

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
AGENDA
NOVEMBER 7, 2019
6:00 P.M.**

Roll Call.

Approval of minutes – October 3, 2019

- (1) **D-0819-14** Mark Hancock is requesting **Landscape Review** for the property located at **2828 Old 280 Ct.** The purpose of this request is for a new landscaping plan. The property is owned by Mark Hancock and is zoned Vestavia Hills O-1.
- (2) **D-0919-16** Continental Equity Corporation is requesting **Lighting Plan Review** for the property located at **2301 Old Columbiana Rd.** The purpose of this request is for new park lighting. The property is owned by Continental Equity Corporation and is zoned Vestavia Hills Inst-1.
- (3) **D-1119-24** Robert Clinton Gentry is requesting **Landscape Review, Architectural Review, and Final Review of Materials** for the property located at **3100 Blue Lake Dr.** The purpose of this request is for a new building. The property is owned by Robert Clinton Gentry and is zoned Vestavia Hills B-2.
- (4) **D-1119-25** Bruno Family, LLC is requesting **Landscape Review, Architectural Review, and Final Review of Materials** for the property located at **3122 Green Valley Rd.** The purpose of this request is for renovation of an existing building and landscaping plan. The property is owned by Bruno Family, LLC and is zoned Vestavia Hills O-1.

Time of Adjournment.

CITY OF VESTAVIA HILLS

DESIGN REVIEW BOARD

MINUTES

OCTOBER 3, 2019

The Vestavia Hills Landscape and Architectural Control Board met in a regular session on this date at 6:00 PM. The roll was called with the following:

MEMBERS PRESENT: David Giddens, Acting Chairman
Chris Pugh
Joe Ellis
Rip Weaver

MEMBERS ABSENT: Robert Thompson, Chairman
Jeff Slaton
Mae Coshatt

OTHER OFFICIALS PRESENT: Conrad Garrison, City Planner

APPROVAL OF MINUTES

The minutes for September 5, 2019 were presented for approval.

MOTION Motion to dispense with the reading of the minutes for September 5, 2019 was made by Mr. Weaver and 2nd was by Mr. Pugh. Motion as carried on a voice vote as follows:

Mr. Weaver – yes	Mr. Pugh – yes
Mr. Ellis– yes	Mr. Giddens – yes
Motion carries.	

Lighting Plan Review

D-0919-16 Continental Equity Corporation is requesting **Lighting Plan Review** for the property located at **2301 Old Columbiana Rd.** The purpose of this request is for new park lighting. The property is owned by Continental Equity Corporation and is zoned Vestavia Hills Inst-1.

Mr. Garrison described the background of the request and stated it was for nighttime lights on the fields on Old Columbiana Rd.

Richard Pennino was present to explain the lighting plan.

The Board asked for additional information including the location and height of light poles, the types of bulbs and a clearer photometric plan.

Mr. Pennino agreed to bring in the updated plan at the next meeting.

Case Postponed.

Landscape Review & Final Review of Materials

D-1019-22 CRB Construction is requesting **Landscape Review and Final Review of Materials** for the property located at **2400 Magnolia Cove**. The purpose of this request is for new subdivision entrance. The property is owned by CRB Construction and is zoned Vestavia Hills R-9.

Mr. Garrison described the background of the request for a new subdivision entrance.

Chase Beard was present to present the plan. The Board agreed with the plan with some changes to the landscaping.

MOTION Motion to approve Landscape Review (as amended) and Final Review of Materials for the property located at 2400 Magnolia Cove was made by Mr. Pugh. Second was made by Mr. Weaver. Voice vote as follows:

Mr. Weaver – yes

Mr. Pugh – yes

Mr. Ellis– yes

Mr. Giddens – yes

Motion carries.

Landscape Review, Architectural Review & Final Review of Materials

D-1019-23 Royal Automotive is requesting **Landscape Review, Architectural Review, and Final Review of Materials** for the property located at **3010 Columbiana Rd**. The purpose of this request is for renovation of an existing building and landscaping plan. The property is owned by Royal Automotive and is zoned Vestavia Hills B-3.

Mr. Garrison described the background of the request.

Katie Wood was present to explain the plan.

The Board agreed with the plan but swapped out the carissa holley with natural grasses.

MOTION Motion to approve Architectural Review and Final Review of Materials for the property located at 3791 Poe Dr. was made by Mr. Slaton. Second was made by Mr. Ellis. Voice vote as follows:

Mrs. Coshatt – yes	Mr. Weaver – yes
Mr. Pugh – yes	Mr. Giddens – yes
Mr. Slaton – yes	Mr. Ellis– yes
Mr. Thompson – yes	Motion carries.

Architectural Review & Final Review of Materials

D-0919-20 8001 Liberty Park, LLC is requesting **Architectural Review and Final Review of Materials** for the property located at **8001 Liberty Pkwy.** The purpose of this request is for a new building. The property is owned by 8001 Liberty Park, LLC and is zoned Vestavia Hills PUD-PB.

Mr. Garrison described the background of the request and this is for a new townhome development.

Adam Kent was present to explain the plan.

The Board agreed with the architecture and materials.

MOTION Motion to approve Architectural Review and Final Review of Materials for the property located at 8001 Liberty Pkwy. was made by Mr. Giddens. Second was made by Mr. Weaver. Voice vote as follows:

Mrs. Coshatt – yes	Mr. Weaver – yes
Mr. Pugh – yes	Mr. Giddens – yes
Mr. Slaton – yes	Mr. Ellis– yes
Mr. Thompson – yes	Motion carries.

Architectural Review & Final Review of Materials

D-0919-21 Vestavia MZL LLC is requesting **Architectural Review and Final Review of Materials** for the property located at **700 Montgomery Hwy.** The purpose of this request is for a new architectural plan. The property is owned by Vestavia MZL LLC and is zoned Vestavia Hills B-2.

Mr. Garrison described the background of the request and this is for a new townhome development.

Bill Segrest was present to explain the changes to the City Center complex.

The Board agreed with the architecture and materials.

MOTION Motion to approve Landscape Review (as amended) Architectural Review and Final Review of Materials for the property located at 3010 Columbiana Rd. was made by Mr. Pugh. Second was made by Mr. Ellis. Voice vote as follows:

Mr. Weaver – yes

Mr. Ellis– yes

Motion carries.

Mr. Pugh – yes

Mr. Giddens – yes

Conrad Garrison
City Planner

CITY OF VESTAVIA HILLS DESIGN REVIEW BOARD APPLICATION

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: Mark Hancock
Address: 4517 Pine Tree Circle
Vestavia Hills, AL 35243
Phone #: 205.497.3291 Other #: _____
E-Mail: mark@hancocksbuilt.com

2019 JUL 17 P 12:21

Representing Attorney/Other Agent

Name: Justin Collier / Principal Architect
Address: 4517 Pine Tree Circle
Vestavia Hills, AL 35243
Phone #: 334.399.7713 Other #: _____
E-Mail: justin@coendeavor.com

II. DESCRIPTION OF PROPERTY:

LOCATION: 2828 Old 280 Court, Vestavia Hills, AL 35243
Street Address

Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST:

1. () Preliminary Review
2. (✓) Landscape Review
3. (✓) Architectural Review
5. (✓) Final Review of Materials
6. () Other - Explain _____

IV. PROCESS:

1. (✓) New Building
2. () Renovation of Existing Building
3. () New Landscape Plan
4. () Renovation to Existing Landscaping Plan
7. () Other - Explain _____

V. ZONING

Vestavia Hills Zoning for the subject property is O-1.

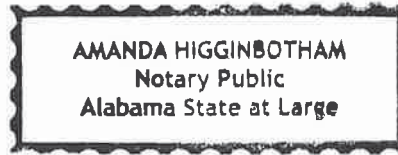
VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.


Owner Signature/Date

 07/17/2019
Representing Agent (if any)/date

Given under my hand and seal
this 17th day of July, 2019.




Notary Public

My Commission Expires
June 8, 2022

My commission expires _____,
day of _____, 20____.

Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

- General: Provide fifteen copies plus one 8½" by 11" copy of all drawings or plans required below for review. Drawings must be to scale. These drawings should be turned in with the application.
1. Architectural Review
 - a. Site plan showing roadways, entrances, exits and parking.
 - b. Building elevations showing construction material, material colors, context, and protrusions. Color rendering is preferred. Roof design must be detailed.
 - c. Presentation by architect or owner with knowledge of compatibility with adjacent structures, city context, etc.
 2. Landscape Review
 - a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
 - b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
 - c. Parking lots: Provide calculations of total square footage and square footage designated for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
 - d. Irrigation plan for all landscaped areas.
 - e. Statement of maintenance policy and provisions.

**co
endeavor**

The Lindsey Building | Landscaping Review Packet
2828 Old 280 Court
Vestavia Hills, Alabama 35243

09 October 2019

Landscaping Plan



TYPICAL RETAINING WALL SECTION

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
APPLICATION**

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: Davis Hunt - CONTINENTAL EQUITY CORPORATION, LLC

Address: 2604 Tyne Blvd

Nashville, TN 37215

Phone #: 615-500-6810 Other #: _____

E-Mail: business@dhunt.com

Representing Attorney/Other Agent

Name: Richard Pennino

Address: 2301 Old Columbiana Road

Birmingham, AL 35216

Phone #: 770-262-5741 Other #: _____

E-Mail: rich@forgevestavia.com

II. DESCRIPTION OF PROPERTY:

LOCATION: 2221 Old Columbiana Road

Street Address

Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST:

1. () Preliminary Review
2. () Landscape Review
3. () Architectural Review
5. () Final Review of Materials
6. () Other - Explain _____

2019 AUG 20 P 1:15

IV. PROCESS:

1. () New Building
2. () Renovation of Existing Building
3. () New Landscape Plan
4. () Renovation to Existing Landscaping Plan
7. () Other - Explain _____

V. ZONING

Vestavia Hills Zoning for the subject property is _____.

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

U. D. [Signature]
Owner Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this 4 day of December, 20 18.

[Signature]
Notary Public

My commission expires 05/05/2020
day of 05, 20 20.



Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

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 - b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
 - c. Parking lots: Provide calculations of total square footage and square footage designated for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
 - d. Irrigation plan for all landscaped areas.
 - e. Statement of maintenance policy and provisions.

SPEC PRO

LED SPORTSLIGHTER

500W, 700W

REPLACES UP TO A 1600-WATT METAL HALIDE FIXTURE

- Double-Folded Aluminum Fin Heatsink
- Suitable for Indoor and Outdoor Locations
- Expected Life over 100,000 Hours
- Available in 500W and 700W
- Superior Optics for Exceptional Beam Uniformity
- Industry-Leading 15-Year LED Board Warranty



SPL Shown With Optional VGS Glare Shield



POWER

Available in 500W and 700W Configurations

PRECISION

High Precision Optics are Paired with an Engraved Protractor for Proper Aim

ENGINEERING

Folded-fin Heatsink Keeps High-Output LEDs Cooler During Operation

ORDERING INFORMATION

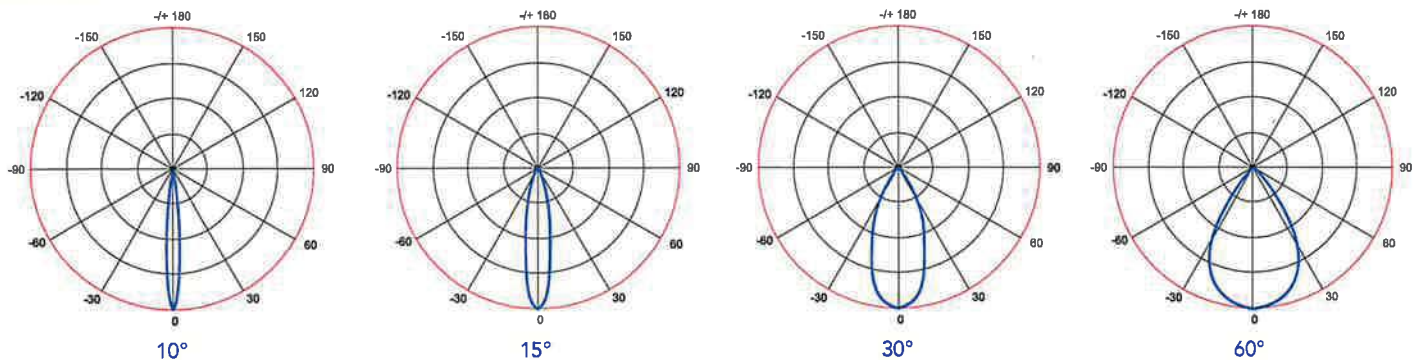
EXAMPLE PART #: SPL-500-40K-15-V01-BL-TL-VDIM-80C

SERIES	WATTS	CCT	OPTICS	INPUT PWR	FINISH	MOUNTING	DIMMING	OPTIONS
SPL	500	40K	10	V01 110/277V	BL	TL Tilt Bracket (Remote Driver)	NDIM No Dimming	SP-10 Surge Protector 10kA
	700	50K	15	V04 347/480V	WT	HT Horizontal Tennon (Remote Driver)	VDIM 0-10V Dimmable	SP-20 Surge Protector 20kA
		57K	30		RAL		DDIM DALI Dimming	VGS Visor Glare Shield
			60					BGS Bullseye Glare Shield
								90C 90 CRI
								80C 80 CRI
								SF14 Slipfitter for 2-3/8" Tennon
								NAT Natatorium
								SYN Synapse Wireless

NOTES

- Remote Driver Standard; Distance from Luminaire May Not Exceed 100'.
- Standard Remote Driver Distance from Luminaire is 6' unless Otherwise Specified.
- 74 CRI Standard
- Custom RAL Colors Require Additional Costs & Lead Times

OPTICS



Due to continuous improvement and innovation, product appearance and specifications may change without notice. Actual performance may differ as a result of end-user environment and application.

SPEC PRO

LED SPORTSLIGHTER

D-0919-16//2900362002004.001
 2221 Old Columbiana Rd.
 Review for LED lighting
 Continental Equity Corporation



LUMEN CHART

	4000K	5000K	5700K
500W	62,100 lm	62,300 lm	63,200 lm
700W	82,900 lm	83,100 lm	84,500 lm

Typical delivered lumen data is approximate. Actual lumens will vary due to installation environment and beam pattern. Please see IES files.

SPECIFICATIONS

- Expected Life** | Over 100,000 hrs.
- Rating** | IP65 Housing / IP66 Boards
- Color Rendering Index (CRI)** | >74
- Operating Temp** | -45°C – +65°C
- Relative Humidity** | 0-90% RH
- Power Factor** | >96%
- Input Line Voltage** | 90-305 / 200-525 VAC
- Input Line Frequency** | 50/60 Hz
- THD** | <10%
- LED Chips** | Osram
- Driver** | Remote: Inventronics/Meanwell
- Weight & EPA** | See Chart
- Vibration Rating** | 3.0G per ANSI 136.31

LISTINGS

- UL | 1598
- UL Surge Protection | 1449
- ANSI Surge Protection | C62.41.2
- ETL Listed
- CE Listed
- DLC Listed

EPA & WEIGHT

500W & 700W Standard Fixture	Front	Side
90° From Horizontal	2.9	1.3
45° From Horizontal	1.7	1.3
0° From Horizontal	1.3	1.3

500W & 700W Fixture w/VGS	Front	Side
90° From Horizontal	2.9	1.9
45° From Horizontal	1.7	1.9
0° From Horizontal	1.3	1.9

500W & 700W Fixture w/BGS	Front	Side
90° From Horizontal	2.9	1.9
45° From Horizontal	1.7	1.9
0° From Horizontal	1.9	1.9

MATERIALS

- Housing** | Corrosion Resistant Aluminum
- Gasketing** | Neoprene Rubber
- Hardware** | 18-8 Stainless Steel
- Finish** | Protective UV Stabilized Powdercoat
- 4000 Hour Salt Spray Tested to ASTM B117
- Lens** | Tempered Glass

