol] SEDIMENT CONTROL LOG
- [Symbol] FABRIC DROP INLET PROTECTION
- [Symbol] FLOW DIRECTION
- [Symbol] STONE CONSTRUCTION ENTRANCE EXIT
- [Symbol] CONSTRUCTION EXIT PAD
- [Symbol] CONSTRUCTION LOG
- [Symbol] SOILINGS
- [Symbol] TEMPORARY SEEDING
- [Symbol] EROSION CONTROL BLANKET
- [Symbol] PERMANENT SEEDING
- [Symbol] MULCHING
- [Symbol] DUST CONTROL

## BUILDING CODE REVIEW

- I. Applicable Codes:**
- International Building Code (IBC) 2015
  - International Fire Code (IFC) 2015
  - International Gas Code (IGC) 2015
  - International Mechanical Code (IMC) 2015
  - International Fire Code (IFC) 2015
  - National Electrical Code (NEC) 2014
  - International Building Code (IBC) 2015
  - ASPE 2015
  - CAECHANSAI 17.1 2009

**II. EXISTING BUILDING:**  
Existing Floor Area, Gross: 11,055+/- SF, 1 Story, Existing Building.

**III. OCCUPANCY CLASSIFICATION:**  
Mercantile, Group M (IBC, Section 309)  
Note: The existing building will be equipped with a new fire suppression system to allow for Assembly Group A Occupancy Classifications.

**IV. MEANS OF EGRESS:**  
occupant load per occupancy classification - (table 1004.1.1)

**V. WORK LIMITS AREA:**  
A. MERCANTILE - (50 G.S.F. / OCCUPANT) 8,086 G.S.F. x 100 270

TOTAL AREA: 8,189 S.F. = 271 TOTAL OCCUPANTS  
Note: Suite 100 - Quick Serve Restaurant - Designed and permitted under separate cover.

**VI. MEANS OF EGRESS:**  
A. Number of required exits:  
Number of occupants per floor > 49, therefore, 2 exits (minimum) per floor (IBC, Table 1006.3.2.2)

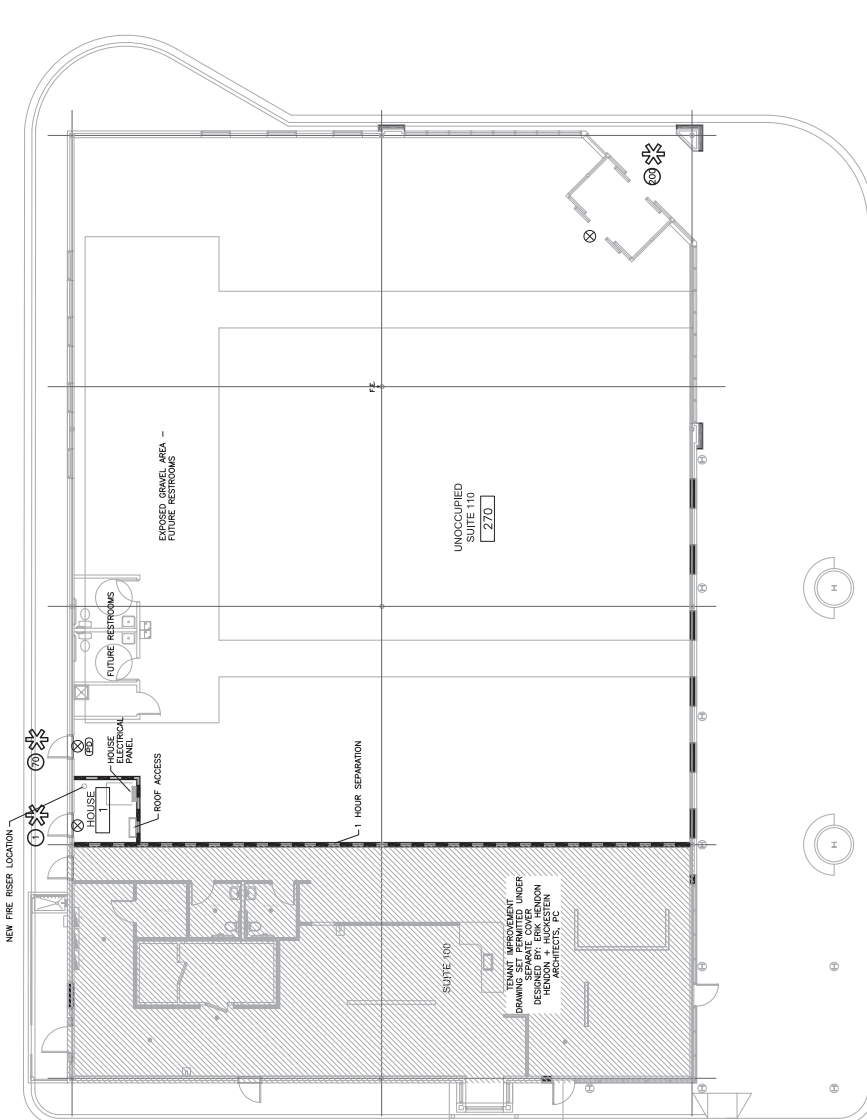
**VII. Maximum Travel Distance to Exit:**  
A. 250 feet (IBC, Table 1017.2)

**VIII. Separation of Exits:**  
A. Not less than 1/3 the maximum overall diagonal dimension (D) of the building with an automatic sprinkler system (IBC, 1007.1.1).  
B. Corridor Separation:  
1-hour fire resistance rating not required building has a sprinkler system (IBC, Table 1020.1)

**IX. TENANT SEPARATIONS:**  
A. Not less than 1/3 the maximum overall diagonal dimension (D) of the building with an automatic sprinkler system (IBC, 1007.1.1).  
B. Corridor Separation:  
1-hour fire resistance rating not required building has a sprinkler system (IBC, Table 1020.1)

**X. Fire Protection:**  
A. Fire Protection:  
75 feet maximum travel distance to extinguisher - Type 2-A, Extinguisher: 11,250 s.f., maximum floor area per extinguisher, 75 feet maximum travel distance to extinguisher (IBC, Table 906.3 (1)). Install Type 2-A,B,C.  
B. Mercantile display sales area > 5,000 s.f. - Sprinklers required.  
C. Fire Alarm and Detection Systems - Group M with occupant load of 500 or more or more than 100 persons above or below lowest level of discharge. 271 occupants < 500; Fire Alarm NOT required (IFC, 907.2.2).  
IX. Plumbing Fixture Requirements:

NOTE: SUITE 110 IS CURRENTLY UNOCCUPIED AND IS NOT LEASED.  
THE EXISTING BUILDING WILL BE EQUIPPED WITH A NEW FIRE SUPPRESSION SYSTEM PERMITTED UNDER SEPARATE COVER.  
DESIGNED AND PERMITTED UNDER SEPARATE COVER.



## LIFE SAFETY FLOOR PLAN

SCALE: 1/8" = 1'-0"

- LEGEND**
- ⊗ = EXIT
  - ⊗ = NUMBER OF OCCUPANTS AT EXIT
  - ⊗ = EXIT SIGN IN A SPACE
  - ⊗ = NUMBER OF OCCUPANTS IN A SPACE
  - ⊗ = EXIT SIGN (WITH DIRECTIONAL)
  - = ONE HR. FIRE RATED WALL
  - ⊗ = FIRE EXTINGUISHER

SEAL

3965 Crosshaven Drive  
Birmingham, AL 35243

REVISIONS

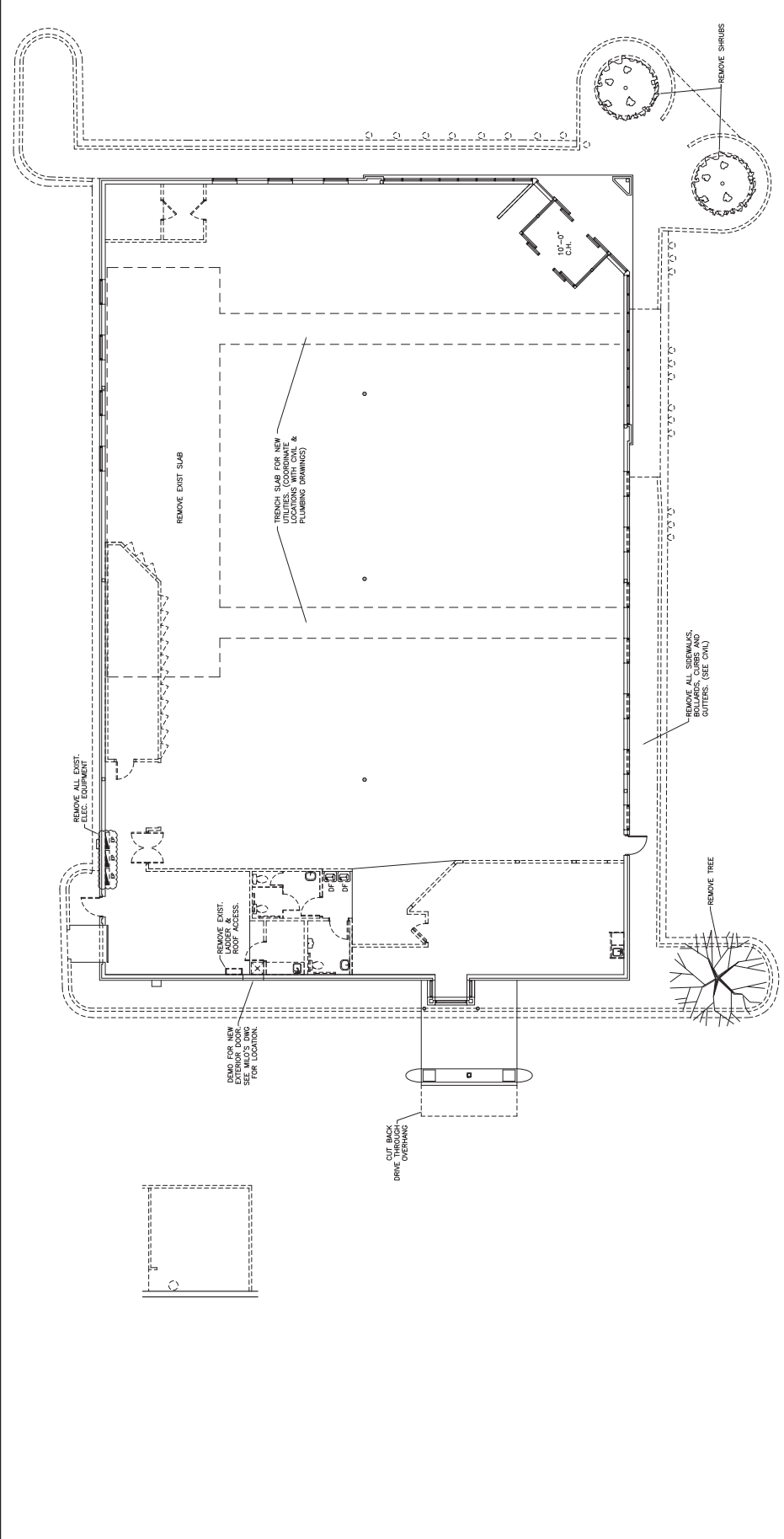
SHEET TITLE  
**EXISTING &  
DEMOLITION  
FLOOR PLAN  
& NOTES**

ISSUED  
PPS  
PROJECT NUMBER  
1586

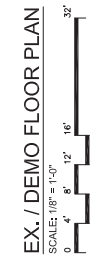
ISSUE DATE  
07-29-2019

SHEET NUMBER

**A2.1**



**EX. / DEMO FLOOR PLAN**



**WALL TYPES LEGEND**

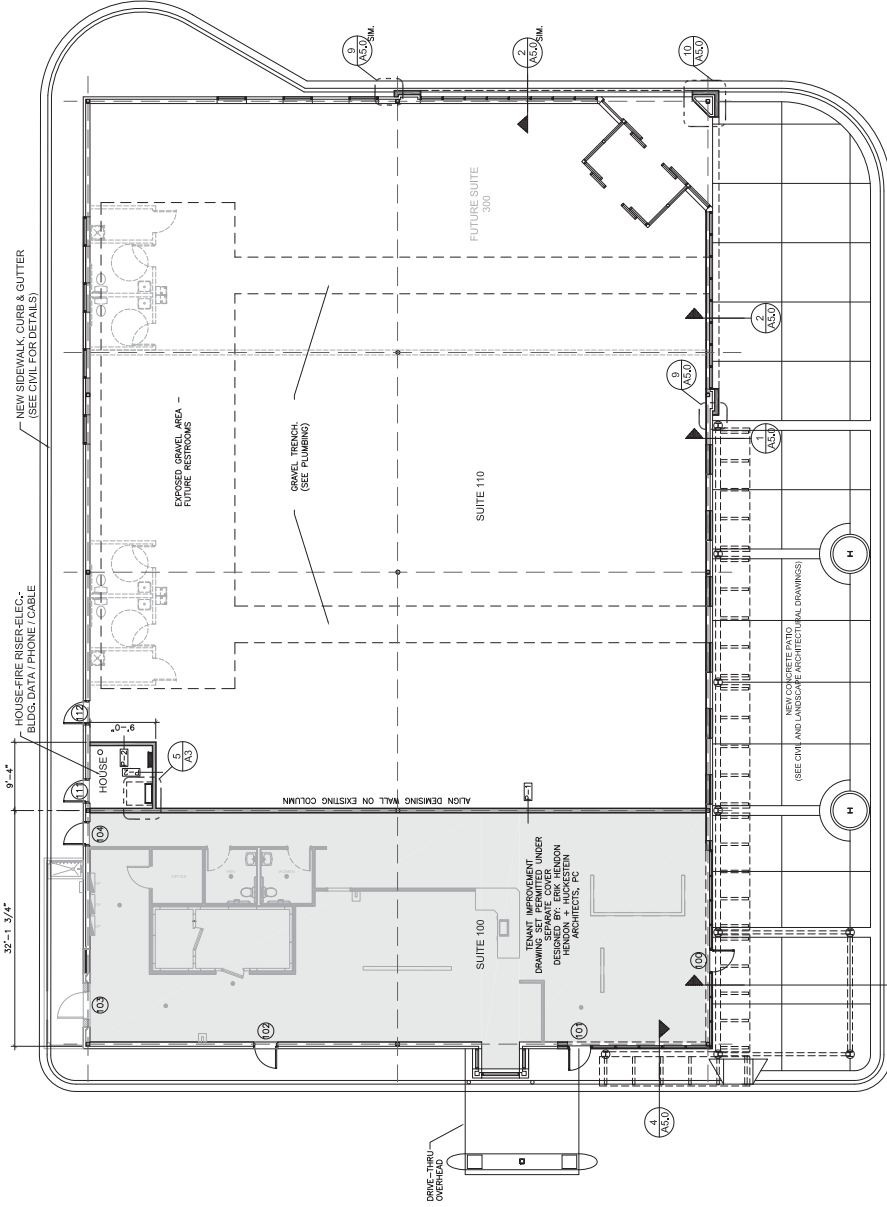
(Symbol: Dashed line)	EXISTING BUILDING ELEMENT TO REMAIN
(Symbol: Solid line)	REMOVE EXISTING BUILDING ELEMENTS

**DEMOLITION PLAN NOTES**

- REMOVE EXISTING WALL(S) COMPLETE, INCLUDING ALL CONDUIT AND PIPING CONTAINED WITHIN. CAP ALL OPENINGS WITH APPROVED MATERIAL TO PREVENT WALL SURFACE AS REQUIRED.
  - REMOVE EXISTING WALL(S) AS REQUIRED FOR NEW OPENING(S).
  - REMOVE EXISTING WALL CONSTRUCTION.
  - REMOVE EXISTING DOORS AND FRAMES.
  - REMOVE EXISTING SITE COMPONENT, SIDEWALK, STEPS, ETC.
  - SAW CUT EXISTING CONCRETE AND REMOVE AS REQUIRED. SEE STRUCTURE AND PLUMBING DRAWINGS.
  - REMOVE EXISTING ELECTRICAL PANELS AS REQUIRED - SEE ELECTRICAL DRAWINGS. REMOVE THE EXISTING ELECTRICAL PANELS, TRANSFORMERS, WIRING & DEVICES ASSOCIATED WITH THIS AREA TO BE DEMOLISHED.
- DEMOLITION NOTES:**
- TRASH REMOVAL: REMOVE ALL TRASH, MERCHANDISE, SURPLUS FIXTURES AND EQUIPMENT (EXCEPT ANY SUCH FIXTURES AND EQUIPMENT WHICH TENANT HAS AGREED TO KEEP, E.G., CHROME 4-LEVEL PRESS AND CROCKPOTS), AND OTHER DEBRIS FROM THE BUILDING. REMOVE ALL EXISTING SIGNS LOCATED ON THE STOREFRONT OR FASCIA OF THE PREMISES.
  - REMOVE ALL INTERIOR FIXTURES, COOLERS, AND MILLWORK.
  - DEMO EXISTING RESTROOMS.

**DEMOLITION GENERAL NOTES**

- CONTRACTOR IS RESPONSIBLE FOR PROTECTING AND MAINTAINING THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING.
- CONTRACTOR TO NOTE THAT EXISTING CONDITIONS, DIMENSIONS, PIPING, LIGHTING AND STRUCTURE REPRESENTED IN THE DRAWINGS ARE TAKEN FROM FIELD OBSERVATIONS AND ARE SUBJECT TO FIELD VERIFICATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FULLY ACQUAINT HIMSELF WITH THE JOB PRIOR TO CONSTRUCTION OR NEW CONSTRUCTION. CONTRACTORS TO NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON DOCUMENTS.
- ALL DEMOLITION ALTERATIONS AND REMOVAL IS TO BE PROVIDED AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS OR AS REQUIRED TO ACCOMPLISH THE WORK.
- CONTRACTOR TO CORRECT ANY DAMAGE TO THE FACILITY RESULTING FROM DEMOLITION OPERATIONS.
- CONTRACTOR TO COORDINATE CONSTRUCTION STAGING AREA WITH THE OWNER.
- CONTRACTOR TO MEET ALL LOCAL, STATE AND FEDERAL REGULATIONS, LAWS AND ORDINANCES APPLICABLE TO THE PROJECT AND DISPOSE OF ALL WASTE AND MATERIALS IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS DURING THE COURSE OF DEMOLITION AND CONSTRUCTION.

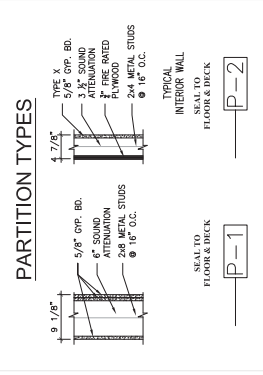


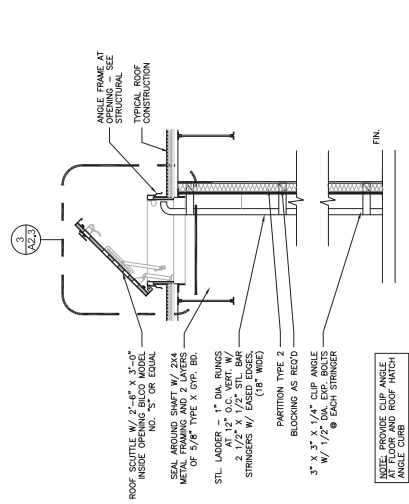
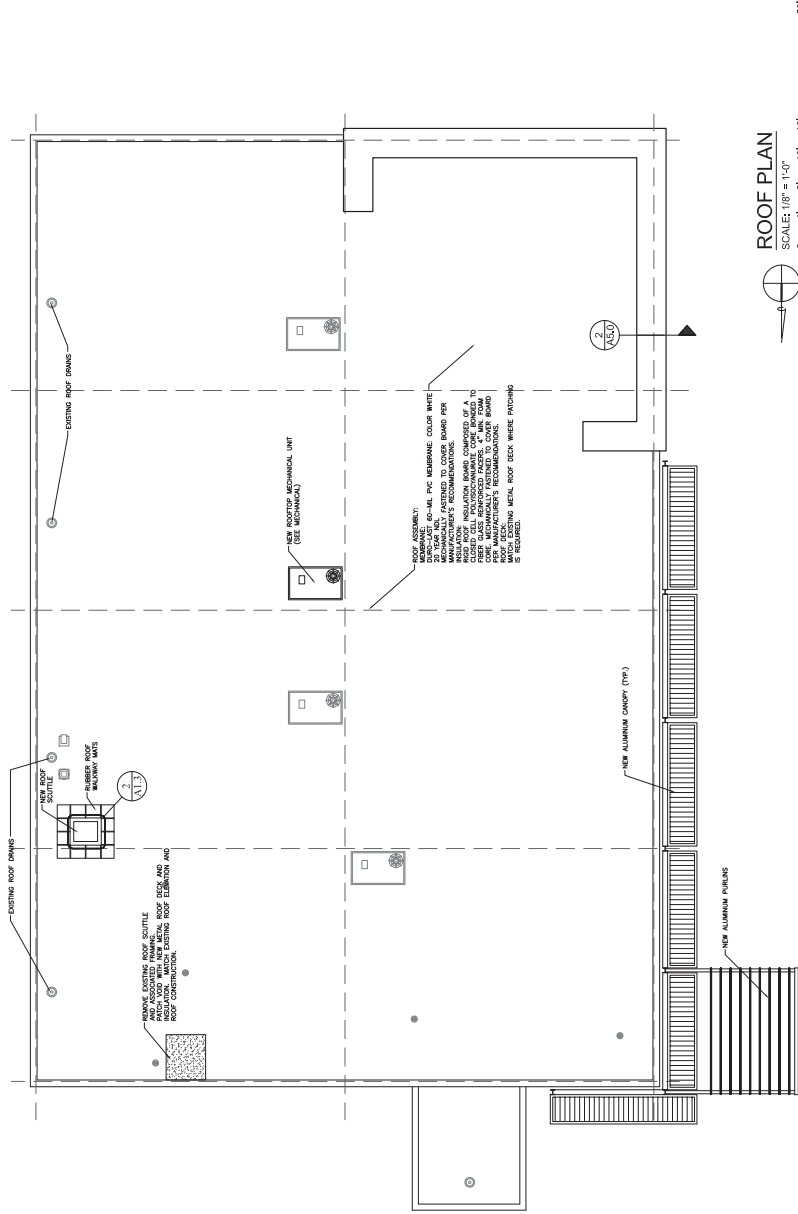
**NEW WORK FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
0 4' 8' 12' 16' 32'

NOTE:  
SUITE 100 INTERIOR FITOUT WILL BE PERMITTED UNDER SEPARATE COVER. GRADING AND CONCRETE WORK PERMITTED UNDER SEPARATE COVER. HENDON + HUCKSTEIN ARCHITECTS.