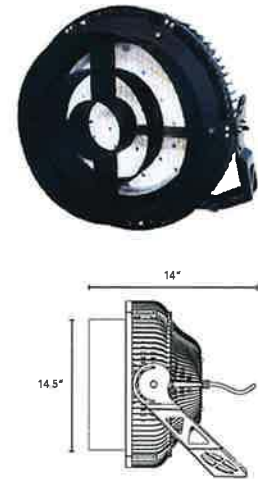
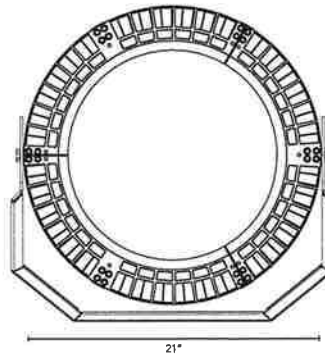
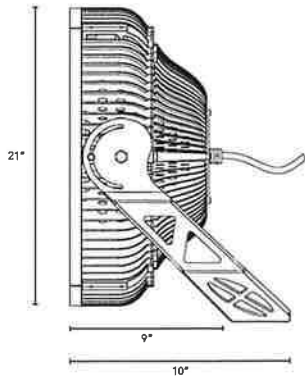
WARRANTIES

- See Website for Details
- LED | 15-Year
- Driver | 7-Year

PRODUCT DRAWINGS

Standard

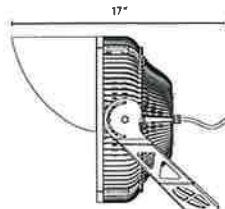
BGS: Bullseye Glare Shield



VGS: Visor Glare Shield

Remote Drivers

SF14



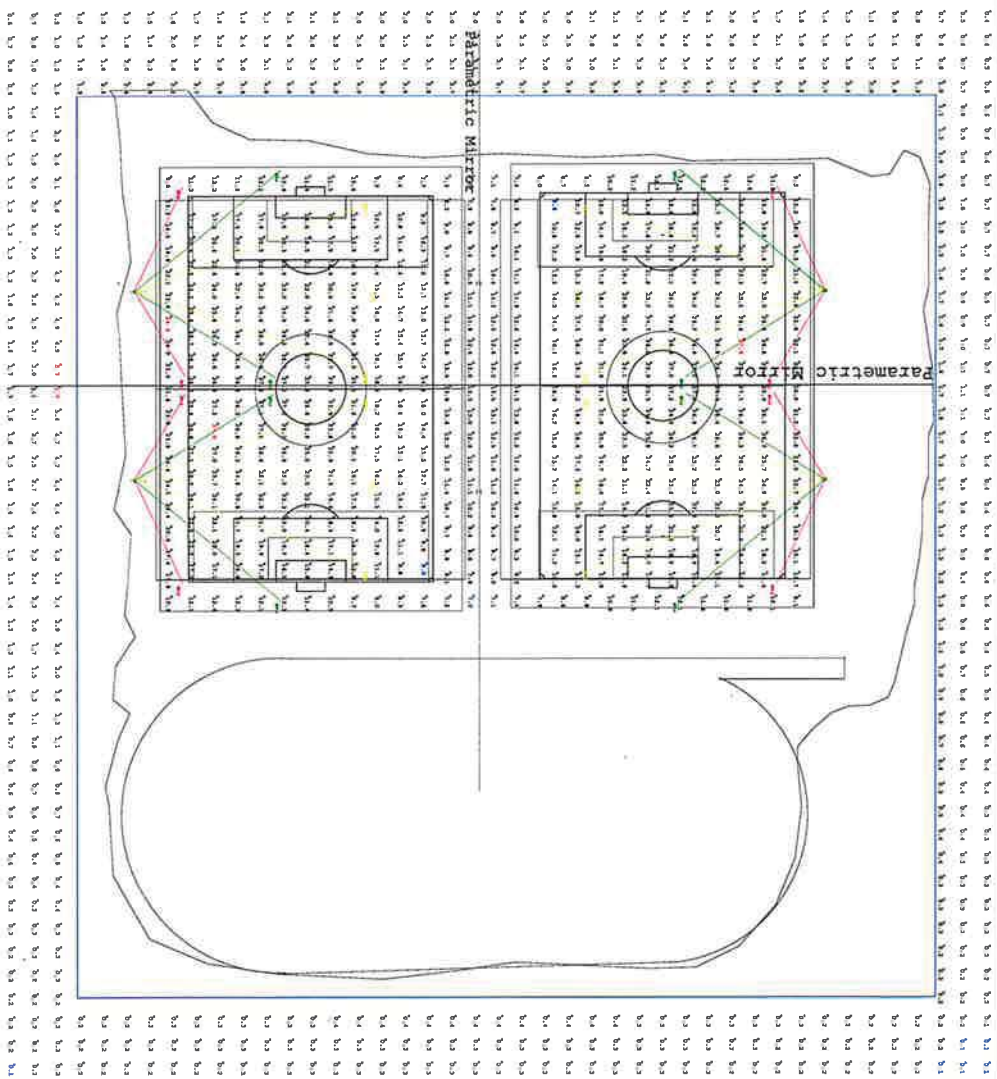
- Slipfitter for 2-3/8" Tennon

Distance from Luminaire May Not Exceed 100'. Standard Remote Driver Distance from Luminaire is 6' unless Otherwise Specified.

Due to continuous improvement and innovation, product appearance and specifications may change without notice. Actual performance may differ as a result of end-user environment and application.

TOLL-FREE: 888-410-5337 | FAX: 614-868-5344 | © 2018 SpecGradeLED

www.SpecGradeLED.com



D-0919-16//2900362002004.001
 2221 Old Columbiana Rd.
 Review for LED lighting
 Continental Equity Corporation

Quad Sports Fitness
 Soccer Practice REV F 20FC

Drawn By: Robert DeWeese, IES, LC
 Checked By:
 Date: 8/7/2019
 Scale:

#	Date	Comments

3100 Blue Lake Drive
Preliminary Review for new
building
Robert Gentry

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
APPLICATION**

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: Robert Clinton Gentry

Address: 2986 Altadena Ridge Drive

Vestavia AL 35243

Phone #: 205-790-2120 Other #: _____

E-Mail: RClintGentry@gmail.com

Representing Attorney/Other Agent

Name: MICHAEL WILLIAMS

Address: 7200 PINEVIEW LAKE

McCLURE AL 35111

Phone #: 205-492-2831 Other #: _____

E-Mail: WILLIAMS2020@GMAIL.COM

II. DESCRIPTION OF PROPERTY:

LOCATION: 3100 BLUE LAKE DRIVE

Street Address

Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST:

- 1. Preliminary Review
- 2. Landscape Review
- 3. Architectural Review
- 5. Final Review of Materials
- 6. Other - Explain _____

IV. PROCESS:

- 1. New Building
- 2. Renovation of Existing Building
- 3. New Landscape Plan
- 4. Renovation to Existing Landscaping Plan
- 7. Other - Explain _____

2019 JUN 19 P 2 35

V. ZONING

Vestavia Hills Zoning for the subject property is _____.

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.



Owner Signature/Date



Representing Agent (if any)/date

Given under my hand and seal
this 19 day of JULY, 20 19.



Notary Public

My commission expires 4-23-2023 April
day of 23, 20 2023

Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

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 - c. Parking lots: Provide calculations of total square footage and square footage designated for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
 - d. Irrigation plan for all landscaped areas.
 - e. Statement of maintenance policy and provisions.

PROPOSED BUILDING FOR
GENTRY PHARMACY
 3100 BLUE LAKE DRIVE
 BIRMINGHAM, ALABAMA



DRAWING INDEX:

- CIVIL PLANS**
- DESCRIPTION
 - C-00 TITLE SHEET
 - C-01 EXISTING CONDITIONS
 - C-02 UTILITY PLAN
 - C-03 SWAMP DRAINAGE PLAN
 - C-04 CONSTRUCTION DETAILS

- LANDSCAPE PLANS**
- DESCRIPTION
 - L-100 PLANTING DETAILS
 - L-200 PLANTING DETAILS

- ARCHITECTURAL PLANS**
- A-01 COVER SHEET
 - A-02 CODES & GENERAL NOTES
 - A-03 COVER SHEET

- MECHANICAL PLANS**
- M-00 SCHEDULES
 - M-01 HVAC FIRST FLOOR PLAN
 - M-02 HVAC SECOND FLOOR PLAN
 - M-03 HVAC SPECIFICATIONS & DETAILS

- ELECTRICAL PLANS**
- E-01 ELECTRICAL - LEGEND, NOTES & DETAILS
 - E-02 ELECTRICAL - POWER & AUXILIARY
 - E-03 ELECTRICAL - RECEPTIONS

- PLUMBING PLANS**
- P-00 PLUMBING LEGEND, NOTES & DETAILS
 - P-01 PLUMBING FIRST FLOOR
 - P-02 PLUMBING SECOND FLOOR PLAN
 - P-03 PLUMBING SPECIFICATIONS

- STRUCTURAL PLANS**
- S-00 FOUNDATION PLAN
 - S-01 FLOOR PLAN
 - S-02 DETAILS

- CONTACTS**

ARCHITECT
 ROGER D. SPEAR ARCHITECT
 HOOPER PROFESSIONAL BUILDING SUITE 208
 1572 MONTGOMERY HIGHWAY
 AUBURN, ALABAMA 36816
 205-885-2100
 rdspear@rdm.com

CIVIL ENGINEER
 PRESSELL ENGINEERING
 1703 McDONNELL LANE
 BIRMINGHAM, ALABAMA 35117
 205-976-1433
 byron@presSELLengineering.com

LANDSCAPE ARCHITECT
 ENVIRONMENTAL DESIGN STUDIO
 205-885-8114
 www.edstudio.com

MECHANICAL & PLUMBING ENGINEER
 MARCUS B. ZIMMERMAN, P.E.
 14500 W. UNIVERSITY BLVD. SUITE 100
 HOUSTON, TEXAS 77057
 mzimmerman@mbz.com

ELECTRICAL ENGINEER
 BOBBY E. BROWN
 10511 66th South Ave
 HOUSTON, TEXAS 77036

PHARMACY CONSULTANT
 PHARMACY CONSULTANTS, LLC
 7289 PROUDER LAKE
 MOBILE, ALABAMA 36688
 205-651-1111
 info@pharmacyconsultants.com

SITE CONTRACTOR
 TOMMY BEASLEY CONSTRUCTION CO. INC.
 7800 HOOVER 69 N.
 BIRMINGHAM, ALABAMA 35243
 205-330-3944
 tommy@beasleyco.com

GENERAL CONTRACTOR
 MONROELO CONSTRUCTION CO. INC.
 11000 W. UNIVERSITY BLVD. SUITE 100
 HOUSTON, TEXAS 77057
 281-465-4666
 info@monrelo.com

ROGER D. SPEAR
 ARCHITECT
 HOOPER PROFESSIONAL BUILDING SUITE 208
 1572 MONTGOMERY HIGHWAY
 AUBURN, ALABAMA 36816
 205-885-2100
 rdspear@rdm.com



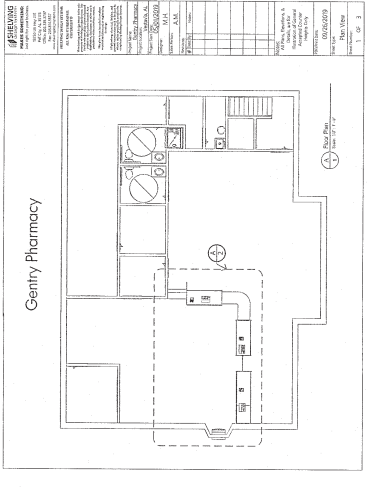
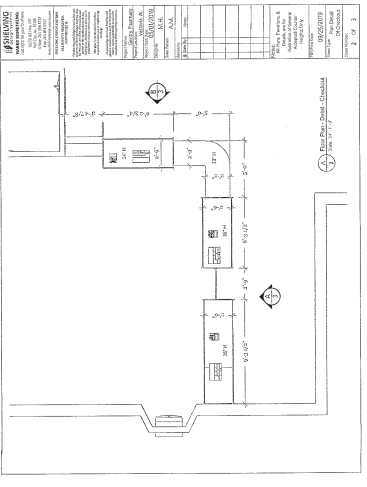
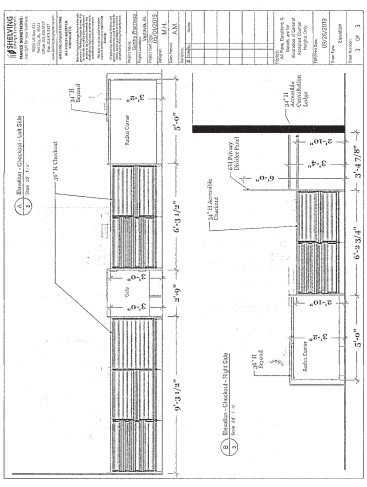
PROPOSED BUILDING FOR
GENTRY PHARMACY
 3100 BLUE LAKE DRIVE
 VESTALIA, ALABAMA