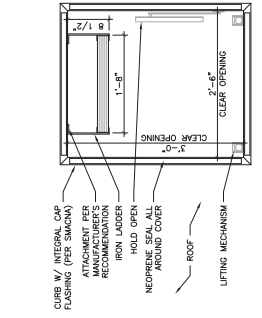
**WALL TYPES LEGEND**

	EXISTING BUILDING ELEMENT TO REMAIN
	NEW WALL

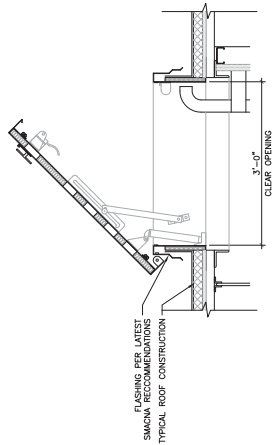




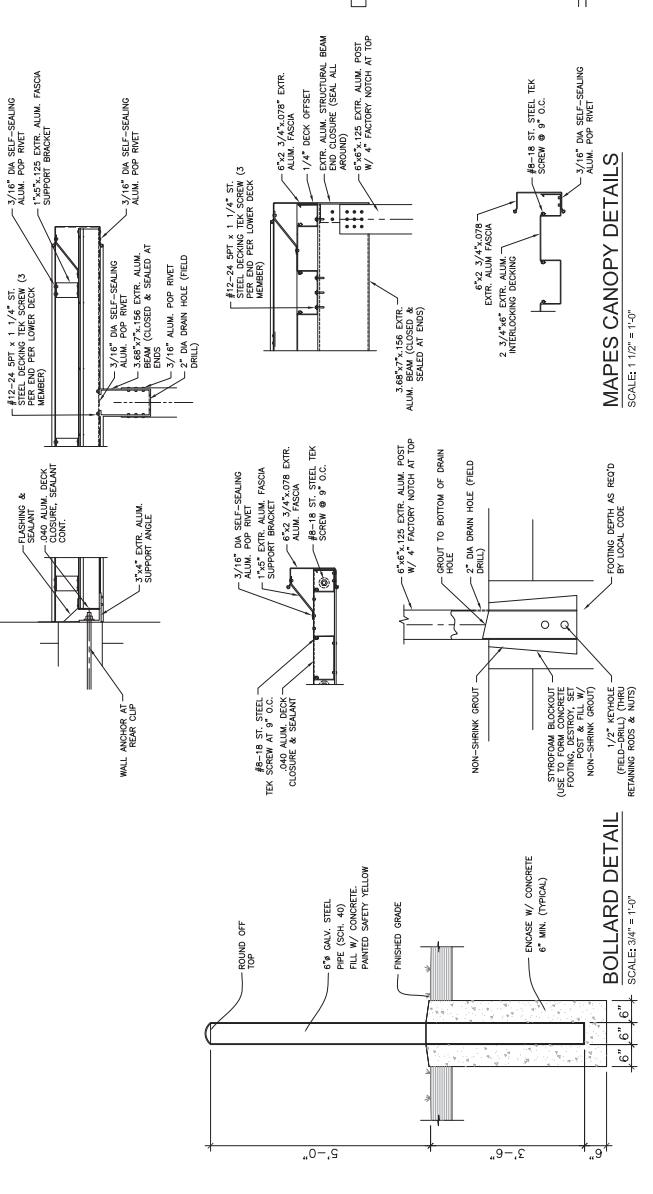
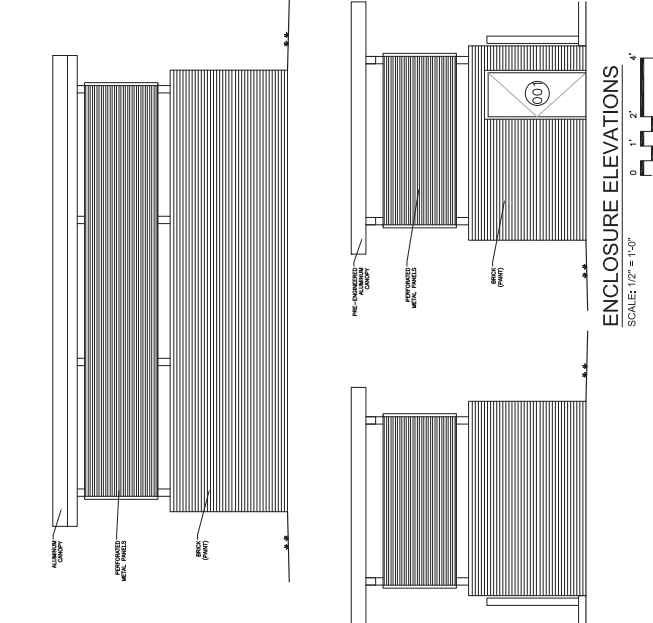
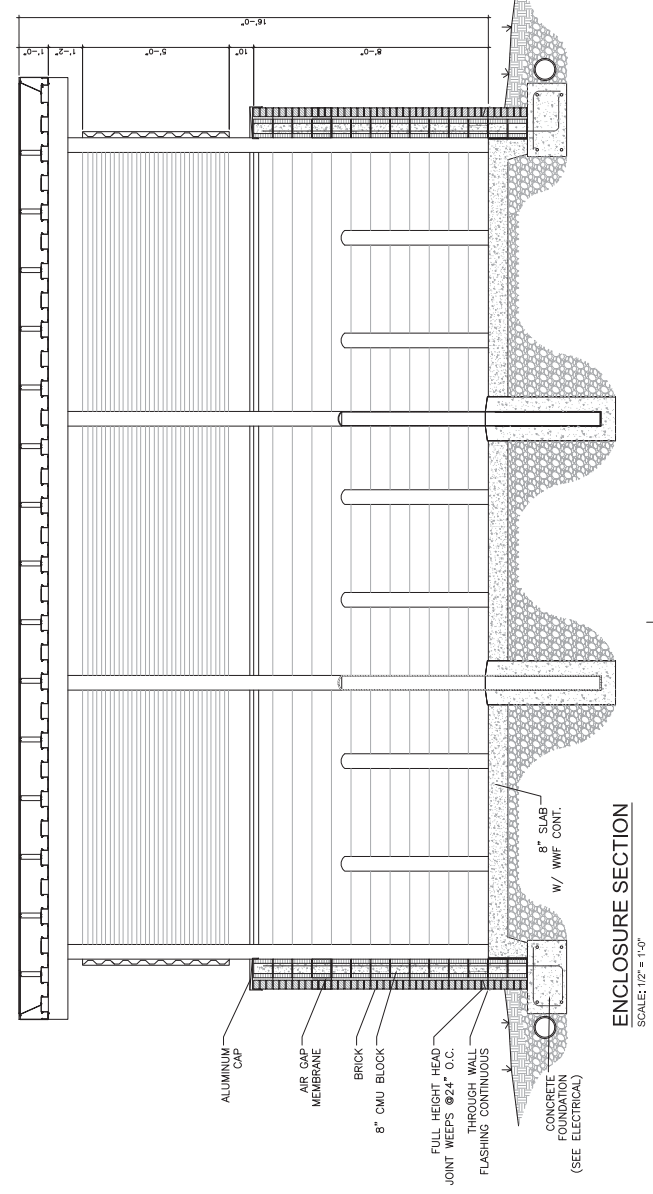
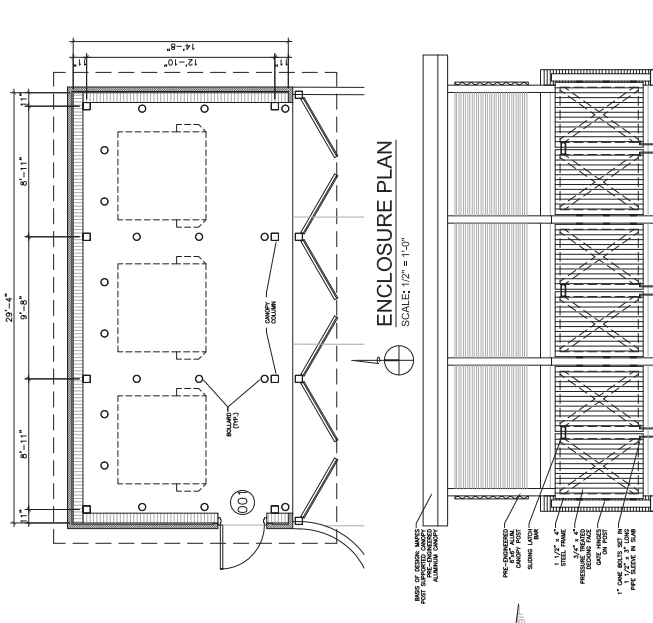
**1 ACCESS LADDER SECTION**  
SCALE: 1/2" = 1'-0"



**2 ROOF SCUTTLE PLAN**  
SCALE: 1" = 1'-0"



**3 ROOF SCUTTLE SECTION**  
SCALE: 1" = 1'-0"



# DOOR SCHEDULE

DOOR NO.	TYPE	MATERIAL	SIZE (WxH)	DOOR				REMARKS	
				THICK.	LABEL	HDW.	TYPE MAT.		THICK.
001	A	MTL	3'-0"x7'-0"	1 3/4"	-	2	1	HM	
100	B	ALUM	3'-0"x7'-0"	1 3/4"	-	1	2	ALUM	CLEAR ANODIZED ALUMINUM
101	B	ALUM	3'-0"x7'-0"	1 3/4"	-	1	2	ALUM	CLEAR ANODIZED ALUMINUM
102	A	MTL	3'-0"x7'-0"	1 3/4"	-	2	1	HM	
103	A	MTL	3'-0"x7'-0"	1 3/4"	-	2	1	HM	
104	A	MTL	3'-0"x7'-0"	1 3/4"	-	2	1	HM	
111	A	MTL	3'-0"x7'-0"	1 3/4"	-	2	1	HM	
112	A	MTL	3'-0"x7'-0"	1 3/4"	-	2	1	HM	

# FINISH SCHEDULE

ROOM NO.	NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
100	FUTURE RESTAURANT	EX CONC	NONE	OTF BD	EXP	EXPOSED STRUCTURE ABOVE
101	BUSINESS OFFICE	VT	RUBBER	FRPW	EXP	EXPOSED STRUCTURE ABOVE
110	FUTURE RETAIL	EX CONC	EX	EX	EXP	EXPOSED STRUCTURE ABOVE
300	FUTURE RESTAURANT	EX CONC	EX	EX	EXP	EXPOSED STRUCTURE ABOVE

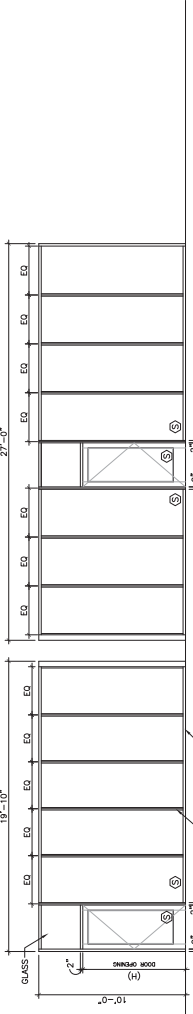
## FINISH SCHEDULE LEGEND

FLOORS:	UN-PAINTED, TAPE & MUD JOINTS AND SCREWS.
EX CONC	FIRE RATED PLYNWOOD
EXISTING TO REMAIN	EXISTING TO REMAIN
BASE:	
EX CONC	EXPOSED STRUCTURE ABOVE
EXISTING TO REMAIN	EXISTING TO REMAIN
WALLS:	
OTF BD	OTF BD
FRPW	FRPW
EXP	EXP
CEILING:	
EXP	EXP

## DOOR HARDWARE

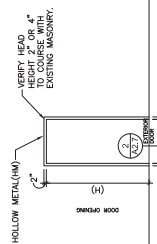
HARDWARE NO.	MAIN COMPONENTS
1	DOOR HANDLE KAWNEER OPERATOR HWA21
2	HOLLOW METAL HANGING HARDWARE
3	DOOR THRESHOLD KAWNEER TRIPAS HWA41
4	DOOR JAMB KAWNEER HWA21
5	DOOR SILL KAWNEER HWA41
6	DOOR STOREFRONT KAWNEER HWA41

NOTE: PROVIDE ALL REQ'D. HARDWARE IN ADDITION TO INDICATED ABOVE.



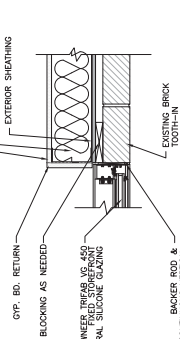
## ALUMINUM STOREFRONT - SSG

SCALE: 1/4" = 1'-0"



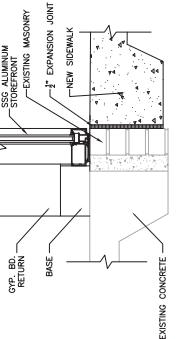
## HOLLOW METAL DOOR FRAME TYPES

SCALE: 1/4" = 1'-0"



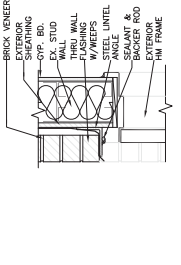
## ALUMINUM JAMB @ BRICK

SCALE: 1 1/2" = 1'-0"



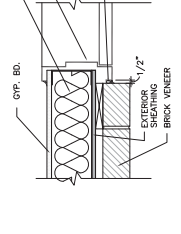
## ALUM. DOOR THRESHOLD

SCALE: 1 1/2" = 1'-0"



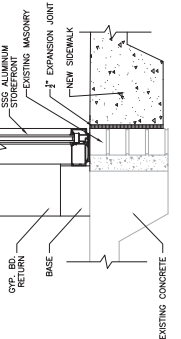
## ALUMINUM HEAD @ BRICK

SCALE: 1 1/2" = 1'-0"



## HM DOOR JAMB

SCALE: 1 1/2" = 1'-0"



## HM DOOR SILL

SCALE: 1 1/2" = 1'-0"



SEAL

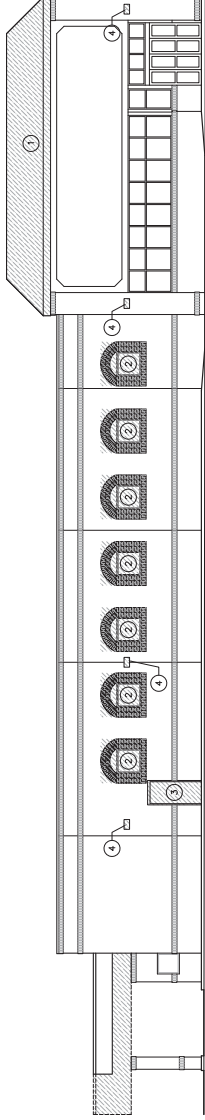
3965 Crosshaven Drive  
Birmingham, AL 35243

REVISIONS

SHEET TITLE  
DEMO  
EXTERIOR  
ELEVATIONS

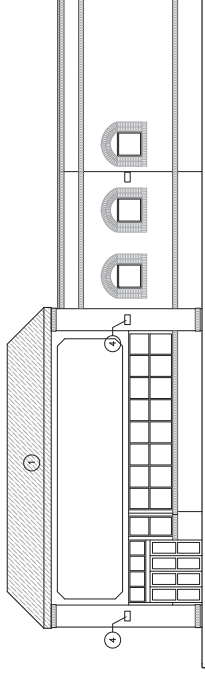
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LPR  
RPS  
PROJECT NUMBER  
1586  
ISSUE DATE  
07-29-2019  
SHEET NUMBER

A3.0

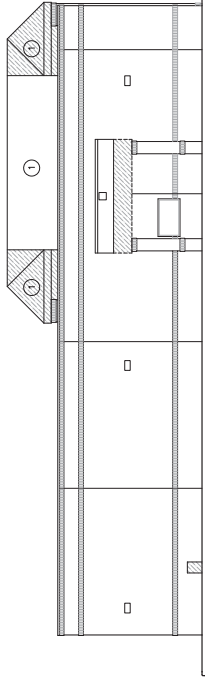


1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

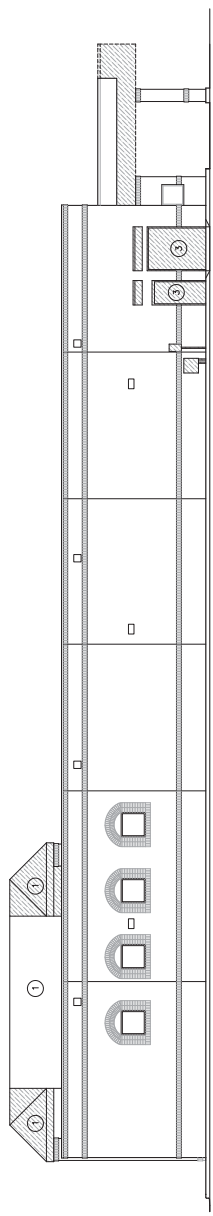
ITEMS TO BE DEMOLISHED / REMOVED



2 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION  
SCALE: 1/8" = 1'-0"

- DEMOLITION ELEVATION NOTES:**
1. REMOVE ALL FRAMING ASSOCIATED WITH THE BLUE METAL STANDING EXIST. ROOF. SEE NEW WALL SECTION FOR NEW FRAMING.
  2. REMOVE EXISTING FOREFRONT WINDOWS AND ASSOCIATED BRICK.
  3. REMOVE EXISTING EXTERIOR DOOR AND FRAME.
  4. REMOVE EXISTING WALL PACK.

SEAL

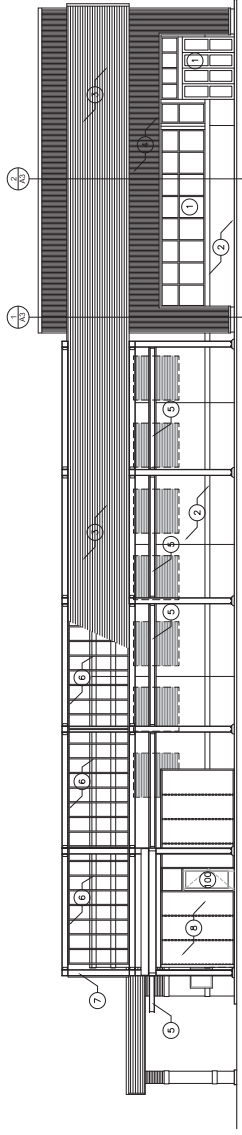
3965 Crosshaven Drive  
Birmingham, AL 35243

REVISIONS

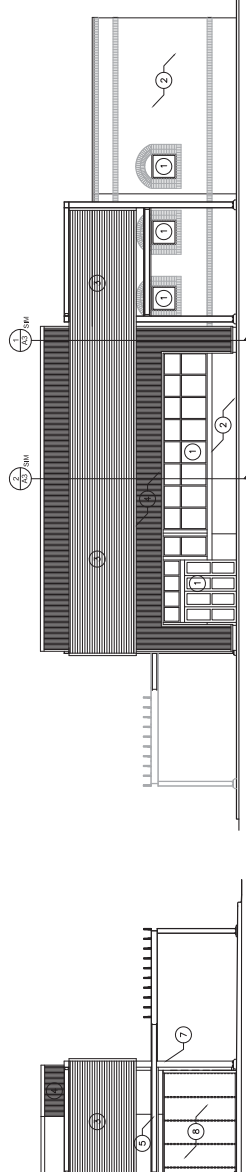
SHEET TITLE  
NEW WORK  
EXTERIOR  
ELEVATIONS

ISSUED  
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PROJECT NUMBER  
1586  
ISSUE DATE  
08-14-2019  
SHEET NUMBER