PROJECT TITLE
 SHEET TITLE
 COVER SHEET

RELEASED
 REVISION 09/02/2019 DA
 As requested by Dept. of Building

PROJECT 190528
 DATE 06/02/2019
 DRAWN DVS
 CHECKED RUS
 SHEET A0.0

SEQUENCE 1 of 11



ADA ACCESSIBLE SERVICE COUNTER

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE. REPORT DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
2. THE CONTRACTOR SHALL INSTALL TEMPORARY BRACING AND SHORING AS NECESSARY FOR THE STABILIZATION OF THE WORK DURING CONSTRUCTION.
3. EXTEND ALL BATED WALLS TO THE FLOOR/ROOF DECK AND SEAL WITH APPROVED MATERIALS. ALL SEALING SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
4. BRACE ALL WALLS SOLELY TO THE STRUCTURE.
5. ALL NEW CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND RESTRICTIVE ORDINANCES FOR ALL CONSTRUCTION DISPLICES.
6. BUILDERS IS CAUTIONED AGAINST SEALING FROM THESE DRAWINGS.
7. THE INTENT OF THESE DRAWINGS IS TO PROVIDE THE BUILDER WITH GENERAL GUIDELINES FOR THE CONSTRUCTION OF THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
8. ALL WALLS SHALL HAVE A MINIMUM 5' X 5' LEVEL AREA ON THE EXTERIOR AT THE SAME ELEVATION AS THE FINISHED FLOOR.
9. WHEN INSTALLING MASONRY, PROVIDE VERTICAL EXPANSION JOINTS IN BLOCK WALLS IN LOCATIONS INDICATED ON PLANS AND/OR ELEVATIONS. PROVIDE VERTICAL JOINTS (JOINTS IF NOT SHOWN ON PLANS) AT 8' ON CENTER. PROVIDE VERTICAL EXPANSION JOINTS AT 8' ON CENTER. PROVIDE VERTICAL BATED WALLS ARE TO HAVE EXPANSION JOINTS OF A RATING EQUIVALENT TO THAT OF THE WALL.
10. ALL RAMPS SHALL HAVE HANDRAILS EACH SIDE MOUNTED AT 7'-10" ABOVE THE WALKING SURFACE. HANDRAILS SHALL BE MOUNTED TO A MINIMUM OF 4" DIAMETER. HANDRAILS SHALL BE MOUNTED TO A MINIMUM OF 4" DIAMETER. HANDRAILS SHALL BE MOUNTED TO A MINIMUM OF 4" DIAMETER. HANDRAILS SHALL BE MOUNTED TO A MINIMUM OF 4" DIAMETER.
11. WHEN PART OF AN ACCESSIBLE ROUTE, THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 AND THE CROSS SLOPE OF A WALKING SURFACE SHALL NOT BE STEEPER THAN 1:50.
12. PROVIDE SLOPE IN LOCATIONS AS REQUIRED BY CODE AND AS REQUIRED BY FEDERAL STATE AND LOCAL AUTHORITIES HAVING JURISDICTION INCLUDING BUT NOT LIMITED TO HANDICAPPED ACCESSIBLE DESIGN ACT (HADA) AND THE AMERICAN WITH DISABILITIES ACT (ADA). SLOPE ELSEWHERE AS CALLED FOR UNDER THIS CONTRACT AND IN THE PLACES AS SPECIFIED.
13. PROVIDE PORTABLE FIRE EXTINGUISHERS OF TYPES AND IN LOCATIONS AS INDICATED ON THE PLANS OR AS DIRECTED BY THE FIRE MARSHAL.
14. ALL DOORS ON AN ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 32" CLEAR.
15. ALL CODES FOR EGRESS AND ACCESSIBLE ROUTES SHALL BE A MINIMUM OF 3' HIGH.
16. ALL CODES FOR EGRESS AND ACCESSIBLE ROUTES SHALL BE A MINIMUM OF 3' HIGH.
17. PROVIDE TEMPERED GLASS IN ALL HAZARDOUS LOCATIONS.
18. EXIT STAIRS SHALL BE A MINIMUM OF 44" CLEAR UNLESS NOTED OTHERWISE. ALL STAIRS SHALL BE A MINIMUM OF 44" CLEAR UNLESS NOTED OTHERWISE. ALL STAIRS SHALL BE A MINIMUM OF 44" CLEAR UNLESS NOTED OTHERWISE. ALL STAIRS SHALL BE A MINIMUM OF 44" CLEAR UNLESS NOTED OTHERWISE.
19. PROVIDE PORTABLE FIRE EXTINGUISHERS OF TYPES AND IN LOCATIONS AS INDICATED ON THE PLANS OR AS DIRECTED BY THE FIRE MARSHAL.
20. PROVIDE PORTABLE FIRE EXTINGUISHERS OF TYPES AND IN LOCATIONS AS INDICATED ON THE PLANS OR AS DIRECTED BY THE FIRE MARSHAL.
21. ALL EXTERIOR CONCRETE WALKING SURFACES SHALL BECKE A NON-SLIP BEAM FINISH. SLOPE SHALL BE PART OF AN ACCESSIBLE ROUTE.
22. PROVIDE PORTABLE FIRE EXTINGUISHERS OF TYPES AND IN LOCATIONS AS INDICATED ON THE PLANS OR AS DIRECTED BY THE FIRE MARSHAL.
23. TO CONTROL WATER AND WATER VAPOR PENETRATION, FLASH AND SEAL ALL EXTERIOR SURFACE JOINTS AND PENETRATIONS WITH AN APPROPRIATE FLASHING AND INSULATING AND WEATHER TIGHT MATERIALS, FLASHINGS, ETC. WITH APPROPRIATE FLASHING AND INSULATING AND WEATHER TIGHT MATERIALS.
24. EXIT DOORS SHALL BE A MINIMUM OF 36" WIDE. EACH EXIT DOOR SHALL HAVE A LIMITED DRIFT AND SHALL BE SELF-CLOSING. EACH EXIT DOOR SHALL HAVE A LIMITED DRIFT AND SHALL BE SELF-CLOSING. EACH EXIT DOOR SHALL HAVE A LIMITED DRIFT AND SHALL BE SELF-CLOSING.
25. PROVIDE PORTABLE FIRE EXTINGUISHERS OF TYPES AND IN LOCATIONS AS INDICATED ON THE PLANS OR AS DIRECTED BY THE FIRE MARSHAL.
26. ALL HARDWARE ON AN ACCESSIBLE ROUTE SHALL BE THE ACCESSIBLE TYPE.
27. ACCESSIBLE ROUTE SHALL BE PROVIDED FROM THE PARKING AREA TO THE BUILDING. SEE THE SITE PLAN PROVIDED IN THIS SET OR AS PROVIDED BY OTHERS.
28. PROVIDE FIREBLOCKING AND DRAFTSTOPPING IN LOCATIONS AS REQUIRED BY CODE AND/OR THE FIRE MARSHAL.
29. PROVIDE PORTABLE FIRE EXTINGUISHERS OF TYPES AND IN LOCATIONS AS INDICATED ON THE PLANS OR AS DIRECTED BY THE FIRE MARSHAL.
30. PROVIDE PORTABLE FIRE EXTINGUISHERS OF TYPES AND IN LOCATIONS AS INDICATED ON THE PLANS OR AS DIRECTED BY THE FIRE MARSHAL.
31. PROVIDE PORTABLE FIRE EXTINGUISHERS OF TYPES AND IN LOCATIONS AS INDICATED ON THE PLANS OR AS DIRECTED BY THE FIRE MARSHAL.
32. PROVIDE PORTABLE FIRE EXTINGUISHERS OF TYPES AND IN LOCATIONS AS INDICATED ON THE PLANS OR AS DIRECTED BY THE FIRE MARSHAL.
33. PROVIDE PORTABLE FIRE EXTINGUISHERS OF TYPES AND IN LOCATIONS AS INDICATED ON THE PLANS OR AS DIRECTED BY THE FIRE MARSHAL.
34. PROVIDE PORTABLE FIRE EXTINGUISHERS OF TYPES AND IN LOCATIONS AS INDICATED ON THE PLANS OR AS DIRECTED BY THE FIRE MARSHAL.
35. THE DESIGN AND DETAILING OF ALL CASEWORK, COUNTERTOPS, SHELVS, ETC IS TO BE PROVIDED BY THE CONTRACTOR RESPONSIBLE FOR THE DESIGN OF THE CASEWORK / WINDOW UNIT USED IN THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS DESIGN AND ITS PROPER INSTALLATION. DESIGN FOR MASSIVE CASEWORK SHALL BE PROVIDED BY THE CONTRACTOR RESPONSIBLE FOR THE DESIGN OF THE CASEWORK / WINDOW UNIT USED IN THIS PROJECT.
36. PROVIDE PORTABLE FIRE EXTINGUISHERS OF TYPES AND IN LOCATIONS AS INDICATED ON THE PLANS OR AS DIRECTED BY THE FIRE MARSHAL.
37. THE CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF THE METAL STUDS USED IN THIS PROJECT SHALL BE RESPONSIBLE FOR THE DESIGN AND THE SUPPLY OF THE PROPER SIZE AND GAUGE STUDS AND SHALL CONSIDER DEAD LOADS, WIND LOADS, TYPE OF EXPOSURE, STUD HEIGHT AND SPACING, CO-ORDINATE WITH OTHER TRADES.
38. THE CONTRACTOR IS NOT RESPONSIBLE FOR NOTICES THE APPLICABLE HAVING CONTROL OVER THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND ITS PROPER INSTALLATION. DESIGN FOR MASSIVE CASEWORK SHALL BE PROVIDED BY THE CONTRACTOR RESPONSIBLE FOR THE DESIGN OF THE CASEWORK / WINDOW UNIT USED IN THIS PROJECT.
39. THE CONTRACTOR ASSUMES THIS RESPONSIBILITY.
40. ADDITIONAL INFORMATION NOT CONTAINED HEREIN SHALL BE INCLUDED AS PART OF THE OWNER/CONTRACTOR WRITTEN AGREEMENT. ALL SITE WORK AND ENGINEERING IS PROVIDED BY OTHERS AS WELL AS THAT OF QUALITY CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND ITS PROPER INSTALLATION. DESIGN FOR MASSIVE CASEWORK SHALL BE PROVIDED BY THE CONTRACTOR RESPONSIBLE FOR THE DESIGN OF THE CASEWORK / WINDOW UNIT USED IN THIS PROJECT.
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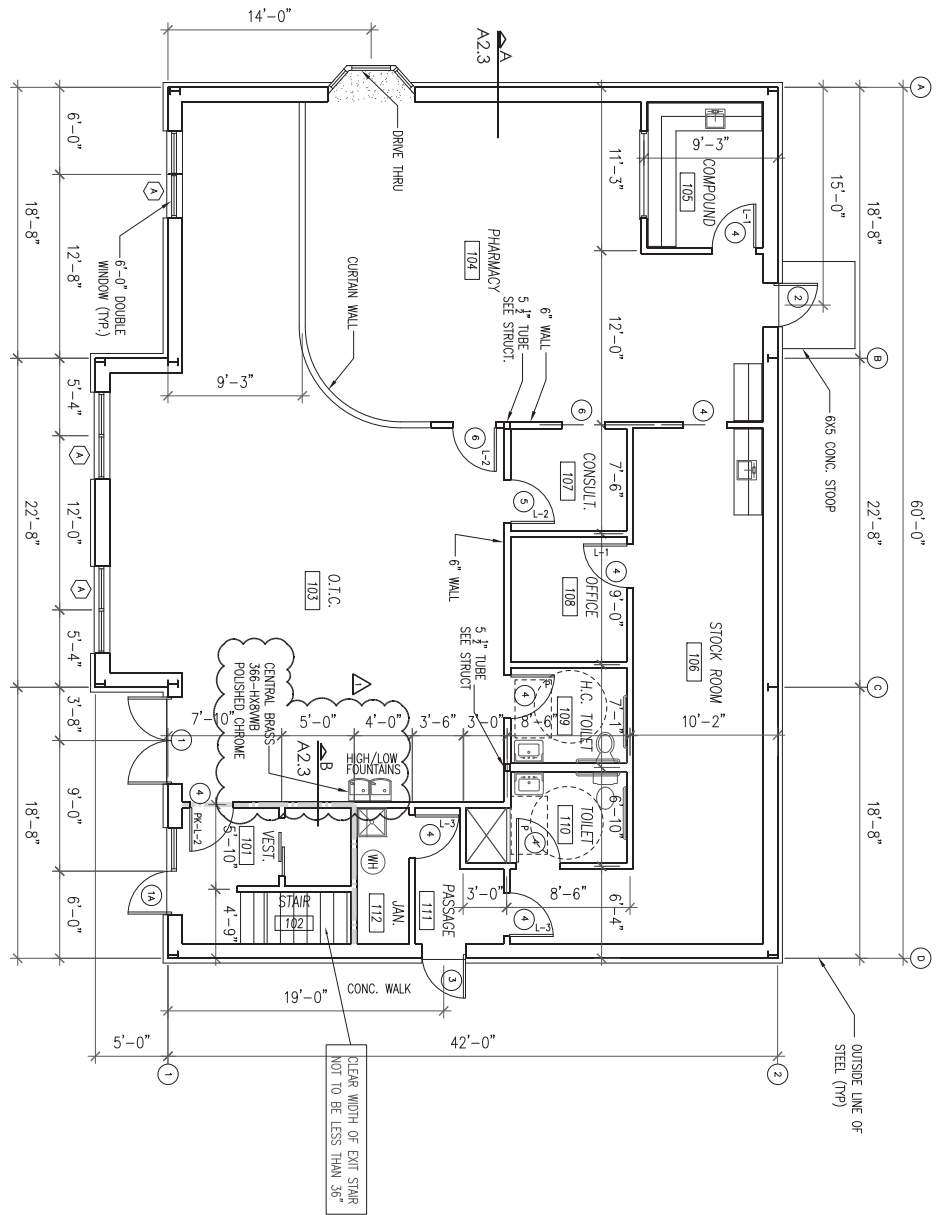
CODES & GENERAL NOTES