A3.1

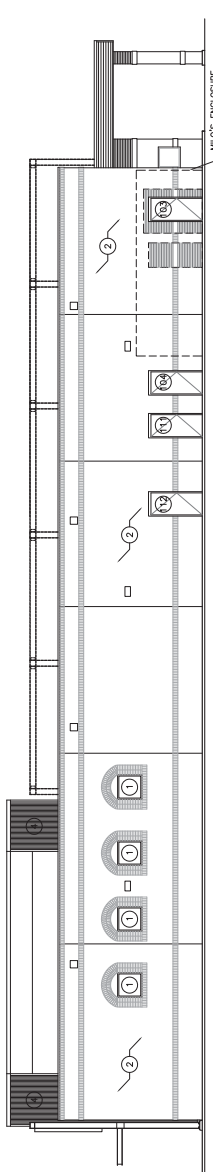


1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

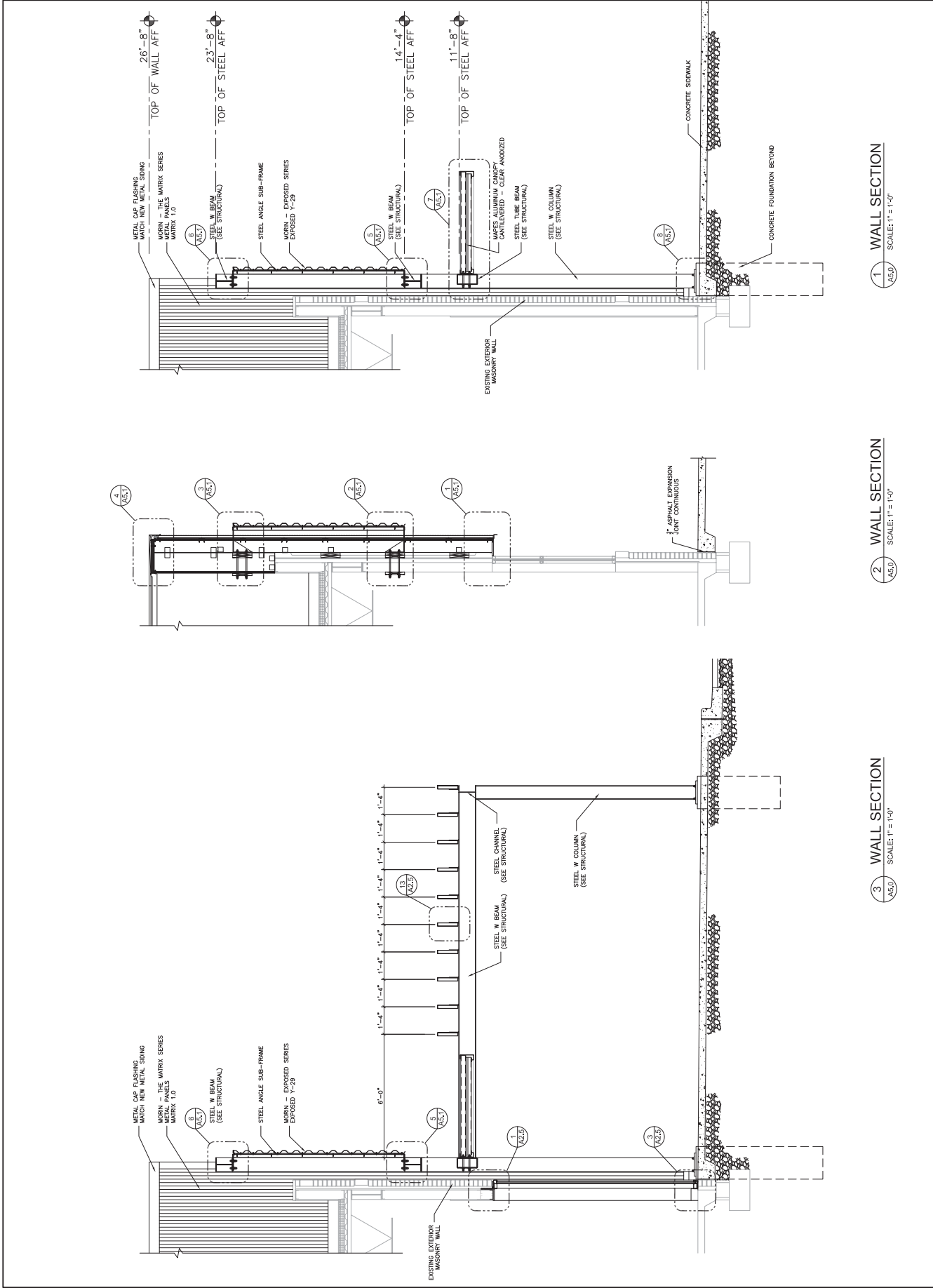
3 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

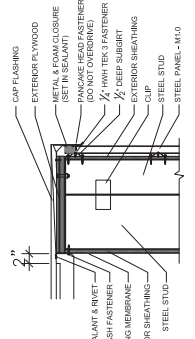


4 EAST ELEVATION  
SCALE: 1/8" = 1'-0"

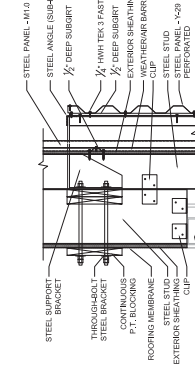
- ELEVATION NOTES:**
- EXISTING ALUMINUM STOREFRONT - PAINT
  - NEW / EXISTING BRICK - PAINT
  - PERFORATED METAL PANELS  
MORIN- EXPOSED PASTERNE Y-29 (PERFORATED) 1/2" HOLD - 1/2" SPACING  
MORIN- ALUMINUM GRAY  
METAL PANELS
  - MORIN - MATRIX 1.0  
COLOR - SILVERSMITH
  - WARRIOR- PITCHED DURAL CANopies  
COLOR - CLEAR ANODIZED  
COLOR - CLEAR ANODIZED
  - METAL PANEL STEEL SUB-FRAME - SEE 1/A5.2  
STEEL FRAME - PAINT
  - WARRIOR- TRIFAB VERSA GLAZE 481 FRAMING SYSTEM  
STRUCTURAL SILICONE GLAZED (SSG)  
COLOR - CLEAR ANODIZED

ISSUED FOR	LPR
PPS	
PROJECT NUMBER	1586
ISSUE DATE	07-29-2019
SHEET NUMBER	

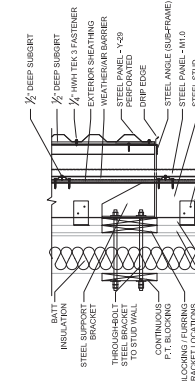




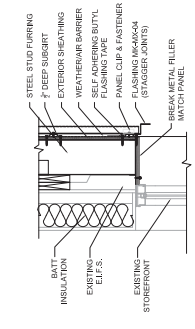
4 PANEL DETAIL  
SCALE: 1" = 1'-0"



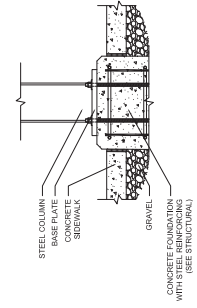
3 PANEL DETAIL  
SCALE: 1" = 1'-0"



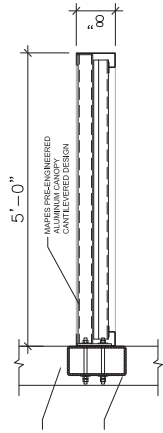
2 PANEL DETAIL  
SCALE: 1" = 1'-0"



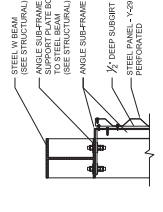
1 PANEL DETAIL  
SCALE: 1" = 1'-0"



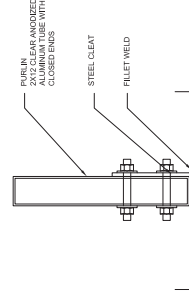
8 PANEL DETAIL  
SCALE: 1" = 1'-0"



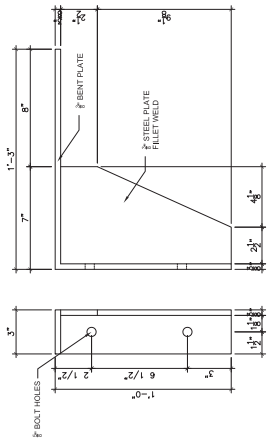
7 CANOPY DETAIL  
SCALE: 1" = 1'-0"



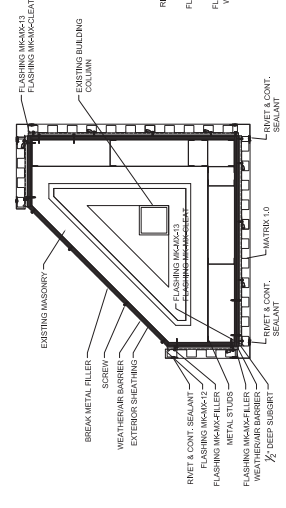
5 PANEL DETAIL  
SCALE: 1" = 1'-0"



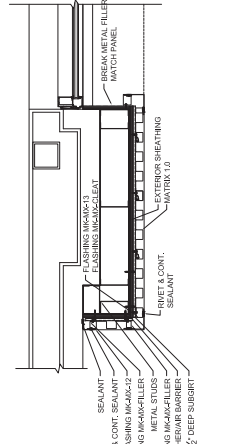
11 BRACKET DETAIL  
SCALE: 3\"/>



12 BRACKET DETAIL  
SCALE: 3\"/>



10 PANEL DETAIL  
SCALE: 1" = 1'-0"



9 PANEL DETAIL  
SCALE: 1" = 1'-0"

SEAL

Birmingham, AL 35243  
3965 Crosshaven Drive

REVISIONS

SHEET TITLE  
COVER SHEET

PROJECT  
PRM  
PROJECT NUMBER  
1586  
ISSUE DATE  
08-14-2019  
SHEET NUMBER

CS

VICINITY MAP



AREA MAP



INDEX OF DRAWINGS

SHT. NO.	SHEET TITLE
CS	COVER SHEET
	SURVEY
	ARCHITECTURAL
	EXTERIOR RENDERING
A2.0	LIFE SAFETY PLAN
A2.1	NEW FLOOR PLAN
A2.2	NEW FLOOR PLAN
A2.3	NEW FLOOR PLAN
A2.4	DUMPSTER ENCLOSURE
A2.5	DOOR AND FINISH SCHEDULE
A2.6	NEW EXTERIOR ELEVATIONS
A2.7	NEW EXTERIOR ELEVATIONS
A2.8	EXTERIOR DETAILS
A2.9	STRUCTURAL
A2.10	MECHANICAL
A2.11	PLUMBING
A2.12	ELECTRICAL
A2.13	ERF PROTECTION

NOTE: CIVIL ENGINEERING DRAWINGS / SPECS AND  
MECHANICAL, PLUMBING AND ELECTRICAL  
DRAWINGS ARE TO BE PROVIDED TO THE OWNER AND SUBMITTED UNDER  
SEPARATE COVER.

LEGEND OF SYMBOLS AND ABBREVIATIONS

	DOOR SYMBOL		DETAIL SECTION KEY
	WINDOW SYMBOL		BUILDING SECTION
	ROOM NUMBER		BUILDING ELEVATIONS
	WALL OR DETAIL SECTION KEY		ABOVE FINISHED FIRST FLOOR
	OWNER FURNISHED / CONTRACTOR INSTALLED		

GENERAL NOTES

# Existing Building Shell Improvements

## 3965 Crosshaven Drive Birmingham, Alabama 35243

**STRUCTURAL ENGINEER:**

TP ENGINEERING  
P.O. BOX 814  
TRUSSVILLE, AL 35173  
TELEPHONE: (205) 965-9992  
FACSIMILE: (205) 637-9222  
E-MAIL: pedwards@tpengineeringinc.com  
CONTACT: PATRICK EDWARDS

**MECHANICAL & PLUMBING ENGINEER:**

ENGINEERING DESIGN TECHNOLOGIES, INC (EDT)  
215 19TH STREET NORTH, SUITE 201  
BIRMINGHAM, AL 35203  
EMAIL: derrell.gill@edtinc.net  
TELEPHONE: (205) 942-8830  
FACSIMILE: (205) 942-8631  
CONTACT: DARRELL GILL

**ELECTRICAL ENGINEER:**

CONSULTING CONSTRUCTION ENGINEERING (CCE)  
110 12TH STREET NORTH, SUITE 150  
BIRMINGHAM, AL 35203  
EMAIL: wjohnson@ccemgoli.com  
TELEPHONE: (205) 352-2500  
CONTACT: WADE PARKER

**OWNER:**

Catalaba Heights Corner CGP I, LLC,  
Catalaba Heights Corner CGP II, LLC,  
117 HILLSIDE ROAD  
BIRMINGHAM, AL 35203  
TELEPHONE: (205) 966-9841  
FACSIMILE: (205) 966-9229  
CONTACT: WILL AHN

**CONTRACTOR:**

MEADOWS CONTRACTING  
117 HILLSIDE ROAD  
BIRMINGHAM, ALABAMA 35213  
EMAIL: meadowscontracting@charter.net  
TELEPHONE: (205) 369-2589  
CONTACT: BILL MEADOWS

**ARCHITECT:**

ADAMS DESIGN ASSOCIATES  
2-20TH STREET NORTH, SUITE 940  
BIRMINGHAM, AL 35203  
TELEPHONE: (205) 328-1100  
FACSIMILE: (205) 328-2201  
CONTACT: REILLY P. STRAUSS, EXT. 108



**FRONT ELEVATION RENDERING**

SCALE: NTS

**MATERIALS, COLORS & FINISHES**

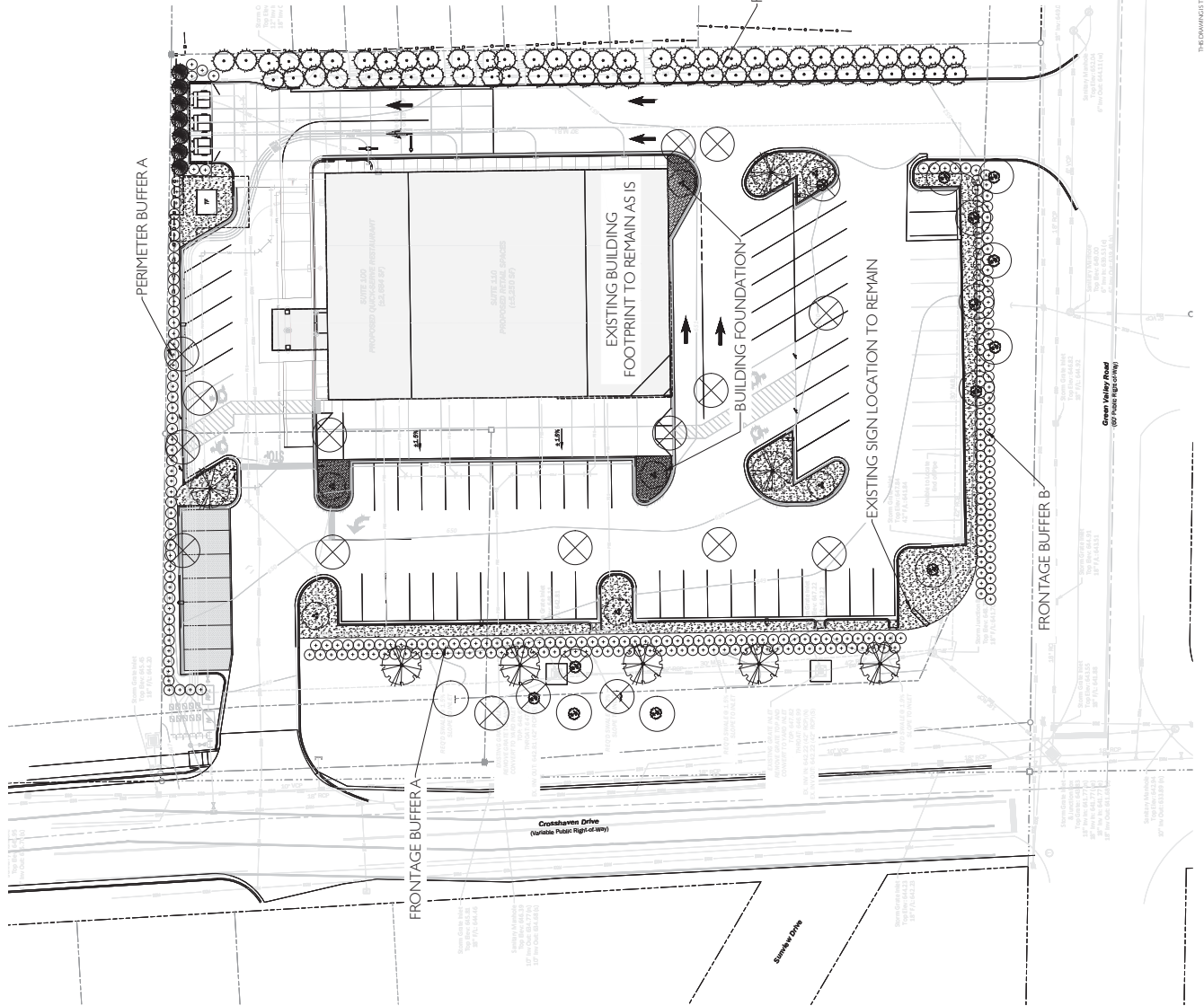
- A. KINGSPAN - MORIN MATRIX 1.0  
COLOR: SILVERSMITH
- B. KINGSPAN - MORIN EXPOSED FASTENER Y-29 PERFORATED  
COLOR: CHROMIUM GRAY
- C. MAPES ALUMINUM CANOPIES -  
COLOR: CLEAR ANODIZED ALUMINUM
- D. EXISTING MASONRY PAINTED  
COLOR: SW 7028 INCREDIBLE WHITE
- E. CONCRETE PATIO
- F. KAWNEER STOREFRONT - STRUCTURAL SILICONE GLAZING  
COLOR: CLEAR ANODIZED ALUMINUM
- G. STEEL COLUMNS  
COLOR: SW 7069 IRON ORE

### VESTAVIA HILLS LANDSCAPE CODE REQUIREMENTS

PROPOSED REMOVED TREES - 19	PARKING SPACES - 82
EXISTING TREES TO REMAIN - 11	Tree Lossage: 1.64k sf (294sqm)
	Tree Lossage: 3.17k sf (294sqm)
	Tree Lossage: 1.64k sf (294sqm)
FRONTAGE BUFFER A: (330.5') - 8' width	Required
CROSSHAVEN DRIVE	TREES: 7 LINC. (6'0" CI) OR 9 SPALL (6'0" CI)
	SHRUBS: 112 (1'0" CI) OR 15 CAL (6'0" CI)
FRONTAGE BUFFER B: (258.33') - 8' width	TREES: 1 LINC. (6'0" CI) OR 1 SPALL (6'0" CI)
GREEN VALLEY ROAD	SHRUBS: 87 (1'0" CI) OR 12 (1'0" CI) OR 15 CAL (6'0" CI)
	SHRUBS: 87 (1'0" CI) OR 12 (1'0" CI) OR 15 CAL (6'0" CI)
PERIMETER BUFFER A: (273.17') - 5' width	TREES: 7 LINC. (6'0" CI) OR 9 SPALL (6'0" CI)
NORTH PROPERTY LINE (NUTURE CIRCLE)	SHRUBS: 10 (1'0" CI) OR 15 CAL (6'0" CI)
NON-CONFLICTING USE	SHRUBS: 10 (1'0" CI) OR 15 CAL (6'0" CI)
PERIMETER BUFFER B: (330.5') - 5' width	TREES: 7 LINC. (6'0" CI) OR 9 SPALL (6'0" CI)
GREEN VALLEY ROAD (RESERVED)	SHRUBS: 112 (1'0" CI) OR 15 CAL (6'0" CI)
BUILDING FOUNDATION: (414') - 6' width	EXISTING BUILDINGS TO REMAIN: NO
	FOOTPRINTS TO REMAIN: FOOTPRINTS TO REMAIN OR ENLARGED

### PLANT SCHEDULE

TREES	COMMON NAME	BOTANICAL NAME	CODE	CONE	MAIVE
(Symbol)	SHUMARD OAK	QUERCUS SHUMARDII	25' CAL 12' HI	Y	Y
(Symbol)	WHITE OAK	QUERCUS ALBA	8' HI, 6' 5" CAL FOR CREDIT	N	N
(Symbol)	SWEET OLIVE	OSMANTHUS FRAGRANS	6-7' HI. (SCREEN DUMPS/ENCLOSURE)	Y	Y
(Symbol)	EXISTING TREE TO REMAIN	VARIABLES SET PLAN	16' CAL FOR CREDIT PROTECT IN CONSTRUCTION		
(Symbol)	EXISTING TREE TO BE REMOVED	VARIABLES SET PLAN	EXISTING TO REMAIN		
(Symbol)	EXISTING EVERGREEN HEDGE TO REMAIN FOR CREDIT	VARIABLES SET PLAN	EXISTING TO REMAIN		
(Symbol)	COMMON NAME	BOTANICAL NAME	SIZE	SPACING	
(Symbol)	NEEDLEPOINT HOLLY	ILEX CORNUTA	3 GAL - 24" HI MIN.	36" O.C.	
(Symbol)	COMMON NAME	BOTANICAL NAME	SIZE	SPACING	
(Symbol)	ASIAN JASMINE	TRACHELOPERMA ASARICUM	4" POT - 6" HI MIN.	18" O.C.	
(Symbol)	419 BERNALDA GRASS	CYNODON DACTYLON 419	SOLID SOD	0/0/0	



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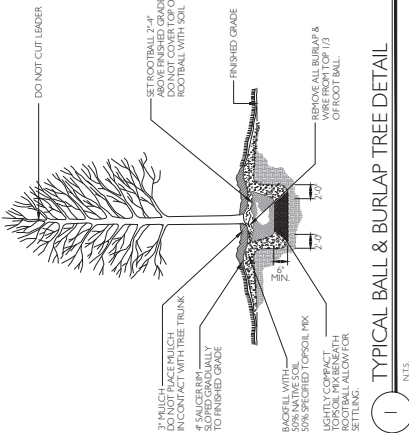
A LANDSCAPE DEVELOPMENT FOR  
Wellsprings Holdings, LLC  
3965 Crosshaven Drive  
Birmingham, AL

PROJ. CODE	18-015
DRAWN BY	AND
REVIEWED BY	DAL
ISSUED	
DATE	DESCRIPTION
2/20/19	100% FOR SUBMITTAL
REVISIONS	

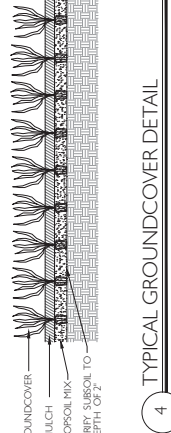
CONSTRUCTION DOCUMENTS

SHEET L1.0

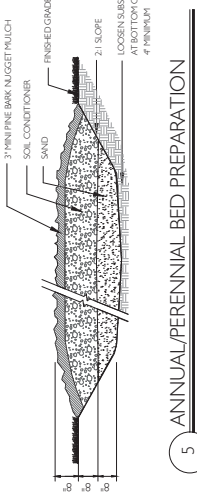
THESE DRAWINGS ARE THE PROPERTY OF LORBERMAN PARRISH AND ASSOCIATES, LLC AND ARE NOT TO BE REPRODUCED, COPIED, OR ALTERED IN WHOLE OR IN PART WITHOUT THE APPROVAL OF LORBERMAN PARRISH AND ASSOCIATES, LLC.



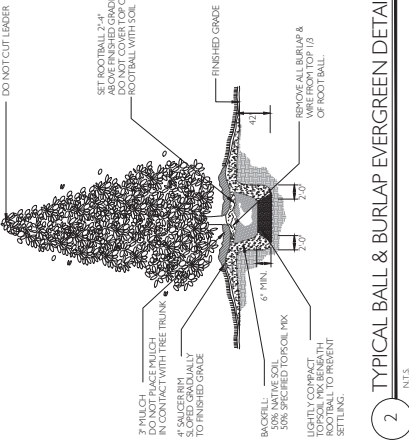
1 TYPICAL BURLAP TREE TREE DETAIL  
NTS.



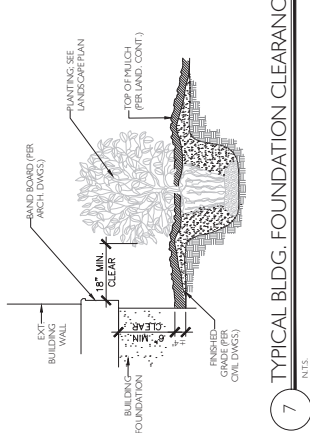
2 TYPICAL BALL & BURLAP EVERGREEN DETAIL  
NTS.



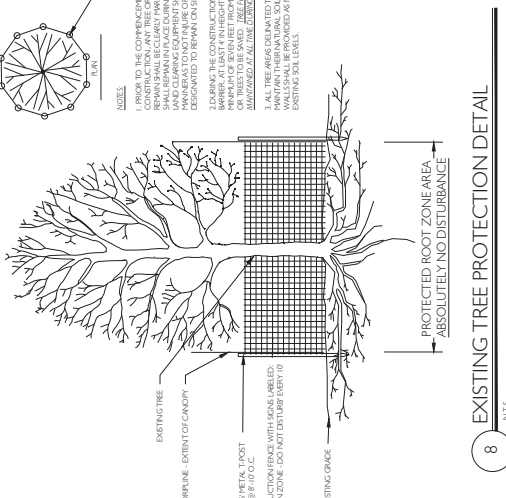
3 TYPICAL CONTAINER SHRUB DETAIL  
NTS.



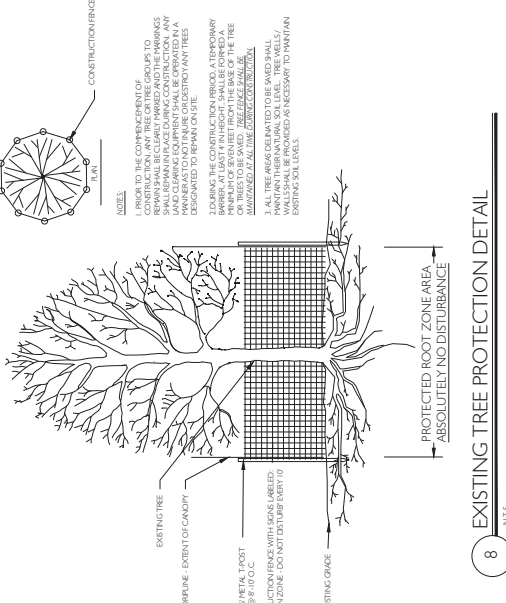
4 TYPICAL GROUND COVER DETAIL  
NTS.



5 ANNUAL/PERENNIAL BED PREPARATION  
NTS.



6 TYP. TRENCH EDGE AT BEDS DETAIL  
NTS.



7 TYPICAL BLDG. FOUNDATION CLEARANCE  
NTS.

8 EXISTING TREE PROTECTION DETAIL  
NTS.

- GENERAL PLANTING NOTES**
1. VERIFY ALL UTILITY LOCATIONS IN THE FIELD BEFORE BEGINNING WORK. REPAIR DAMAGED UTILITIES TO OWNERS SATISFACTION AT NO ADDITIONAL COST.
  2. VERIFY QUANTITIES ON PLAN BEFORE PRICING WORK. NOTIFY OWNER OF DISCREPANCIES IN QUANTITIES PRIOR TO SUBMITTING PRICING.
  3. ALL MATERIALS ARE SUBJECT TO APPROVAL OF THE OWNER AT ANY TIME.
  4. ALL PLANTS SHALL BE HEALTHY, VIGOROUS MATERIALS, FREE FROM DISEASE AND PESTS, AND MEET OR EXCEED THE STANDARD SET FORTH IN AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION. MAIN LEADERS OF ALL TREES SHALL REMAIN INTACT. NO GRAFTED MAPLES WILL BE ACCEPTED.
  5. MULCH SHALL BE PLACED WITH MULCH SPECIFIED ON PLAN TO A MINIMUM DEPTH OF 4\"/>

10. INSTALL ALL PLANT MATERIALS IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES.
11. LANDSCAPE CONTRACTOR TO PROVIDE OWNER WITH AS-BUILT DRAWINGS FOR ALL SLEEVES, IRRIGATION, MAINLINE, VALVE AND CLOCK LOCATIONS, AND ALL LOW VOLTAGE LIGHTING CIRCUITS (IF PROVIDED) PRIOR TO FINAL ACCEPTANCE.

**LANDSCAPE DETAILS**

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NOT FOR CONSTRUCTION**

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PROJ. CODE	18015
DRAWN BY	AD
REVIEWED BY	DML
ISSUED	
DATE	DESCRIPTION
25.10	100% FOR SUBMITTAL

**REVISIONS**

CONSTRUCTION DOCUMENTS

SHEET  
L1.1





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3965 Crosshaven Drive  
Birmingham, AL

PROJ. CODE	180015
DRAWN BY	ADP
REVIEWED BY	DML
ISSUED	
DATE	DESCRIPTION
2/20/19	100% FOR SUBMITTAL
REVISIONS	

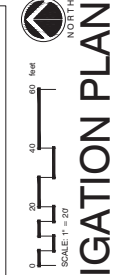
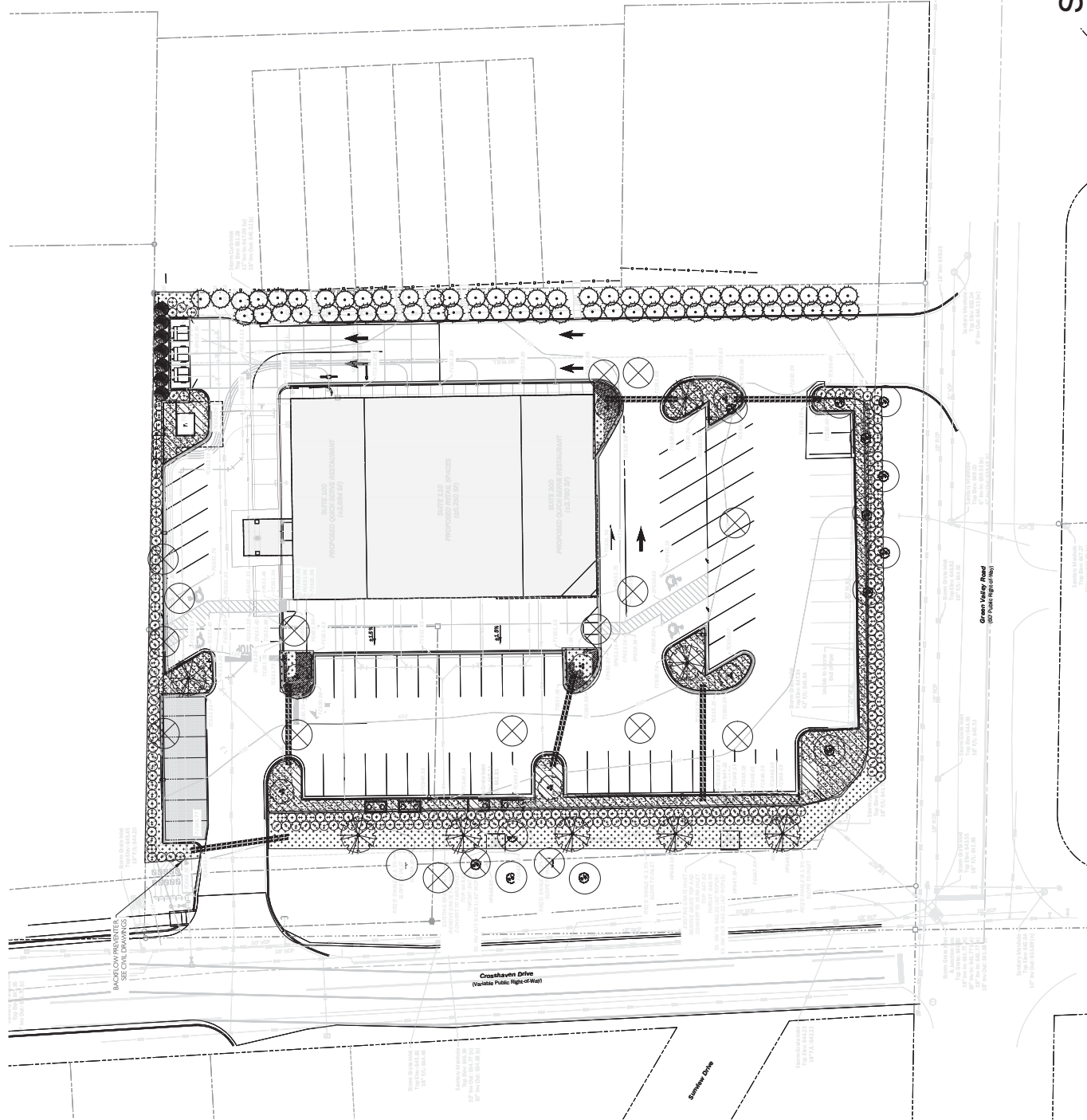
CONSTRUCTION  
DOCUMENTS

SHEET  
LI.2

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**IRRIGATION  
LEGEND**

- TURF AREAS**  
Zones to be comprised of one of the following type irrigation heads:  
Lawn: 1' and larger:  
  - Hunter PCP & L20 series Rotors
  - Approved equal mfg. (See Submittal notes)
Lawn: smaller than 1' and odd-sized areas:  
  - Hunter PCP Series or MP Rotator heads
  - Approved equal mfg. (See Submittal notes)
- PLANT BEDS**  
Zones to be comprised of one of the following type irrigation heads:  
  - Multichel Plant Beds
  - Hunter PFD series in-line emitter drip tubing
  - Hunter PFD series in-line emitter drip tubing
  - Approved equal mfg. (See Submittal notes)
- Multichel Groundcover Beds**  
  - Hunter PFD in-line emitter drip tubing
  - Approved equal mfg. (See Submittal notes)
- Multichel Tree Beds**  
  - Hunter XFD bubbler head (or) XFD dripline in loop configuration (See Detail)
  - Hunter AFB bubbler head (or) PFD dripline in loop configuration (See Detail)
  - Approved equal mfg. (See Submittal notes)
- ==== (2) 4" or (1) 6" Sch. 40 PVC Steeking



**SITE IRRIGATION PLAN**

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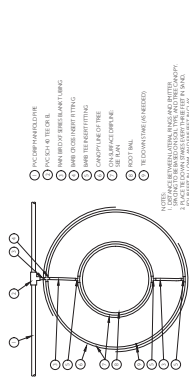
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Wellsprings Holdings, LLC  
3965 Crosshaven Drive  
Birmingham, AL

PROJ. CODE	1804S
DRAWN BY	ADD
REVIEWED BY	DML
ISSUED	
DATE	2-20-19
100% FOR SUBMITTAL	

REVISIONS	

CONSTRUCTION DOCUMENTS

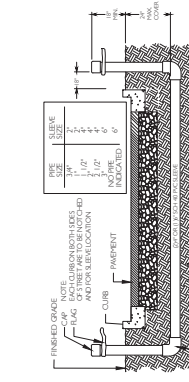
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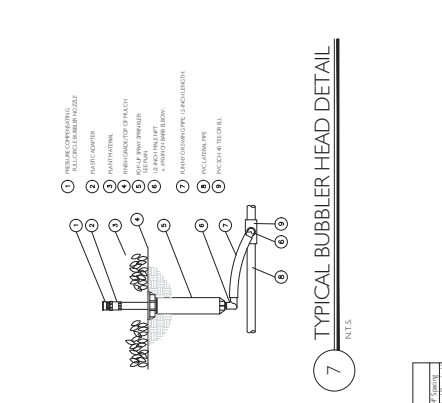
4 TYPICAL DRIP TUBE at TREE DETAIL  
N.T.S.

- GENERAL IRRIGATION NOTES**
1. ALL MAINS TO HAVE A MINIMUM OF 18\"/>
  - 2. ALL PIPE TO BE INSTALLED BY PERMANENTLY SPECIFIED EQUIPMENT TO BE INSTALLED AS PER DETAILS.
  - 3. ALL ELECTRICALS TO BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL OTHER VALVE BOX CONNECTIONS AS SHOWN ON DETAILS.
  - 4. ALL 1/2\"/>
  - 5. ALL 3/4\"/>
  - 6. ALL 1\"/>
  - 7. CONTRACTOR SHALL PROVIDE EXPANSION COUPLER AT EACH WIRE CONNECTION IN VALVE BOX (WAP) AROUND 3/4\"/>
  - 8. CONTRACTOR TO UTILIZE APPROPRIATE AUTOMATIC DRAINAGE WHERE LOW HEAD DRAINAGE MAY BE BROUGHT ABOVE GRADE AND RISK OF FREEZING IS PRESENT.
  - 9. ALL SPRINKLERS TO BE MOUNTED ON 1/2\"/>
  - 10. CONTRACTOR SHALL INSTALL ASPHALT COMMON FOR EACH CONTROL.
  - 11. ALL 1/2\"/>
  - 12. CONTRACTOR SHALL INSTALL MANUFACTURER'S RECOMMENDED EQUIPMENT FOR POWER SUPPLY AND LINE OUTPUT WITH (3) 3/8\"/>
  - 13. CONTRACTOR SHALL INSTALL MANUFACTURER'S RECOMMENDED EQUIPMENT ON MAINS TO GROUND AND LIGHTNING PROTECTION.
  - 14. ALL IRRIGATION EQUIPMENT TO BE INSTALLED ACCORDING TO SPECIFICATIONS AND DETAILS.
  - 15. CONTRACTOR TO ADD EXTENSION REER TO POP-UP HEADS WHEN NEEDED FOR PROPER COVERAGE.
  - 16. CONTRACTOR SHALL INSTALL SPRINKLER EQUIPMENT 1/2\"/>
  - 17. MAINS AND LATERAL LINE PIPING TO BE SCHEDULE 40 PVC. PROVIDE THE FOLLOWING PIPE SIZES (FLOW RATES):
 

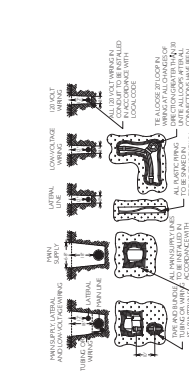
Pipe Size	Flow Rate
3/4"	30 gpm
1"	40 gpm
1 1/2"	70 gpm
2"	100 gpm
  - 18. ADHERE TO LOCAL PLUMBING AND ELECTRICAL REQUIREMENTS.
  - 19. SPRINKLER HEADS IN LANA AREAS WILL BE 4\"/>
  - 20. ALL SODS SHALL BE ZONED SEPARATELY FROM SPRINKLER AND SEASONAL COLOR ZONES.
  - 21. INSTALL ALL LINES UNDER ROADWAYS AND SIDEWALKS IN 50-80% PVC SLOTTED PERMANENT SAND FOR SET IN PLACE AND THE SET IN SAND FOR SET IN PLACE AND THE SET IN SAND FOR SET IN PLACE.
  - 22. SYSTEM DESIGN SHALL ALLOW ENTIRE PLANTED AREAS TO BE IRRIGATED WITHIN 24 HOURS.
  - 23. VERIFY EXISTING IRRIGATION SYSTEM.



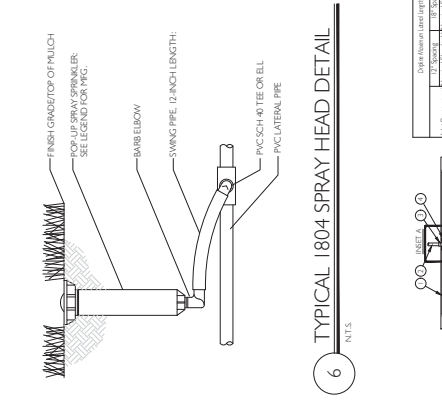
3 TYPICAL SLEEVING DETAIL  
N.T.S.



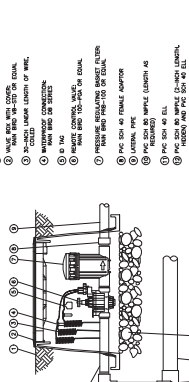
7 TYPICAL BUBBLER HEAD DETAIL  
N.T.S.



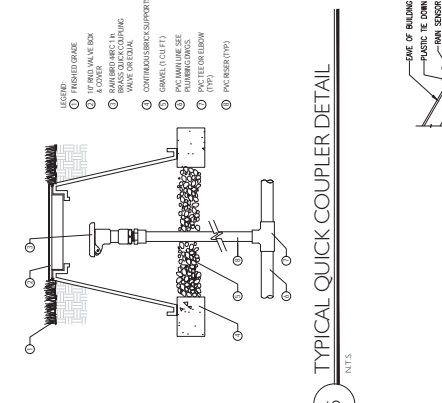
2 TYPICAL DIRECT BURY WIRE DETAIL  
N.T.S.



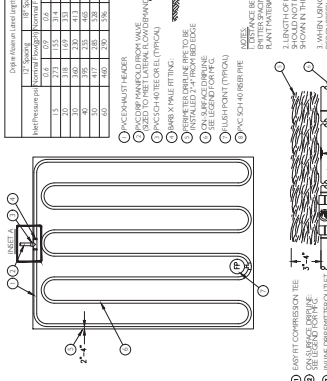
6 TYPICAL 1804 SPRAY HEAD DETAIL  
N.T.S.



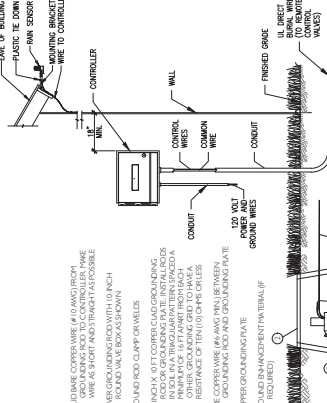
1 TYPICAL REMOTE CONTROL VALVE DETAIL  
N.T.S.



5 TYPICAL QUICK COUPLER DETAIL  
N.T.S.



9 TYPICAL DRIPLINE LAYOUT DETAIL  
N.T.S.



8 TYPICAL CONTROLLER DETAIL  
N.T.S.

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**IRRIGATION DETAILS**

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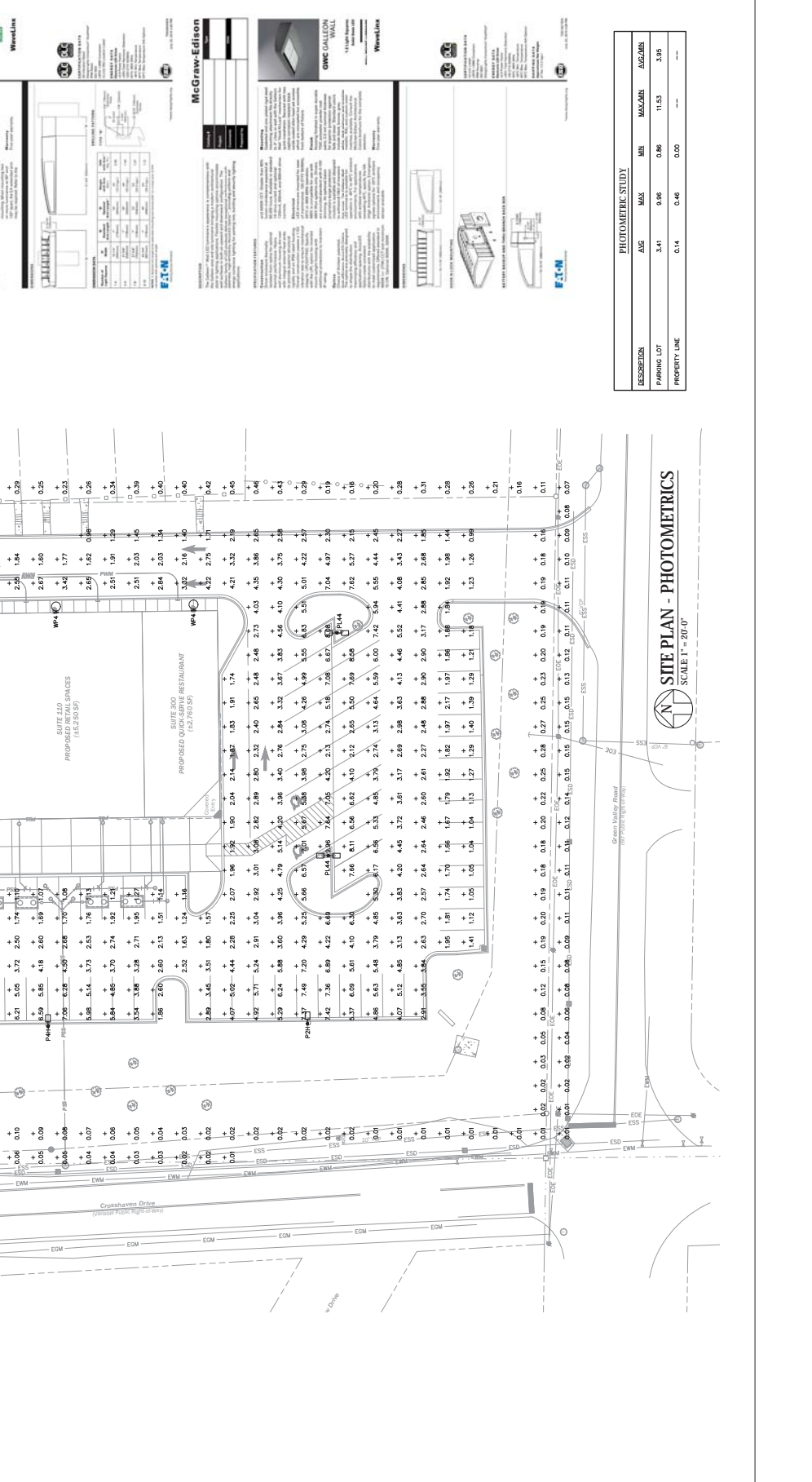
REVISIONS

SHEET TITLE  
SITE PLAN  
PHOTOMETRICS

DRAWN	CHECKED	PROJECT NUMBER	ISSUE DATE
JLB / DS	OMP	1566	
SHEET NUMBER			
1566			
SHEET NUMBER			
1566			

PHOTOMETRIC STUDY					
DESCRIPTION	AVG	MAX	MIN	MAX/AVG	AVG/AVG
PARKING LOT	3.41	9.96	0.86	11.53	3.95
PROPERTY LINE	0.14	0.46	0.00	---	---

E1.3	
ADAMS DESIGN ASSOCIATES © COPYRIGHT 2019	



**SITE PLAN - PHOTOMETRICS**  
SCALE 1" = 20'-0"

**CITY OF VESTAVIA HILLS  
DESIGN REVIEW BOARD  
APPLICATION**

2019 AUG 21 P. 3: 32

**I. APPLICANT INFORMATION:**

**Owner of Property (This Section Must Be Completed)**

Name: Scott Deason  
Address: 446 Cahaba Park Circle  
Birmingham, AL 35242  
Phone #: 205/991-9613 Other #: \_\_\_\_\_  
E-Mail: dubbut@aol.com

**Representing Attorney/Other Agent / Architect**

Name: Erik Hendon  
Address: 2126 Morris Avenue  
Birmingham, AL 35203  
Phone #: 205/322-1751 Other #: 410-1571  
E-Mail: ehendon@hplusha.com

**II. DESCRIPTION OF PROPERTY:**

LOCATION: 4557 Pine Tree Circle  
*Street Address*  
Topfield subdivision  
*Subdivision name, Lot #, Block #, etc.*

**III. REASONS FOR REQUEST:**

- 1. ( ) Preliminary Review
  - 2. ( ) Landscape Review
  - 3. (✓) Architectural Review
  - 5. (✓) Final Review of Materials
  - 6. ( ) Other - Explain
- } These were reviewed + approved during rezoning

**IV. PROCESS:**

- 1. (✓) New Building
- 2. ( ) Renovation of Existing Building
- 3. ( ) New Landscape Plan
- 4. ( ) Renovation to Existing Landscaping Plan
- 7. ( ) Other - Explain

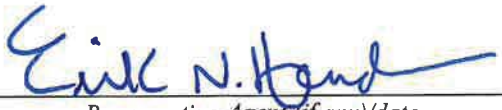
**V. ZONING**

Vestavia Hills Zoning for the subject property is B-1.