- THE FOLLOWING CODES APPLY TO THIS PROJECT, AS AMENDED BY THE CITY OF VESTALIA:
- 2018 INTERNATIONAL BUILDING CODE
 - 2018 INTERNATIONAL FIRE CODE
 - 2018 INTERNATIONAL PLUMBING CODE
 - 2014 NATIONAL ELECTRICAL CODE
 - 2015 INTERNATIONAL MECHANICAL CODE
 - 2015 INTERNATIONAL CODE
- PROJECT DESCRIPTION**
 THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW 2 STORY PRE-ENGINEERED METAL BUILDING WITH A TOTAL COMPOSITE OF 5000 SQUARE FEET OF FLOOR AREA. THE BUILDING IS UNSPRINKLED.
- PROJECT DATA**
 CONSTRUCTION: GROUP M - METALWARE
 AREA ALLOWABLE: 12,500 S.F. (TABLE 506.2)
 OCCUPANT LOAD: 2,700 S.F. PER FLOOR
 2nd FLOOR: 2,700 G.S.F. @ 1 PERSON / 60 G.S.F. = 45 PERSONS
 1st FLOOR: 2,700 G.S.F. @ 1 PERSON / 60 G.S.F. = 45 PERSONS
 NUMBER OF FLOORS ALLOWABLE: 2 (TABLE 504.4)
 ACTUAL NUMBER OF FLOORS: 2
 NUMBER OF STORIES: 2 (TABLE 504.3)
 ACTUAL HEIGHT: 40 FEET
 NUMBER OF REQUIRED EXITS: 2
 1st FLOOR: 1 EXIT ALLOWABLE WITH OCCUPANT LOAD @ 49 OR UNDER (SECTION 1006.3.2)
 2nd FLOOR: 1 EXIT ALLOWABLE WITH OCCUPANT LOAD @ 49 OR UNDER (SECTION 1006.3.2)
 ELEVATOR SHUTTLE PROTECTION: 0 HRS (SECTION 3008.2)
 INTERIOR EXIT STAIRWAY PROTECTION: 1 HR (SECTION 714.4)
 MINIMUM EXIT WIDTH: 36" WHERE THE OCCUPANT LOAD IS LESS THAN 50 (TABLE 1003.7 SECTION 1003.7)
 MINIMUM EXIT WIDTH: 36" WHERE THE OCCUPANT LOAD IS LESS THAN 50 (TABLE 1003.7 SECTION 1003.7)
 EXIT ACCESS TRAVEL DISTANCE: 200 FEET NON-SPRINKLED (TABLE 1072.3)
- FIRE-RESISTANCE RATING REQUIREMENTS (PER TABLE 601) FOR BUILDING ELEMENTS:**
- STRUCTURAL FRAMEWORK: 0 HOUR
 - BEARING WALLS - EXTERIOR: 0 HOUR
 - BEARING WALLS - INTERIOR: 0 HOUR
 - FLOOR CONSTRUCTION: 0 HOUR
 - ROOF CONSTRUCTION: 0 HOUR
 - PRE-RESISTANCE RATING REQUIREMENTS (PER TABLE 602) FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE: FOR TYPE 2B CONSTRUCTION: 0 FEET TO 9 FEET: 1 HOUR; 0 FEET OR GREATER: 0 HOUR