**VI. OWNER AFFIDAVIT:**

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

  
8/20/19  
Owner Signature/Date

  
8/21/19  
Representing Agent (if any)/date

Given under my hand and seal  
this 21<sup>st</sup> day of August, 2019.

  
Notary Public

My commission expires 16<sup>th</sup>  
day of April, 2020.

**Review Requirements**

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

General: Provide fifteen copies plus one 8½” by 11” copy of all drawings or plans required below for review. Drawings must be to scale. These drawings should be turned in with the application.

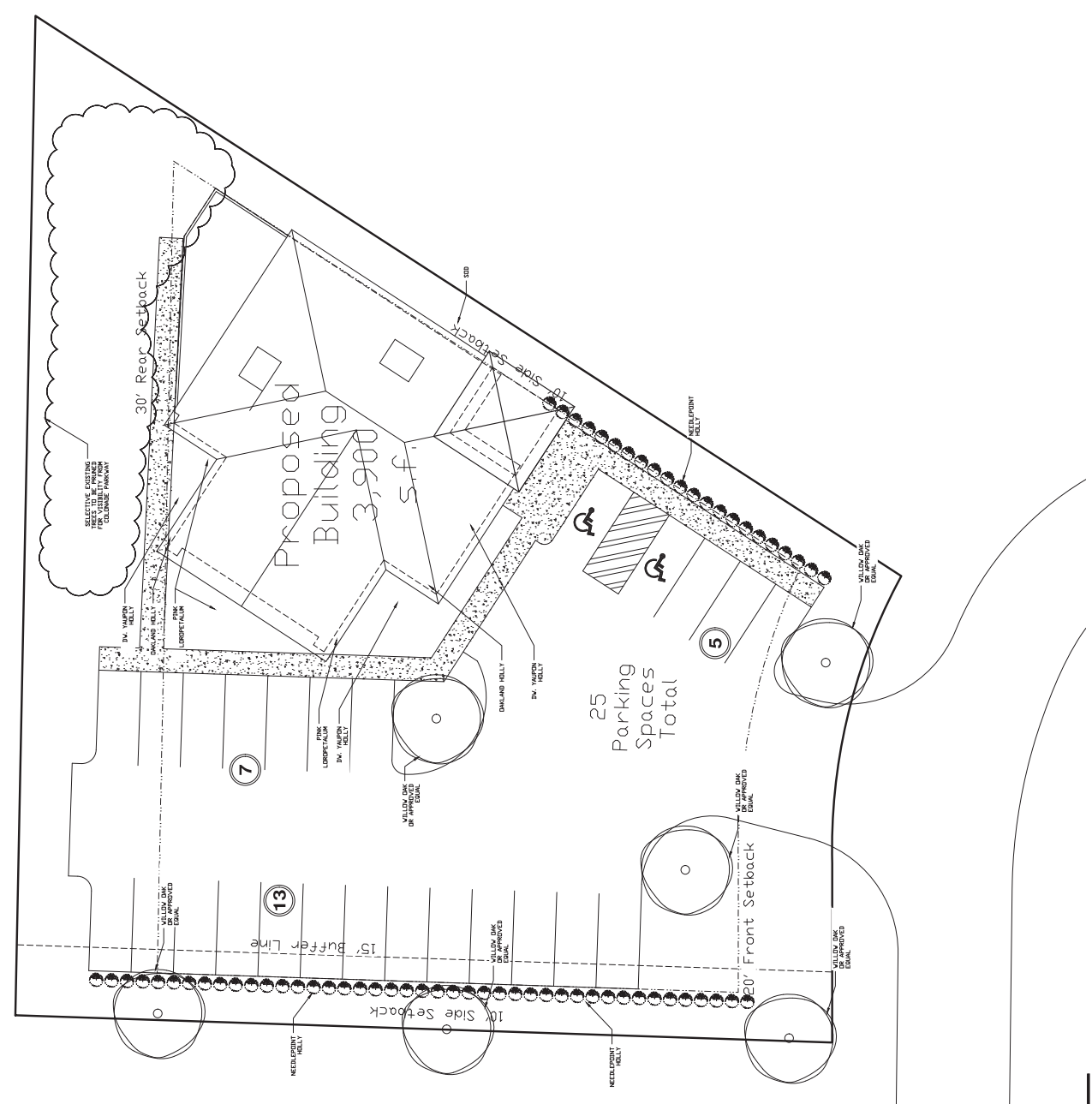
1. Architectural Review
  - a. Site plan showing roadways, entrances, exits and parking.
  - b. Building elevations showing construction material, material colors, context, and protrusions. Color rendering is preferred. Roof design must be detailed.
  - c. Presentation by architect or owner with knowledge of compatibility with adjacent structures, city context, etc.
2. Landscape Review
  - a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
  - b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
  - c. Parking lots: Provide calculations of total square footage and square footage designated for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
  - d. Irrigation plan for all landscaped areas.
  - e. Statement of maintenance policy and provisions.

RELEASES / DESCRIPTION / DATES


NOTICE TO CONTRACTOR  
 FOR SUBMITTALS FOR CONSTRUCTION

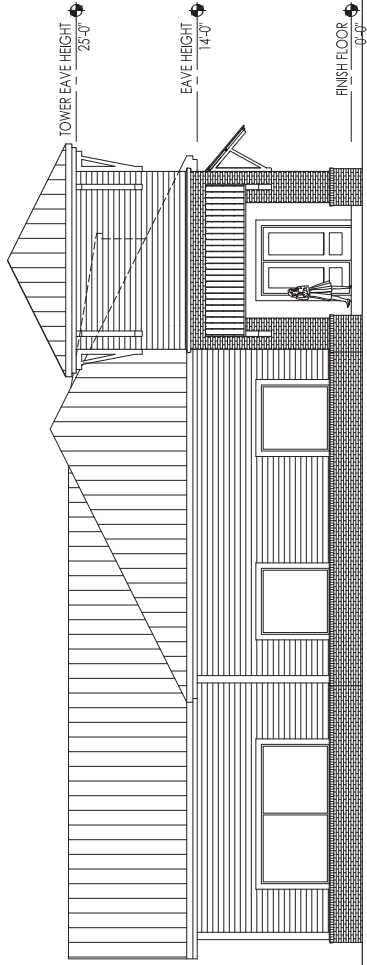
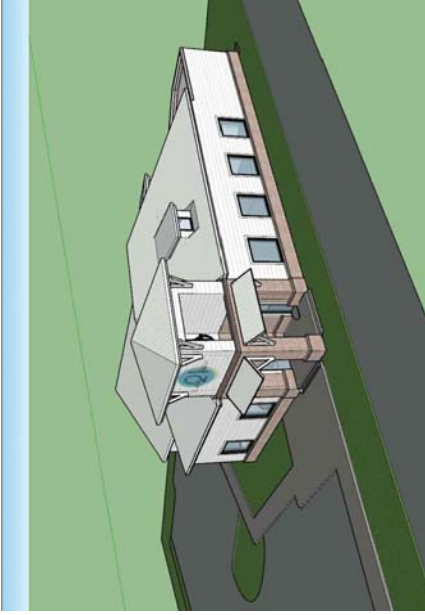
DATE	07.31.19
DRAWN	AJ EHR
CHECKED	EM
APPROVED	HH/A
PROJECT NUMBER	18084.00
SHEET TITLE	CONSTRUCTION SITE PLAN

DRAWING NO. **A0.1**

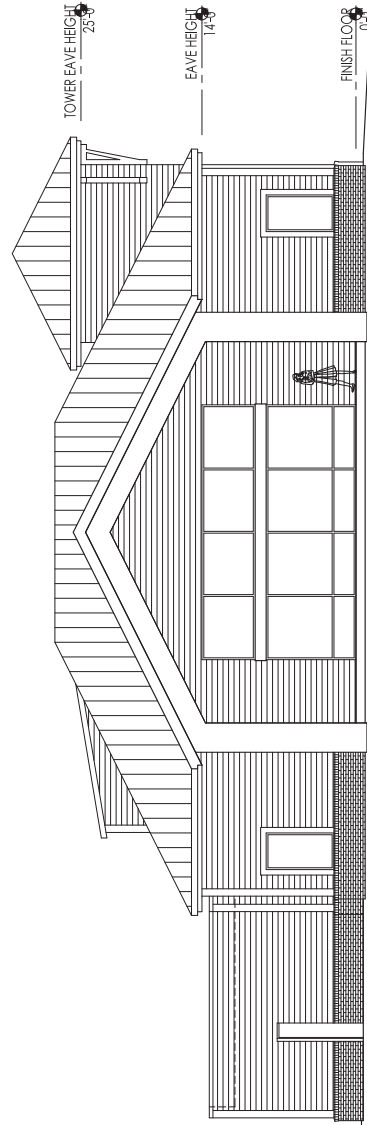


PINE TREE CIR.

© 2019 HENDERSON HUCKESTEIN ARCHITECTS, PC



FRONT ELEVATION  
SCALE 3/16" = 1'-0"



SIDE ELEVATION  
SCALE 3/16" = 1'-0"

# STUDIO 21 SALON

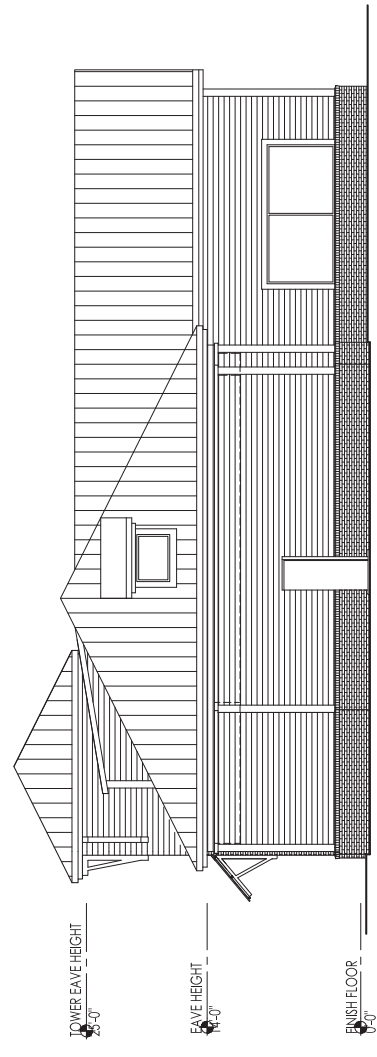
A New Building for:

Birmingham Alabama

**nendon huckestein architects, PC**  
 architecture • planning • interior design  
 2326 Moss Avenue  
 Birmingham, AL 35205  
 Tel: (205) 252-1777  
 Fax: (205) 252-1778  
 www.nhendon.com

NOT FOR CONSTRUCTION	
RELEASED FOR CONSTRUCTION	
DATE	03.31.19
DRAWN	MJ/ER
CHECKED	EMH
APPROVED	HMA
PROJECT NUMBER	18084.00

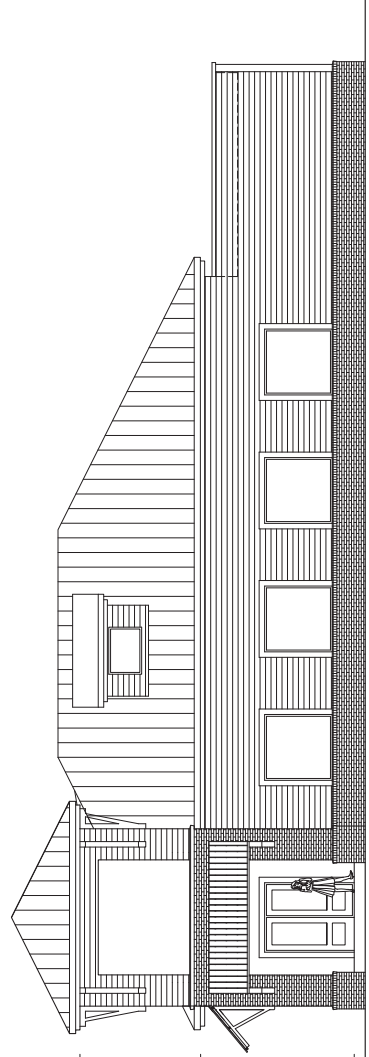
SHEET TITLE  
 EXTERIOR ELEVATIONS  
 DRAWING NO.  
**A2.1**



Side Elevation

LOWER EAVE HEIGHT  
 4'-0"  
 EAVE HEIGHT  
 14'-0"  
 FINISH FLOOR  
 0'-0"

EXTERIOR ELEVATIONS  
 SCALE: 1/8" = 1'-0"



EXTERIOR ELEVATIONS  
 SCALE: 1/8" = 1'-0"



**CITY OF VESTAVIA HILLS  
DESIGN REVIEW BOARD  
APPLICATION**

---

---

**I. APPLICANT INFORMATION:**

**Owner of Property (This Section Must Be Completed)**

Name: Overton Condos, LLC

Address: 1960 Stonegate Dr.

Birmingham, AL 35242

Phone #: 205.970.0303 Other #: \_\_\_\_\_

E-Mail: rduham@durhamdevelopers.com

**Representing Attorney/Other Agent**

Name: Barrett Architecture Studio

Address: 2320 Highland Ave. Suite 250

Birmingham, AL 35226

Phone #: 205.250.6161 Other #: \_\_\_\_\_

E-Mail: lauren@barrettarchstudio.com

---

**II. DESCRIPTION OF PROPERTY:**

LOCATION: 3791 Poe Drive , Vestavia Hills, AL 35242  
*Street Address*

Lot I of Overton Village,  
*Subdivision name, Lot #, Block #, etc.*

---

**III. REASONS FOR REQUEST:**

1. ( ) Preliminary Review
  2. ( ) Landscape Review
  3. (x) Architectural Review
  5. (x) Final Review of Materials
  6. ( ) Other - Explain \_\_\_\_\_
- 

**IV. PROCESS:**

1. (x) New Building
  2. ( ) Renovation of Existing Building
  3. ( ) New Landscape Plan
  4. ( ) Renovation to Existing Landscaping Plan
  7. ( ) Other - Explain \_\_\_\_\_
- 

**V. ZONING**

Vestavia Hills Zoning for the subject property is R-9.

---

**VI. OWNER AFFIDAVIT:**

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

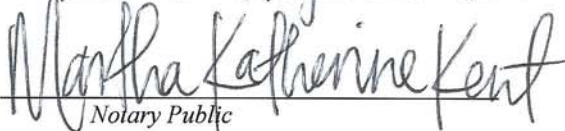


Owner Signature/Date



Representing Agent (if any)/date

Given under my hand and seal,  
this 21<sup>st</sup> day of August, 2019.

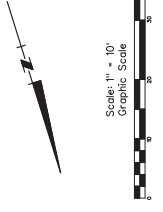
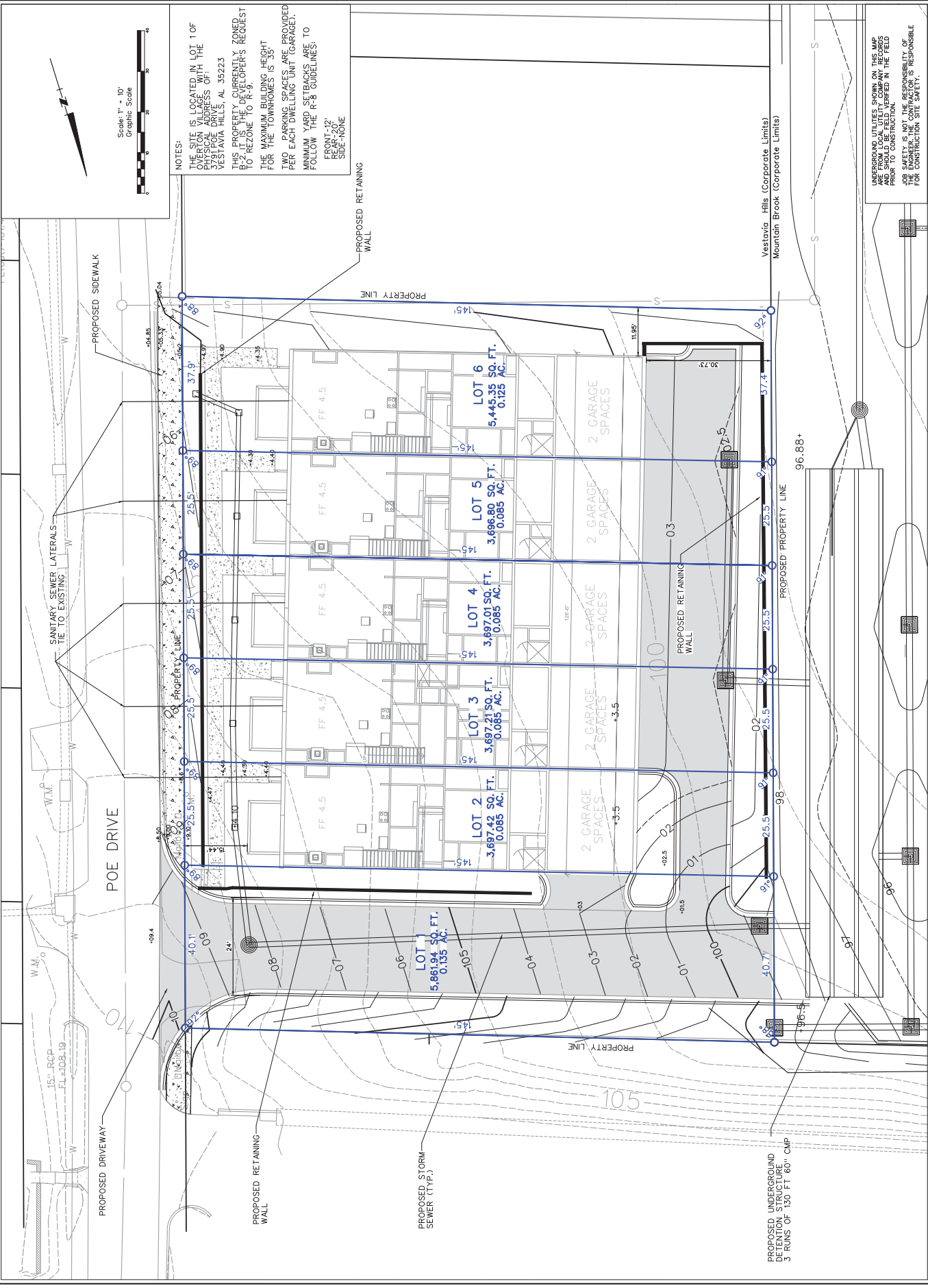
  
Notary Public

My commission expires 20<sup>th</sup>  
day of March, 2023.

### Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

- General: Provide fifteen copies plus one 8½" by 11" copy of all drawings or plans required below for review. Drawings must be to scale. These drawings should be turned in with the application.
1. Architectural Review
    - a. Site plan showing roadways, entrances, exits and parking.
    - b. Building elevations showing construction material, material colors, context, and protrusions. Color rendering is preferred. Roof design must be detailed.
    - c. Presentation by architect or owner with knowledge of compatibility with adjacent structures, city context, etc.
  2. Landscape Review
    - a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
    - b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
    - c. Parking lots: Provide calculations of total square footage and square footage designated for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
    - d. Irrigation plan for all landscaped areas.
    - e. Statement of maintenance policy and provisions.



NOTES:  
THIS SITE IS LOCATED IN LOT 1 OF  
OVERTON VILLAGE WITHIN THE  
PHYSICAL ADDRESS OF:  
1001 25th Street South  
Birmingham, Alabama 35205  
THIS PROPERTY, CURRENTLY ZONED  
B-2, IS THE DEVELOPER'S REQUEST  
TO REZONE TO R-9.  
THE MAXIMUM BUILDING HEIGHT  
FOR THE TOWNHOMES IS 35'.  
TWO PARKING SPACES ARE PROVIDED  
PER EACH DWELLING UNIT (GARAGE).  
MINIMUM YARD SETBACKS ARE TO  
FOLLOW THE R-9 GUIDELINES:  
FRONT-12'  
SIDE-7.0'  
REAR-NONE

UNDERGROUND UTILITIES SHOWN ON THIS MAP  
AND SHOULD BE FIELD VERIFIED IN THE FIELD  
PRIOR TO CONSTRUCTION.  
THE ENGINEER'S AND CONTRACTOR IS RESPONSIBLE  
FOR CONSTRUCTION SITE SAFETY.

POE DRIVE



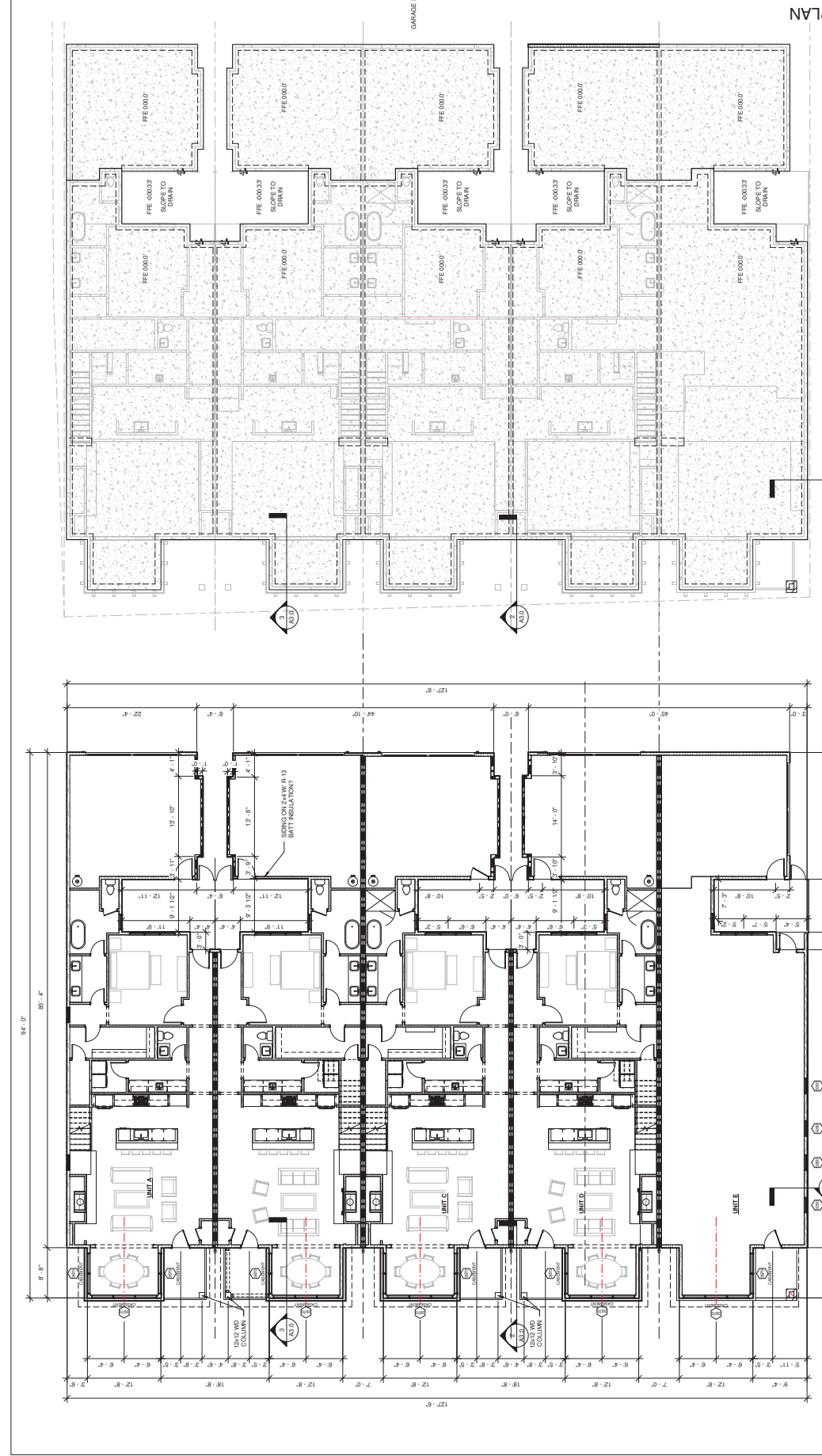
FAIRHAVEN DRIVE



St. John's

# Overton Village Townhomes

Mountain Brook and Vestavia Hills, Alabama



**REVISIONS**

Revision Number	Date	Description
08.21.2019		
18.047		

**Foundation Plan & First Floor**

DATE: 08.21.2019  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]

SCALE: **A1.0**

BY: Author CS: Checker

**DESIGN DEVELOPMENT SITE PLAN**

**GENERAL NOTES**

- INSULATION: CAVITY WALL INSULATION SHALL RECEIVE R-20 BATT INSULATION AT ALL WINDOWS. ALL FIRST LEVEL WINDOWS SHALL HAVE A HEAD HEIGHT OF 6" UNLESS NOTED OTHERWISE. ALL WINDOW SILLS SHALL BE A MINIMUM 1/2" ABOVE FINISHED FLOOR. WINDOW SILLS ABOVE FINISHED FLOOR AND GREATER THAN 72" ABOVE FINISHED FLOOR SHALL BE A MINIMUM 1/2" ABOVE FINISHED FLOOR. ALL WINDOW SILLS SHALL BE A MINIMUM 1/2" ABOVE FINISHED FLOOR.
- ALL WINDOWS FROM BEDROOMS SHALL COMPLY WITH WINDOW EGRESS CLEARANCES AS NOTED ON THE WINDOW SCHEDULE.
- ALL WINDOWS AND DOORS MUST COMPLY WITH THE 2015 IBC. SEE CHECKLIST FOR ADDITIONAL REQUIREMENTS.
- ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED OF 20# STUDS, U.N.O. ALL INTERIOR WALLS ARE TO BE CONSTRUCTED OF 20# STUDS, U.N.O.
- ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED OF 20# STUDS, U.N.O. ALL INTERIOR WALLS ARE TO BE CONSTRUCTED OF 20# STUDS, U.N.O. ALL INTERIOR WALLS ARE TO BE CONSTRUCTED OF 20# STUDS, U.N.O.
- ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED OF 20# STUDS, U.N.O. ALL INTERIOR WALLS ARE TO BE CONSTRUCTED OF 20# STUDS, U.N.O.
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- ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED OF 20# STUDS, U.N.O. ALL INTERIOR WALLS ARE TO BE CONSTRUCTED OF 20# STUDS, U.N.O.
- ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED OF 20# STUDS, U.N.O. ALL INTERIOR WALLS ARE TO BE CONSTRUCTED OF 20# STUDS, U.N.O.
- ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED OF 20# STUDS, U.N.O. ALL INTERIOR WALLS ARE TO BE CONSTRUCTED OF 20# STUDS, U.N.O.
- ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED OF 20# STUDS, U.N.O. ALL INTERIOR WALLS ARE TO BE CONSTRUCTED OF 20# STUDS, U.N.O.

**2. 00 - Foundation Plan**  
1/8" = 1'-0"

**1. 01 - Overall First Floor Plan**  
1/8" = 1'-0"

**NOT FOR CONSTRUCTION**

**BARRETT ARCHITECTURE STUDIO**  
 2320 HOULAND AVENUE  
 SUITE 200  
 BIRMINGHAM, ALABAMA 35206  
 205.269.0161  
 barrettstudio.com

**New Town Houses For:**  
**POE DRYTON VILLAGE**  
 3791 Poe Drive, Vestavia Hills, Alabama

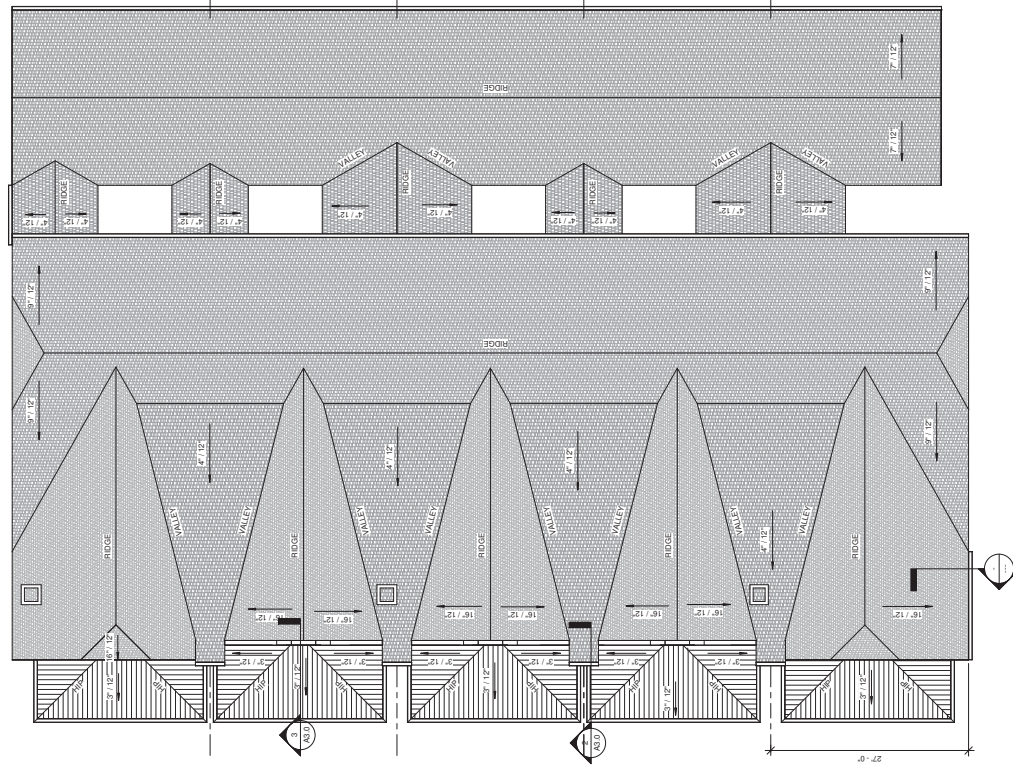


**BARRETT ARCHITECTURE STUDIO**  
 2320 HIGHLAND AVENUE  
 SUITE 200  
 BIRMINGHAM, ALABAMA 35206  
 205.250.6161  
 barrettstudio.com

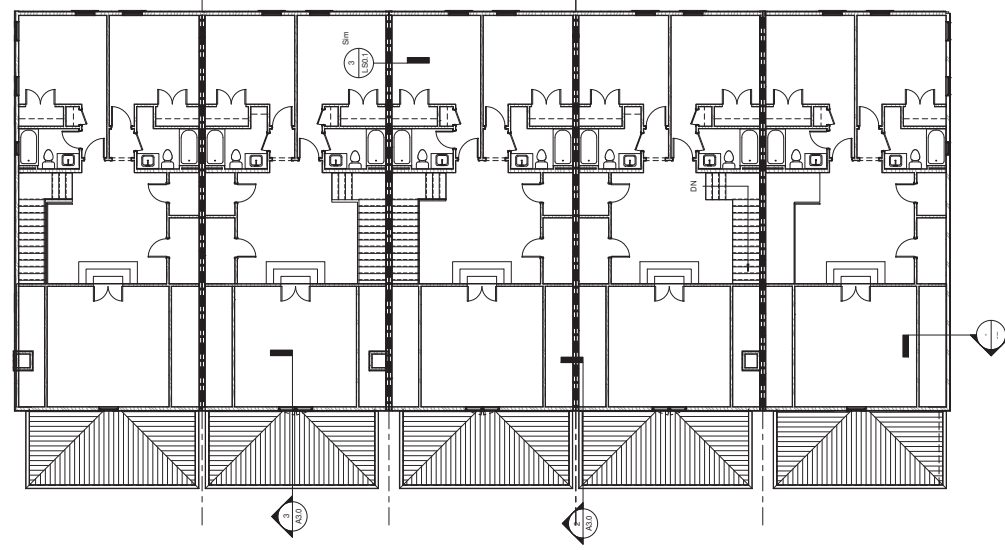
New Town Houses For:  
**OVERTON VILLAGE**  
 3791 Poe Drive, Vestavia Hills, Alabama

Revision Schedule		Revision Number
Revision Date	Revision Number	
08.21.2019	18.047	
REVISIONS		
DATE	BY	REASON
08.21.2019	HANSEN	Second Floor & Roof Plan
Project Name		A1.1
DATE	DRAWN	BY
08.21.2019	HANSEN	BRETT BARRETT
Author		or
Checked		or
Checked		or

DESIGN DEVELOPMENT SITE PLAN

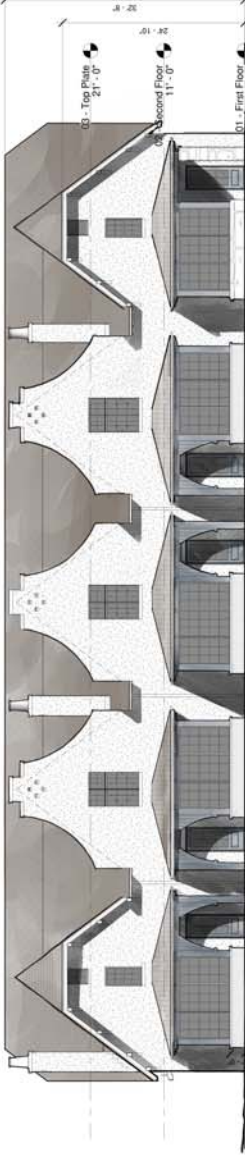


2 03 - Roof Plan  
 1/8" = 1'-0"

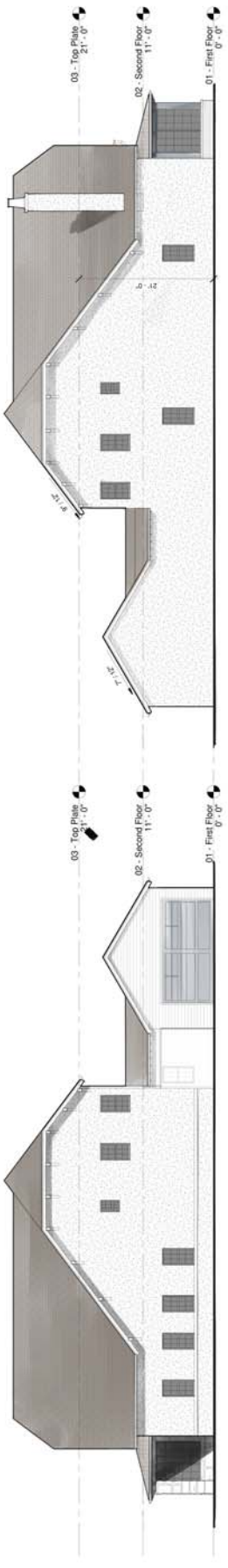


1 02 - Overall Second Floor Plan  
 1/8" = 1'-0"

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1  
Front Elevation  
1/8" = 1'-0"



4  
Side Elevation (North)  
1/8" = 1'-0"



3  
Rear Elevation  
1/8" = 1'-0"

2  
Side Elevation (South)  
1/8" = 1'-0"



**ASPHALT SHINGLE ROOF**  
SHAKEWOOD



**SANDSTONE ASHLAR**



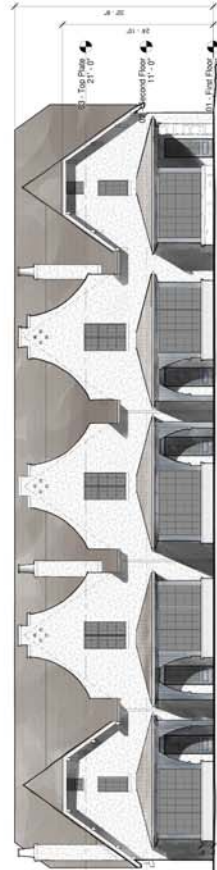
**STUCCO**  
BENJAMIN MOORE 857  
SHEEP'S WOOL



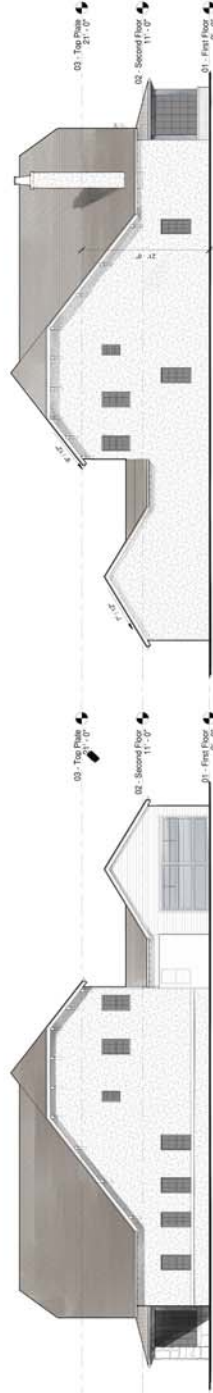
**WINDOWS**  
DARK BRONZE CLAD



**WOOD TRIM**  
BENJAMIN MOORE HC-145  
VAN COURTLAND BLUE



**1 Front Elevation**  
1/8" = 1'-0"



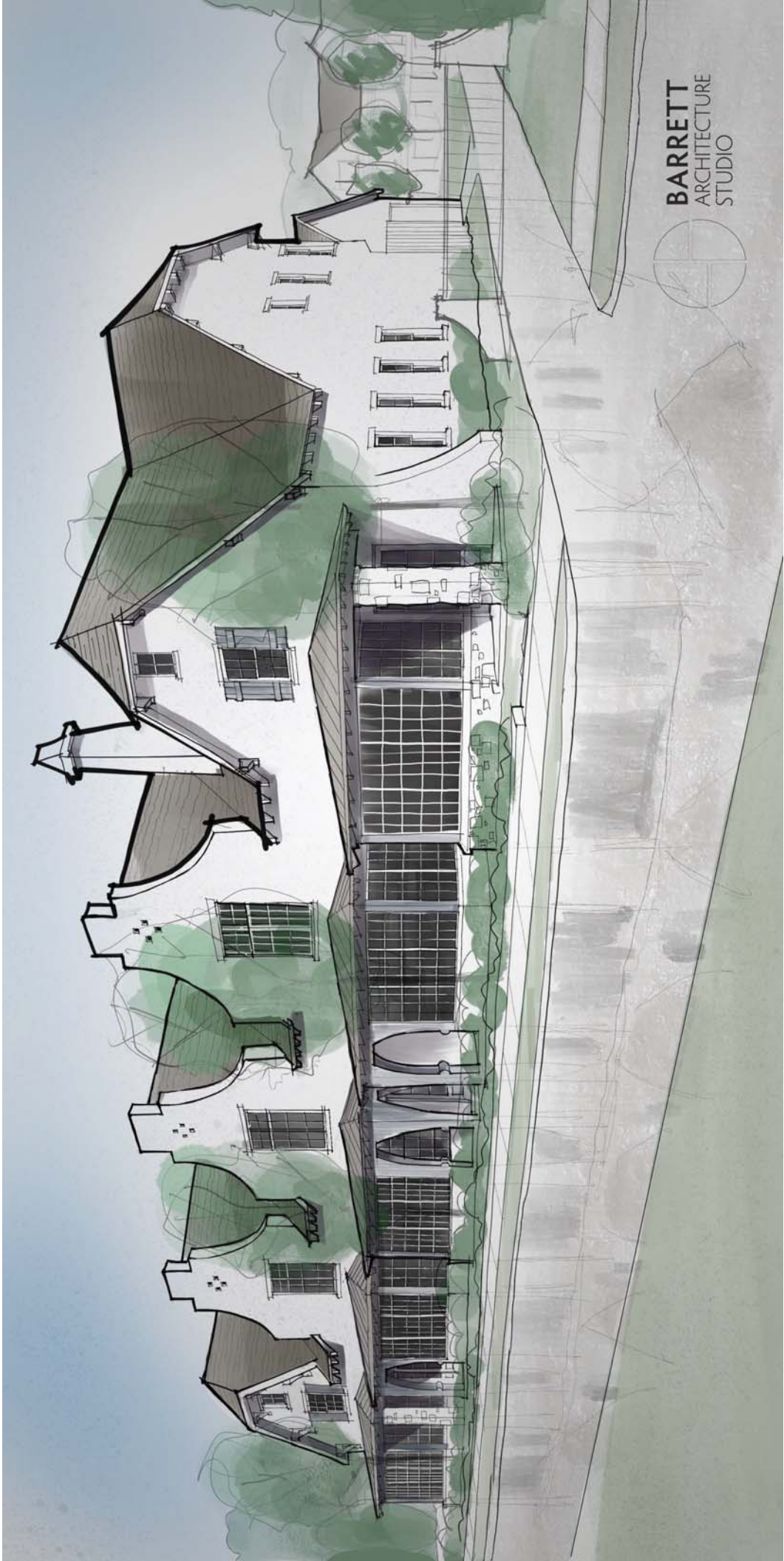
**2 Side Elevation (South)**  
1/8" = 1'-0"

**4 Side Elevation (North)**  
1/8" = 1'-0"



**3 Rear Elevation**  
1/8" = 1'-0"





**BARRETT**  
ARCHITECTURE  
STUDIO



**CITY OF VESTAVIA HILLS  
DESIGN REVIEW BOARD  
APPLICATION**

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---

**I. APPLICANT INFORMATION:**

**Owner of Property (This Section Must Be Completed)**

Name: 8001 Liberty Park, LLC

Address: 3212 11th Ave. North

Birmingham, AL 35234

Phone #: 205.328.8300 Other #: \_\_\_\_\_

E-Mail: jdrummond@stonebuilding.com

**Representing Attorney/Other Agent**

Name: Barrett Architecture Studio

Address: 2320 Highland Ave. Suite 250

Birmingham, AL 35226

Phone #: 205.250.6161 Other #: \_\_\_\_\_

E-Mail: adam@barrettarchstudio.com

---

**II. DESCRIPTION OF PROPERTY:**

LOCATION: 8001 LIBERTY PARKWAY, ESTAVIA HILLS, AL 35242

*Street Address*

Liberty Park, Lot I,

*Subdivision name, Lot #, Block #, etc.*

---

**III. REASONS FOR REQUEST:**

1. ( ) Preliminary Review
  2. (x) Landscape Review
  3. (x) Architectural Review
  5. (x) Final Review of Materials
  6. ( ) Other - Explain \_\_\_\_\_
- 

**IV. PROCESS:**

1. (x) New Building
  2. ( ) Renovation of Existing Building
  3. (x) New Landscape Plan
  4. ( ) Renovation to Existing Landscaping Plan
  7. ( ) Other - Explain \_\_\_\_\_
- 

**V. ZONING**

Vestavia Hills Zoning for the subject property is PB.