PARTITION LEGEND	
4 HR FIRE RATED	—————
2 HR FIRE RATED	—————
1 HR FIRE RATED	—————
SMOKE RATED	—————
NON RATED	—————

ARCHITECTURAL FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

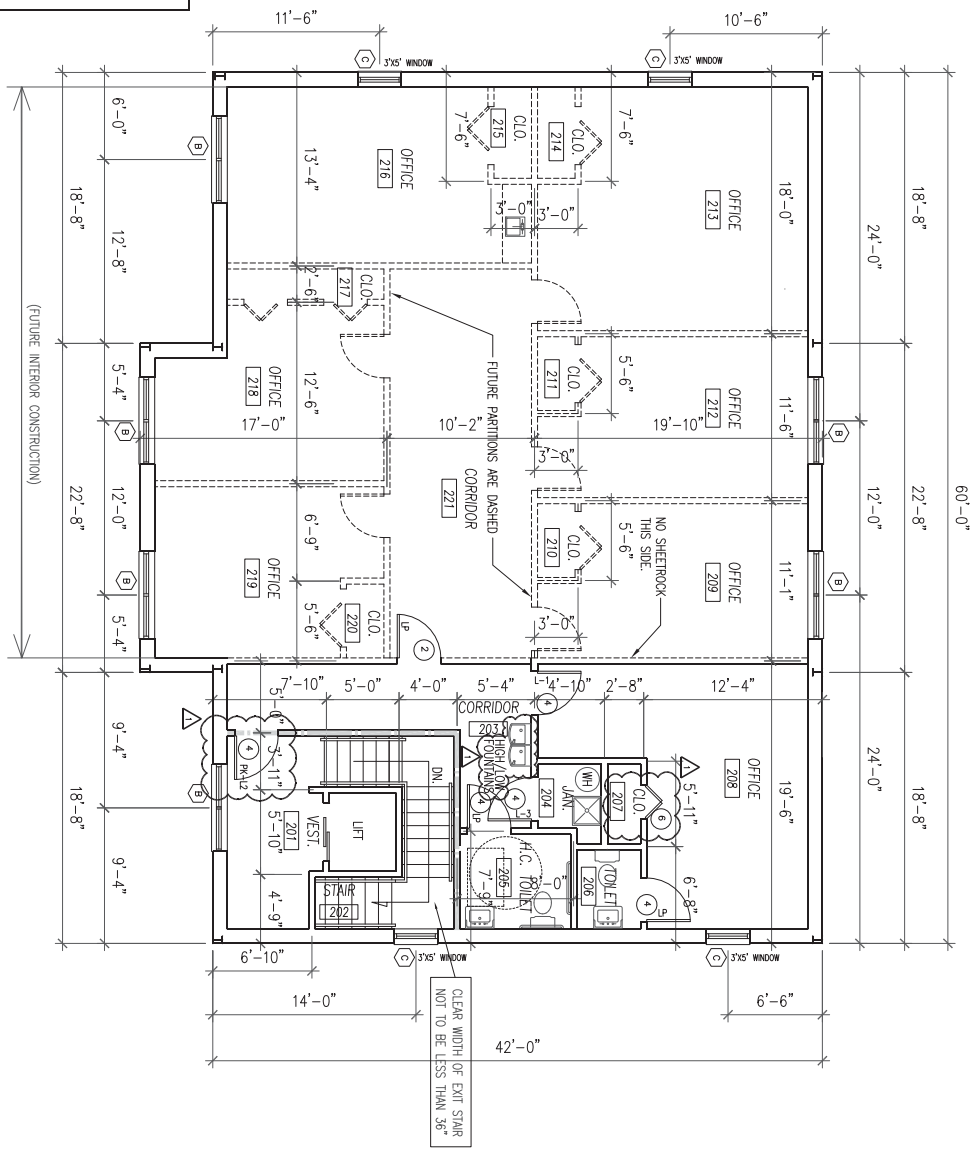


PROJECT TITLE
 PROPOSED BUILDING FOR
 GENTRY PHARMACY
 3100 BLUE LAKE DRIVE
 VESTAVIA, ALABAMA
 SHEET TITLE
 FIRST FLOOR PLAN
 PROJECT NO.
 190528
 DATE
 06/02/2019
 DRAWN BY
 RUS
 CHECKED BY
 RUS
 SHEET NO.
 A1.0
 1 OF 11


ROGER D. SPEAR
 ARCHITECT
 HOOPER PROFESSIONAL BUILDING SUITE 208
 1572 MONTGOMERY HWY. HOOPER ALABAMA 35216
 PHONE 205 - 966 - 2166 FAX 205 - 822 - 2458 RDSPEARARCH@GMAIL.COM

PARTITION LEGEND

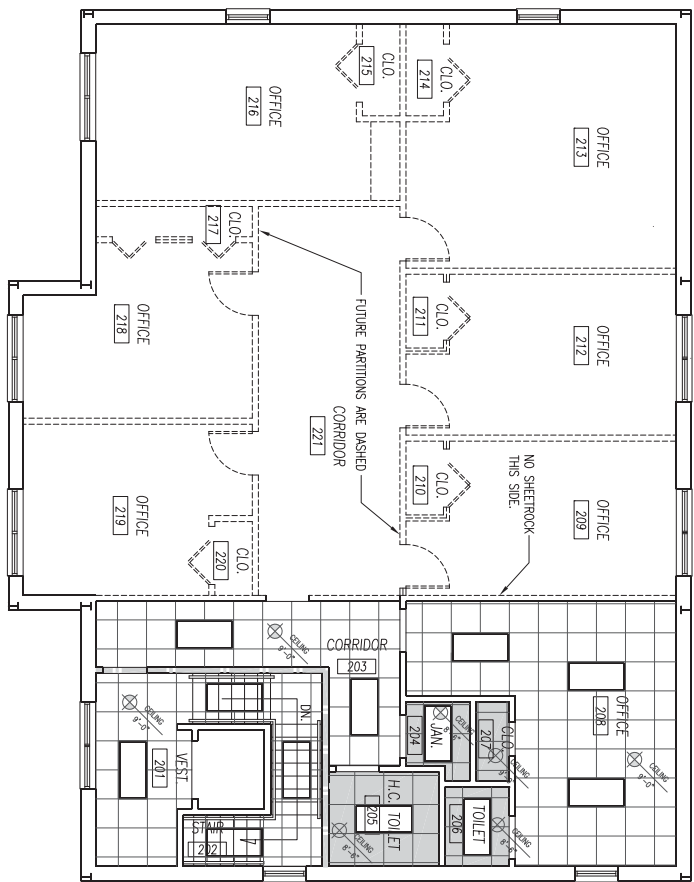
4 HR FIRE RATED	-----
2 HR FIRE RATED	-----
1 HR FIRE RATED	-----
SMOKE RATED	-----
NON RATED	-----



PROJECT TITLE: PROPOSED BUILDING FOR GENTRY PHARMACY
 3100 BLUE LAKE DRIVE
 VESTAVIA, ALABAMA 35243
 PROJECT NO: 190528
 DATE: 06/02/2019
 DRAWN BY: RUS
 CHECKED BY: RUS
 SHEET NO: 11
 SCALE: 1/4" = 1'-0"