---


**VI. OWNER AFFIDAVIT:**

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

  
\_\_\_\_\_  
Owner Signature/Date

  
\_\_\_\_\_  
Representing Agent (if any)/date

Given under my hand and seal  
this 21<sup>st</sup> day of August, 2019.

  
\_\_\_\_\_  
Notary Public

My commission expires 26<sup>th</sup>  
day of March, 2023.

### Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

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    - a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
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    - c. Parking lots: Provide calculations of total square footage and square footage designated for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
    - d. Irrigation plan for all landscaped areas.
    - e. Statement of maintenance policy and provisions.

**SITE TOTALS**  
 TOTAL PARKS PROVIDED: 163 PARKS (INCLUDES 6 ADA SPACES)  
 BUILDING 100 RETAIL: 8,778 SQFT  
 BUILDING 100 OFFICE: 9,883 SQFT  
 PARKING: 84 PARKS PROVIDED = 4,511,000 SQFT  
 BUILDING 200: RESTAURANT: 4,600 SQFT  
 PARKING: 50 CARS PROVIDED = 10,811,000 SQFT  
 BUILDING 300: RETAIL: 5,400 SQFT  
 PARKING: 20 PARKS PROVIDED = 5,411,000 SF

25' BUILDING SETBACK FROM COVENANTS  
 50' BUILDING SETBACK FROM COVENANTS  
 ALABAMA POWER TRANSFORMER LOCATION

PREVIOUSLY APPROVED  
 ADA PARKING SPACES FOR BUILDING 200

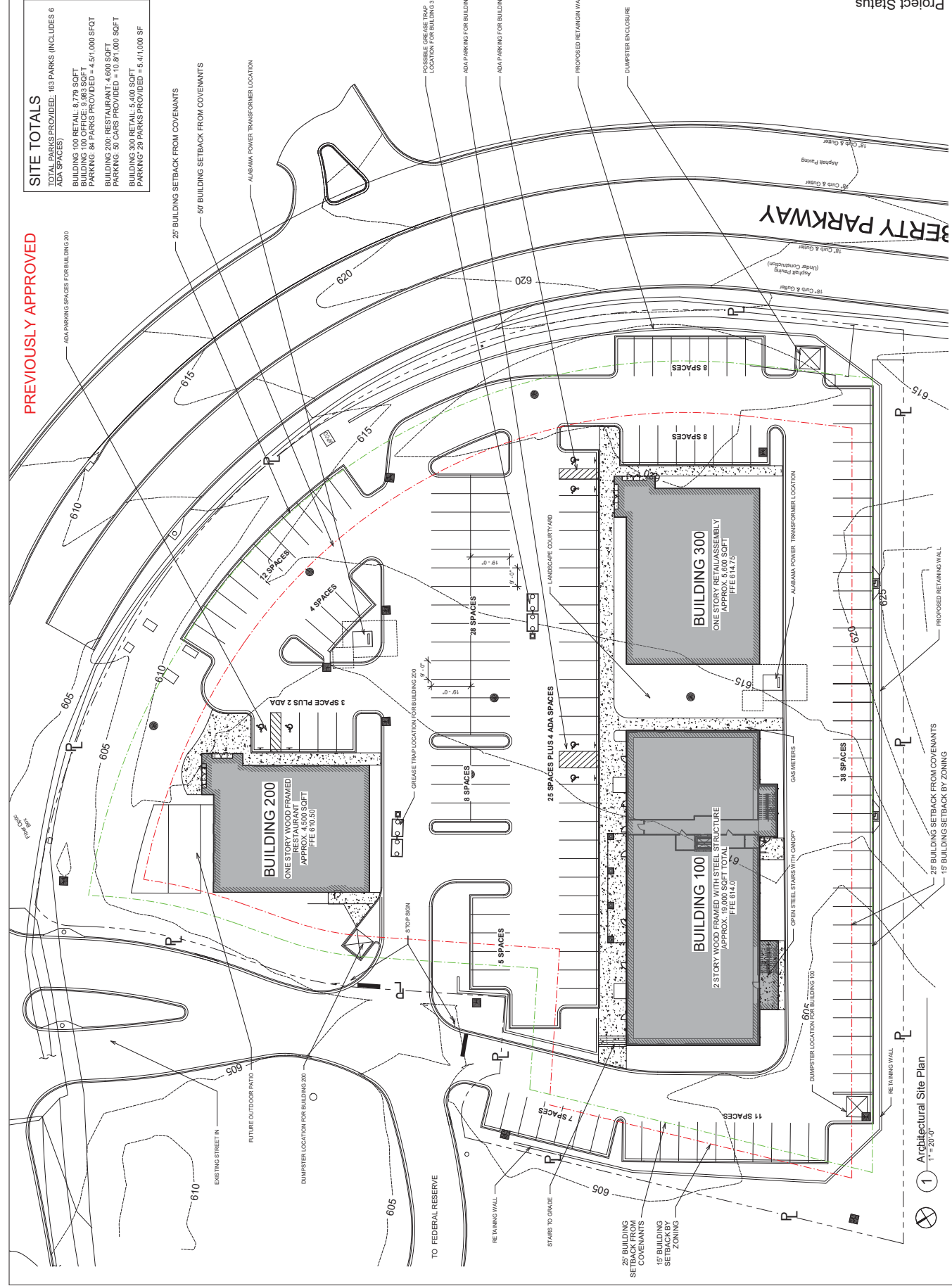
163 PARKS PROVIDED (INCLUDES 6 ADA SPACES)  
 BUILDING 100 RETAIL: 8,778 SQFT  
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 50' BUILDING SETBACK FROM COVENANTS  
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PREVIOUSLY APPROVED  
 ADA PARKING SPACES FOR BUILDING 200

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 BUILDING 300: RETAIL: 5,400 SQFT  
 PARKING: 20 PARKS PROVIDED = 5,411,000 SF

25' BUILDING SETBACK FROM COVENANTS  
 50' BUILDING SETBACK FROM COVENANTS  
 ALABAMA POWER TRANSFORMER LOCATION



**1 Architectural Site Plan**  
 1" = 20'-0"

TO FEDERAL RESERVE  
 RETAINING WALL  
 STAIRS TO GARAGE  
 25' BUILDING SETBACK FROM COVENANTS  
 15' BUILDING SETBACK BY ZONING

25' BUILDING SETBACK FROM COVENANTS  
 50' BUILDING SETBACK FROM COVENANTS  
 ALABAMA POWER TRANSFORMER LOCATION

PREVIOUSLY APPROVED  
 ADA PARKING SPACES FOR BUILDING 200

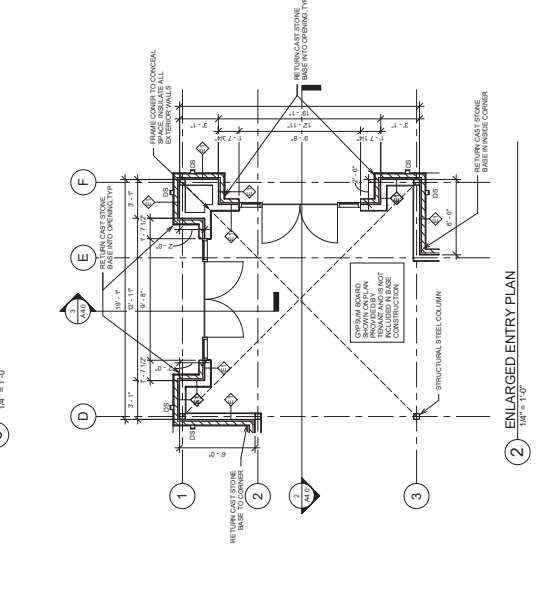
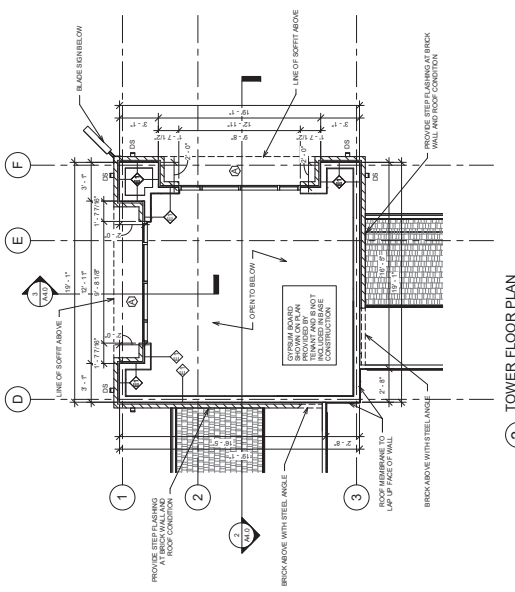
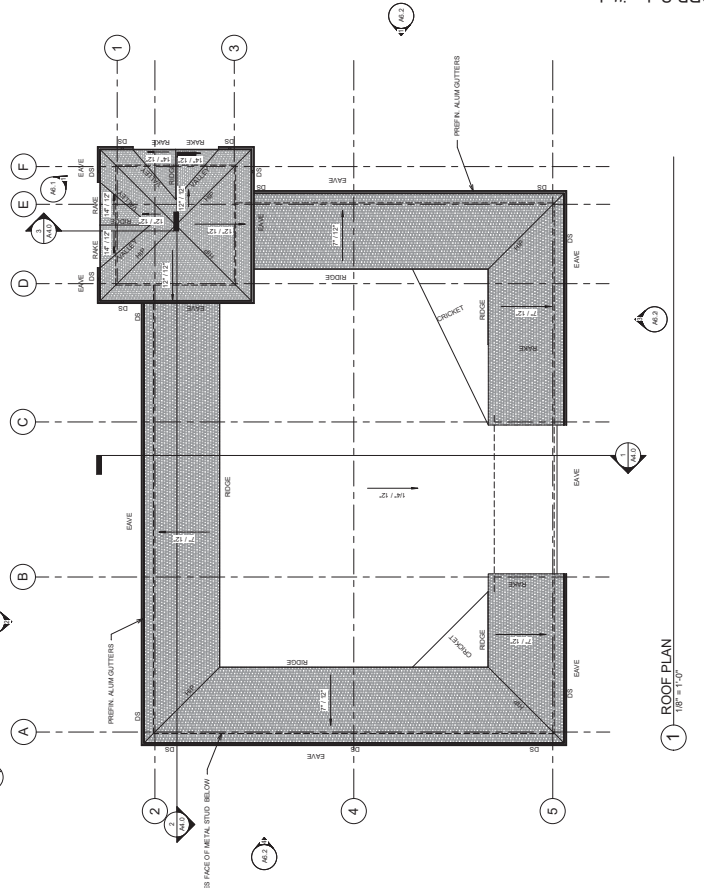
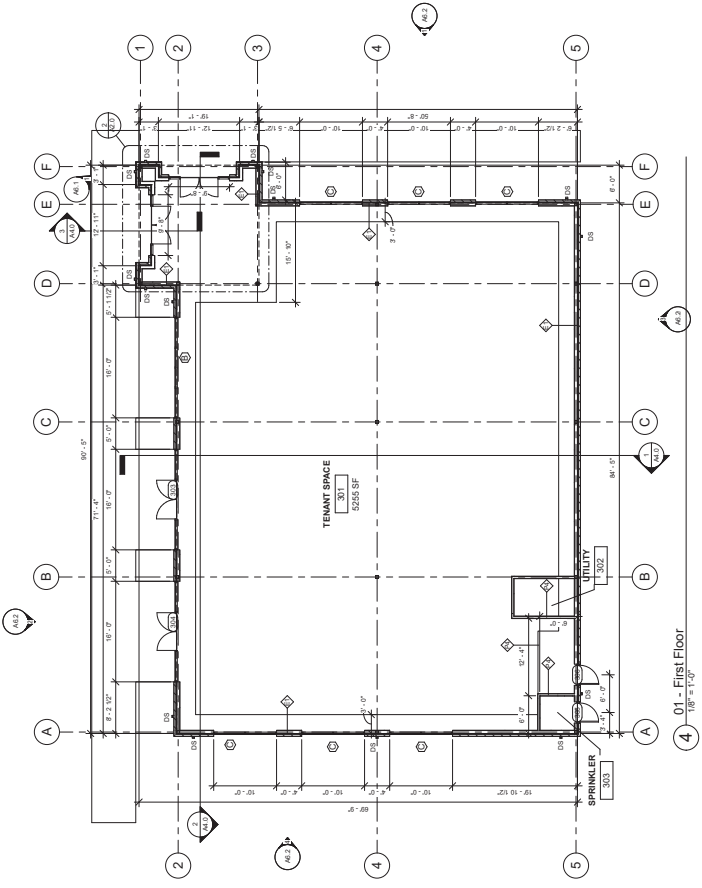
163 PARKS PROVIDED (INCLUDES 6 ADA SPACES)  
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 BUILDING 100 OFFICE: 9,883 SQFT  
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 PARKING: 20 PARKS PROVIDED = 5,411,000 SF

25' BUILDING SETBACK FROM COVENANTS  
 50' BUILDING SETBACK FROM COVENANTS  
 ALABAMA POWER TRANSFORMER LOCATION



Revision Schedule	Revision Number	Revision Description
	1	ISSUED FOR PERMIT

DRB Submittal



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NOT FOR CONSTRUCTION

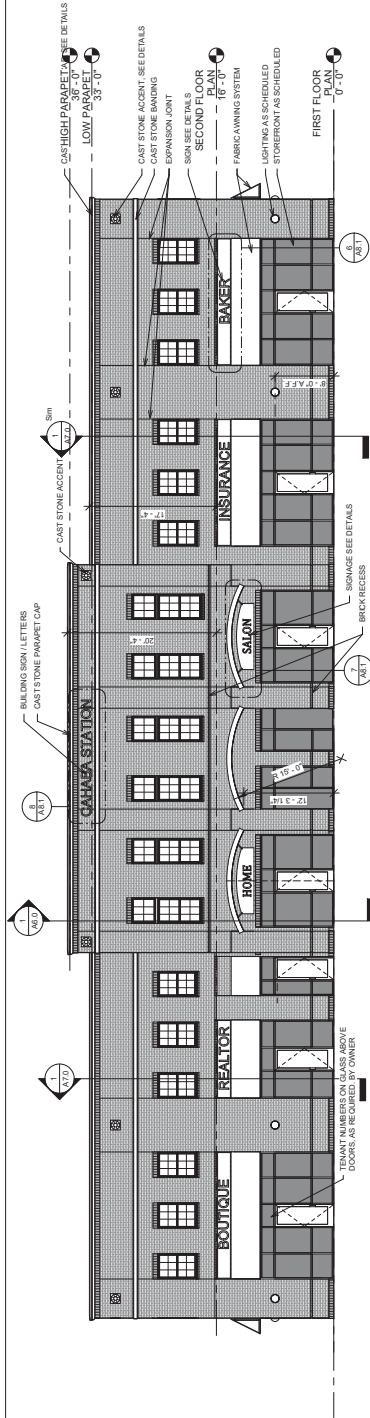
**BARRETT  
ARCHITECTURE  
STUDIO**  
230 HIGHLAND AVENUE  
BIRMINGHAM, ALABAMA 35203  
205.250.6161  
barrett@bahstudio.com

NEW CONSTRUCTION AT LIBERTY PARK  
Vestavia Hills, Alabama

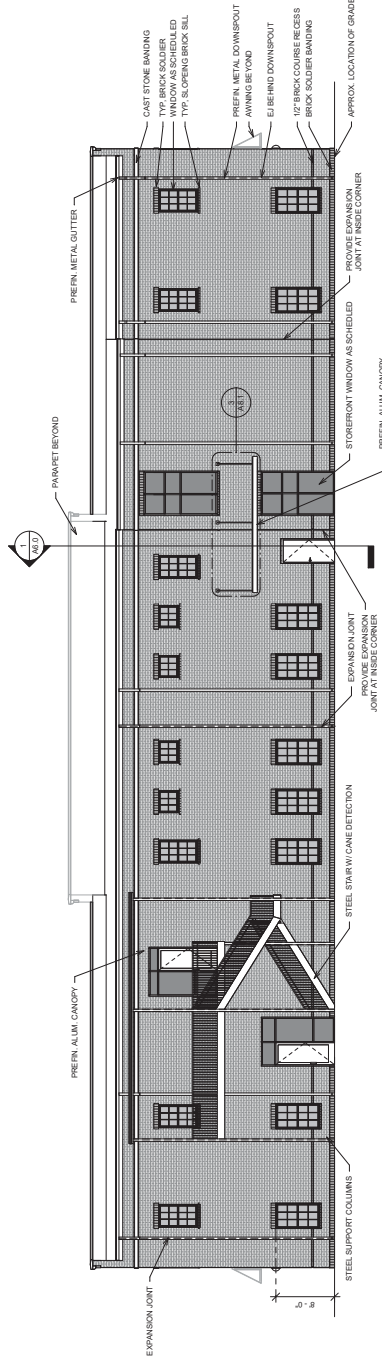
REVISIONS	REVISION NUMBER	REVISION DATE
DATE	05.19.2019	
PROJECT	18-034	
FILE		
DATE		

**SYSTEMS  
ELEVATIONS**  
A4.0

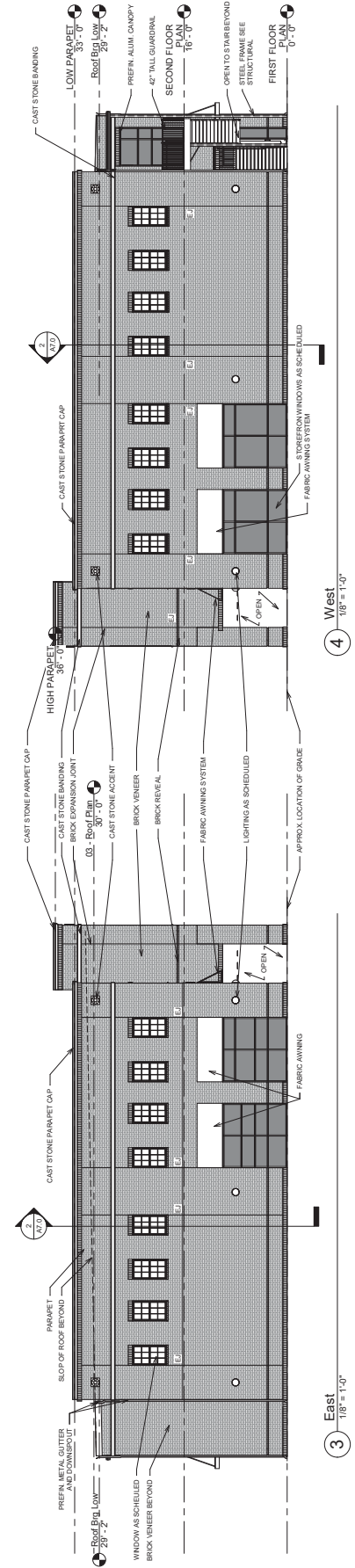
PREVIOUSLY APPROVED



1 North  
1/8" = 1'-0"



2 South  
1/8" = 1'-0"



3 East  
1/8" = 1'-0"

PRELIM.



CAST STONE



GUTTERS & DOWNSPOUTS



WINDOWS + STORE FRONT



METAL TENANT SIGNS



BLACK FABRIC AWNINGS



ASPHALT SHINGLE ROOFING

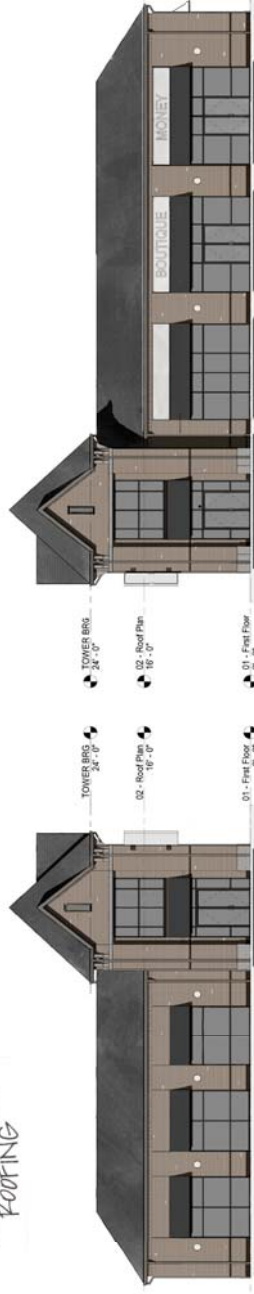
MORTAR



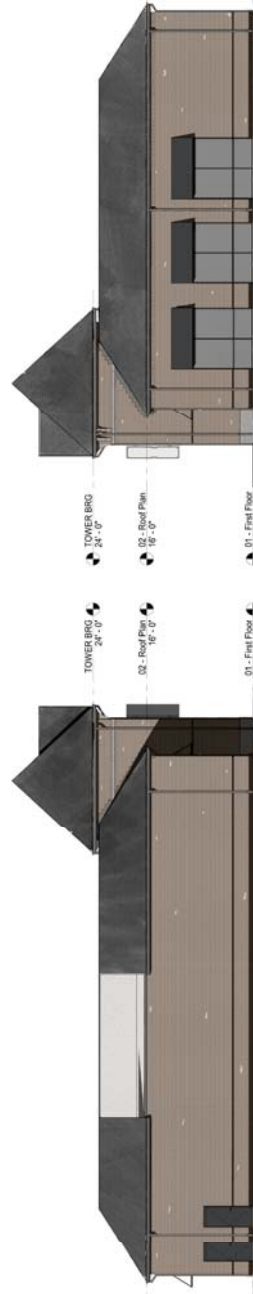
MAIN BRICK



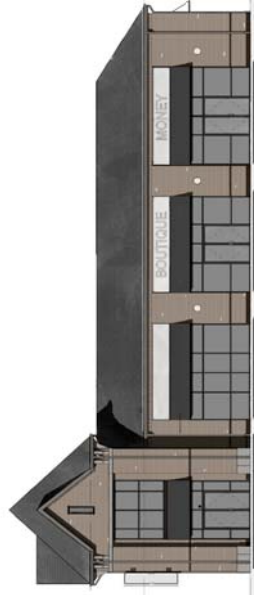
ACCENT BRICK AT SOLDIER



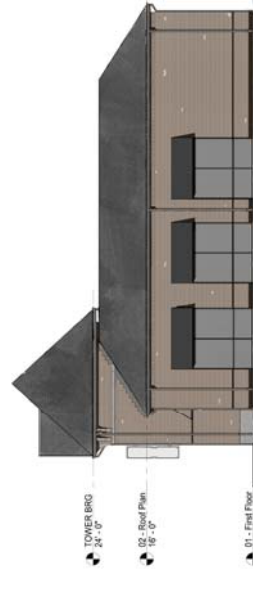
1 EAST ELEVATION  
1/8" = 1'-0"



3 SOUTH ELEVATION  
1/8" = 1'-0"



2 NORTH ELEVATION  
1/8" = 1'-0"



4 WEST ELEVATION  
1/8" = 1'-0"



PREVIOUSLY APPROVED



CAST STONE



GUTTERS & DOWNSPOUTS



WINDOWS + STORE FRONT



METAL TENANT SIGNS



BLACK FABRIC AWNINGS

MORTAR



MAIN BRICK



ACCENT BRICK AT SOLDIER & SIL

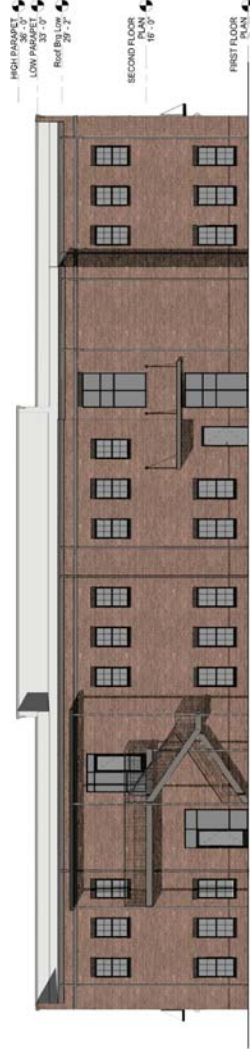


1 NORTH ELEVATION 1/8" = 1'-0"



2 EAST ELEVATION 1/8" = 1'-0"

3 WEST ELEVATION 1/8" = 1'-0"



4 SOUTH ELEVATION 1/8" = 1'-0"

06.19.2019

BARRETT ARCHITECTURE STUDIO



**CITY OF VESTAVIA HILLS  
DESIGN REVIEW BOARD  
APPLICATION**

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**I. APPLICANT INFORMATION:**

**Owner of Property (This Section Must Be Completed)**

Name: Vestavia MZL LLC  
Address: 254 W. 31st Street, 4th Floor  
New York, NY 10001  
Phone #: (617) 841-9410 Other #: \_\_\_\_\_  
E-Mail: fmcfadden@kprcenters.com

**Representing Attorney/Other Agent**

Name: Bill Segrest  
Address: 2204 First Ave. South Suite 200  
Birmingham, AL 35233  
Phone #: (205) 252-9811 Other #: \_\_\_\_\_  
E-Mail: billsegrest@wba-architects.com

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**II. DESCRIPTION OF PROPERTY:**

LOCATION: 700 Montgomery Highway, Vestavia Hills, AL 35216  
*Street Address*  
Vestavia Hills City Center  
*Subdivision name, Lot #, Block #, etc.*

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**III. REASONS FOR REQUEST:**

1. ( ) Preliminary Review
  2. ( ) Landscape Review
  3. (✓) Architectural Review
  5. (✓) Final Review of Materials
  6. ( ) Other - Explain \_\_\_\_\_
- 

**IV. PROCESS:**

1. ( ) New Building
  2. (✓) Renovation of Existing Building
  3. ( ) New Landscape Plan
  4. ( ) Renovation to Existing Landscaping Plan
  7. ( ) Other - Explain \_\_\_\_\_
- 

**V. ZONING**

Vestavia Hills Zoning for the subject property is \_\_\_\_\_.

---

**VI. OWNER AFFIDAVIT:**

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

  
 Owner Signature/Date

 8/22/19  
 Representing Agent (if any)/date

Given under my hand and seal  
 this 22 day of August, 2019.

  
 Notary Public



My commission expires Jun 25  
 day of Jun, 2022.

### Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

- General: Provide fifteen copies plus one 8½" by 11" copy of all drawings or plans required below for review. Drawings must be to scale. These drawings should be turned in with the application.
1. Architectural Review
    - a. Site plan showing roadways, entrances, exits and parking.
    - b. Building elevations showing construction material, material colors, context, and protrusions. Color rendering is preferred. Roof design must be detailed.
    - c. Presentation by architect or owner with knowledge of compatibility with adjacent structures, city context, etc.
  2. Landscape Review
    - a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
    - b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
    - c. Parking lots: Provide calculations of total square footage and square footage designated for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
    - d. Irrigation plan for all landscaped areas.
    - e. Statement of maintenance policy and provisions.

# VESTAVIA HILLS CITY CENTER EXTERIOR IMPROVEMENTS



APPLICATION FOR FINAL APPROVAL





SW 7068  
GRIZZLE GRAY

SW 9140  
BLUSTERY SKY

SW 7035  
AUSTHETIC WHITE

SW 9170  
ACIER

SW 7030  
ANEW GRAY

SW 7624  
SLATE TILE

NEW PAINT SCHEME

WILLIAMS BLACKSTOCK ARCHITECTS

EXTERIOR IMPROVEMENTS  
VESTAVIA HILLS CITY CENTER



SW 7068  
GRIZZLE GRAY

SW 7035  
AUSTHETIC  
WHITE

SW 9170  
ACIER

SW 7030  
ANEW GRAY

PANERA BREAD

collage  
designer consignment

NEW AWNING  
WITH PANERA  
LOGO

SW 7068  
GRIZZLE GRAY

SW 7030  
ANEW GRAY

GREEN TO MATCH  
EXISTING PANERA  
GREEN

SW 7030  
ANEW GRAY

NEW PAINT SCHEME

WILLIAMS BLACKSTOCK ARCHITECTS

EXTERIOR IMPROVEMENTS  
VESTAVIA HILLS CITY CENTER





SW 9170  
ACIER

SW 7030  
ANEW GRAY

SW 7624  
SLATE TILE

SW 9170  
ACIER

SW 7030  
ANEW GRAY

PAINT TO  
MATCH STEEL.

194

SWAID  
CLINIC  
EXIT ONLY

EXTERIOR IMPROVEMENTS  
VESTAVIA HILLS CITY CENTER

WILLIAMS BLACKSTOCK ARCHITECTS

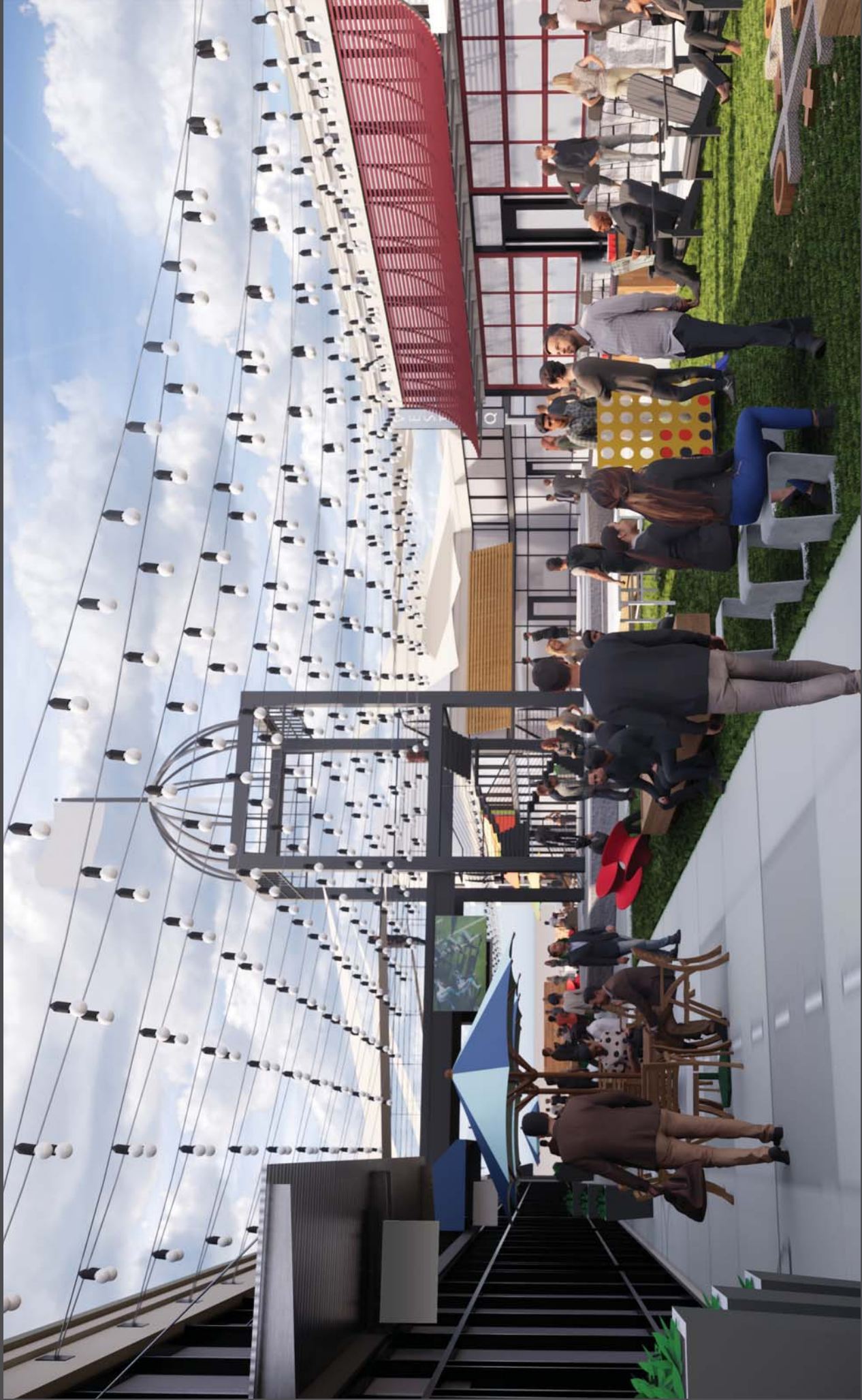
NEW PAINT SCHEME



EXTERIOR IMPROVEMENTS  
VESTAVIA HILLS CITY CENTER

WILLIAMS BLACKSTOCK ARCHITECTS

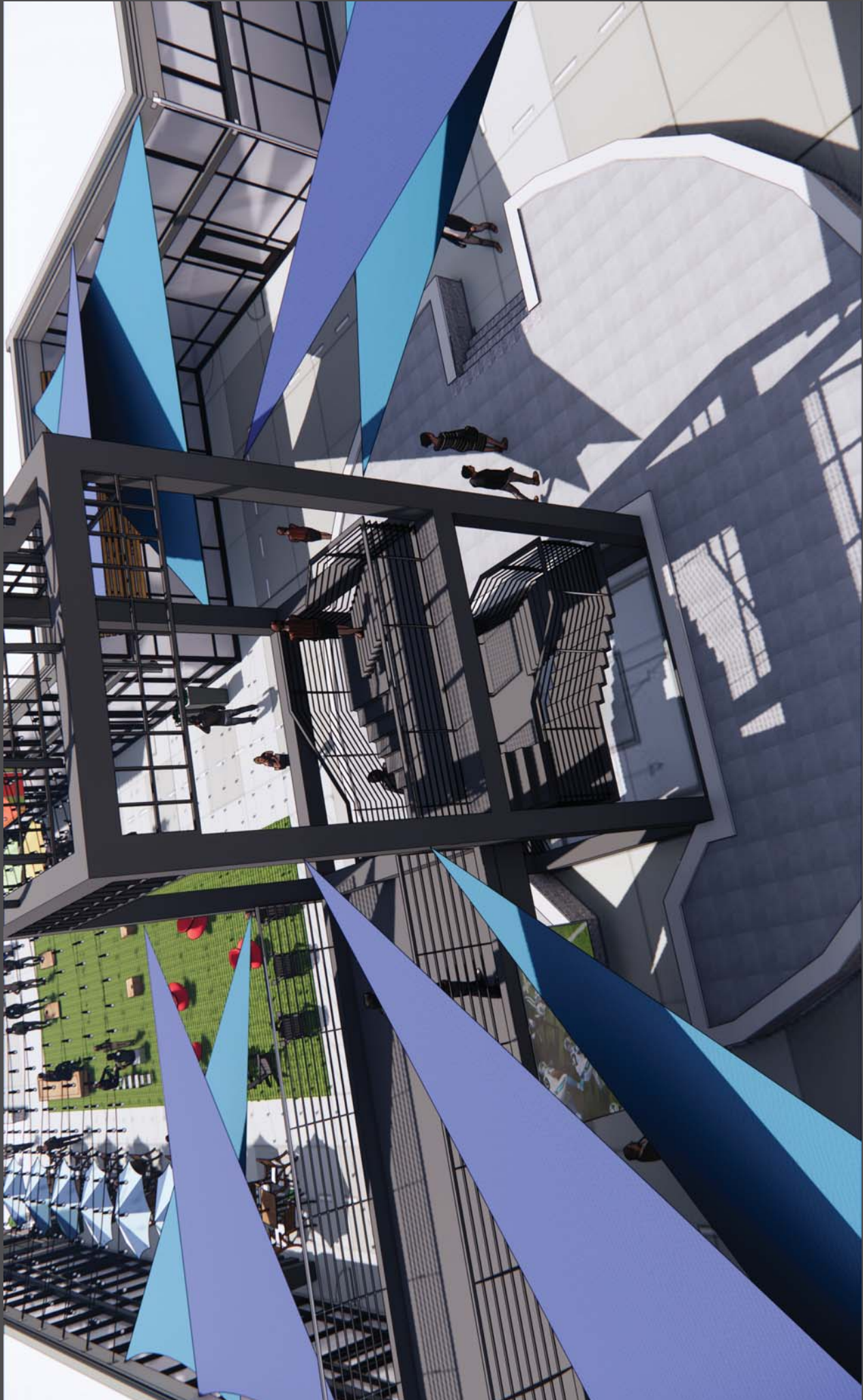
CONCEPTUAL VIEW



CONCEPTUAL VIEW

WILLIAMS BLACKSTOCK ARCHITECTS

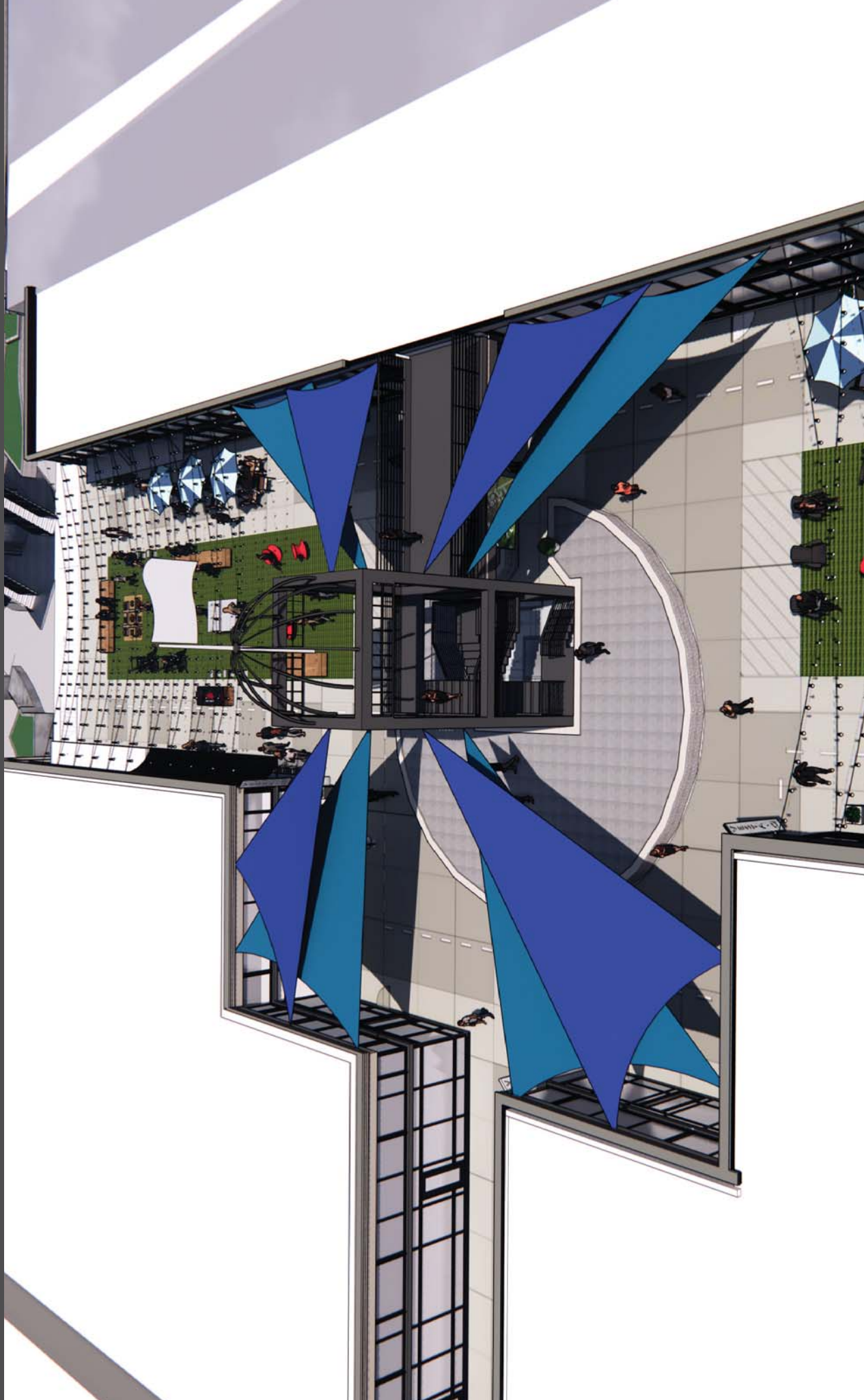
EXTERIOR IMPROVEMENTS  
VESTAVIA HILLS CITY CENTER



EXTERIOR IMPROVEMENTS  
VESTAVIA HILLS CITY CENTER

WILLIAMS BLACKSTOCK ARCHITECTS

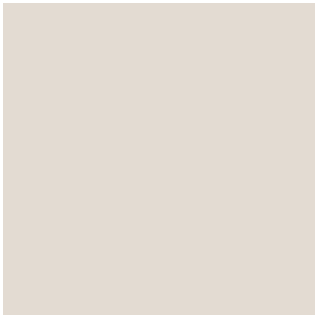
CONCEPTUAL VIEW



EXTERIOR IMPROVEMENTS  
VESTAVIA HILLS CITY CENTER

WILLIAMS BLACKSTOCK ARCHITECTS

CONCEPTUAL VIEW - SUN SHADE SAILS



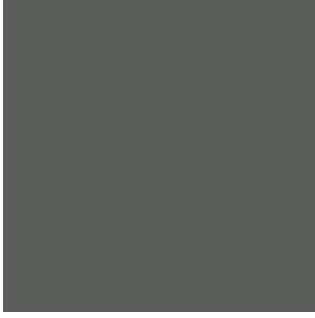
PAIN  
SW7035 AESTHETIC WHITE



PAIN  
SW7030 ANEW GRAY



PAIN  
SW9170 ACIER



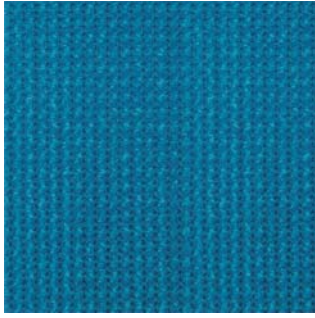
PAIN  
SW7068 GRIZZLE GRAY



PAIN  
SW9140 BLUSTERY SKY



PAIN  
SW7624 SLATE TILE



SHADE FABRIC  
TURQUOISE



SHADE FABRIC  
AQUAMARINE



STONE VENEER  
ELDORADO STONE - LEDGECUT 33



SYNTHETIC TURF