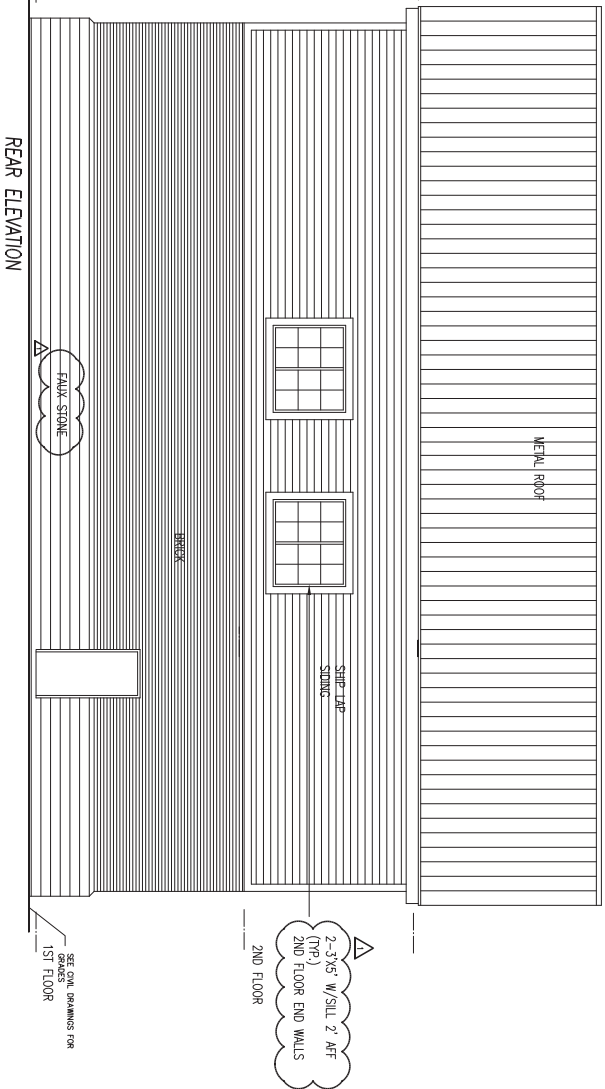


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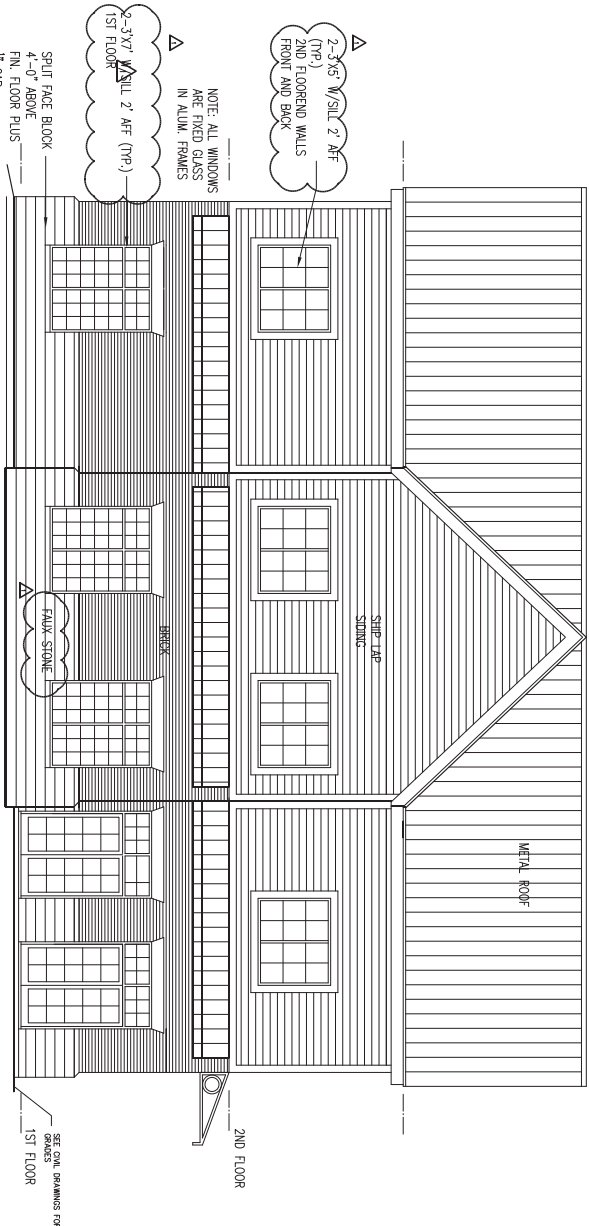


REFLECTED CEILING PLAN LEGEND

2x4 GR. ACROUSTIC PANELS	SOUND ATTEN. PANEL	5/8" Gypsum Board	2x4 GR. ACROUSTIC PANELS
1/2" GR. ACROUSTIC PANELS	WALL PANEL	1/2" GR. ACROUSTIC PANELS	WALL PANEL
1/2" GR. ACROUSTIC PANELS	WALL PANEL	1/2" GR. ACROUSTIC PANELS	WALL PANEL
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2x4 GR. ACROUSTIC PANELS	WALL PANEL	2x4 GR. ACROUSTIC PANELS	WALL PANEL



REAR ELEVATION



FRONT ELEVATION

FRONT & REAR ELEVATION

SCALE 1/4" = 1'-0"



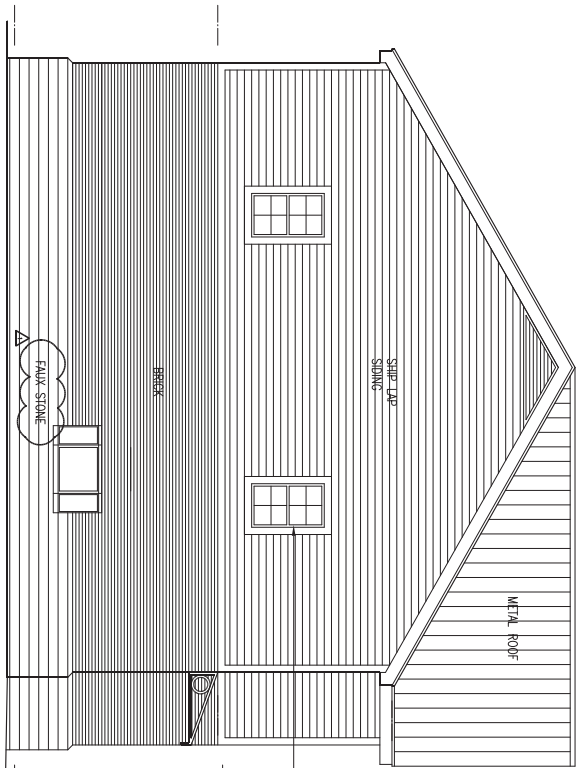
ROGER D. SPEAR
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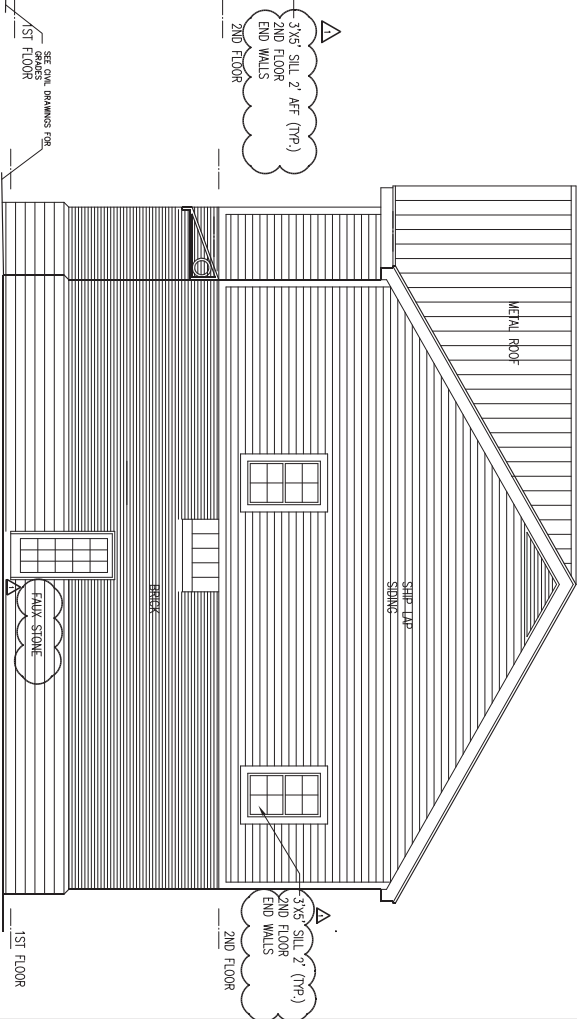
PROJECT TITLE
**PROPOSED BUILDING FOR
GENTRY PHARMACY**

SHEET TITLE
**FRONT & REAR
ELEVATION**

PROJECT
190528
DATE
06/02/2019
DRAWN
RUS
CHECKED
RUS
DATE
06/02/2019
SHEET
A2.0
1 OF 11



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

LEFT & RIGHT SIDE ELEVATION

SCALE 1/4" = 1'-0"



ROGER D. SPEAR
ARCHITECT

HOOVER PROFESSIONAL BUILDING SUITE 208
1572 MONTGOMERY HWY. HOOVER ALABAMA 35216
PHONE 205 - 966 - 2166 FAX 205 - 923 - 2458 RDSPEARARCH@GMAIL.COM

PROJECT TITLE
**PROPOSED BUILDING FOR
GENTRY PHARMACY**

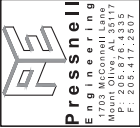
3100 BLUE LAKE DRIVE
VESTAVIA, ALABAMA 35243

SHEET TITLE
LEFT & RIGHT
ELEVATIONS

REVISED

PROJECT DATE
190528 06/02/2019
DRAWN BY
CHECKED BY
DVL RDS
RDS
SHEET
A2.1

SEQUENCE 1 OF 11



Gentry Pharmacy

Being situated in the SW 1/4 of the SE 1/4 of Section 21, Township 18 South, Range 2 West, Jefferson County, Alabama

Sheet Title: **Site Plan**

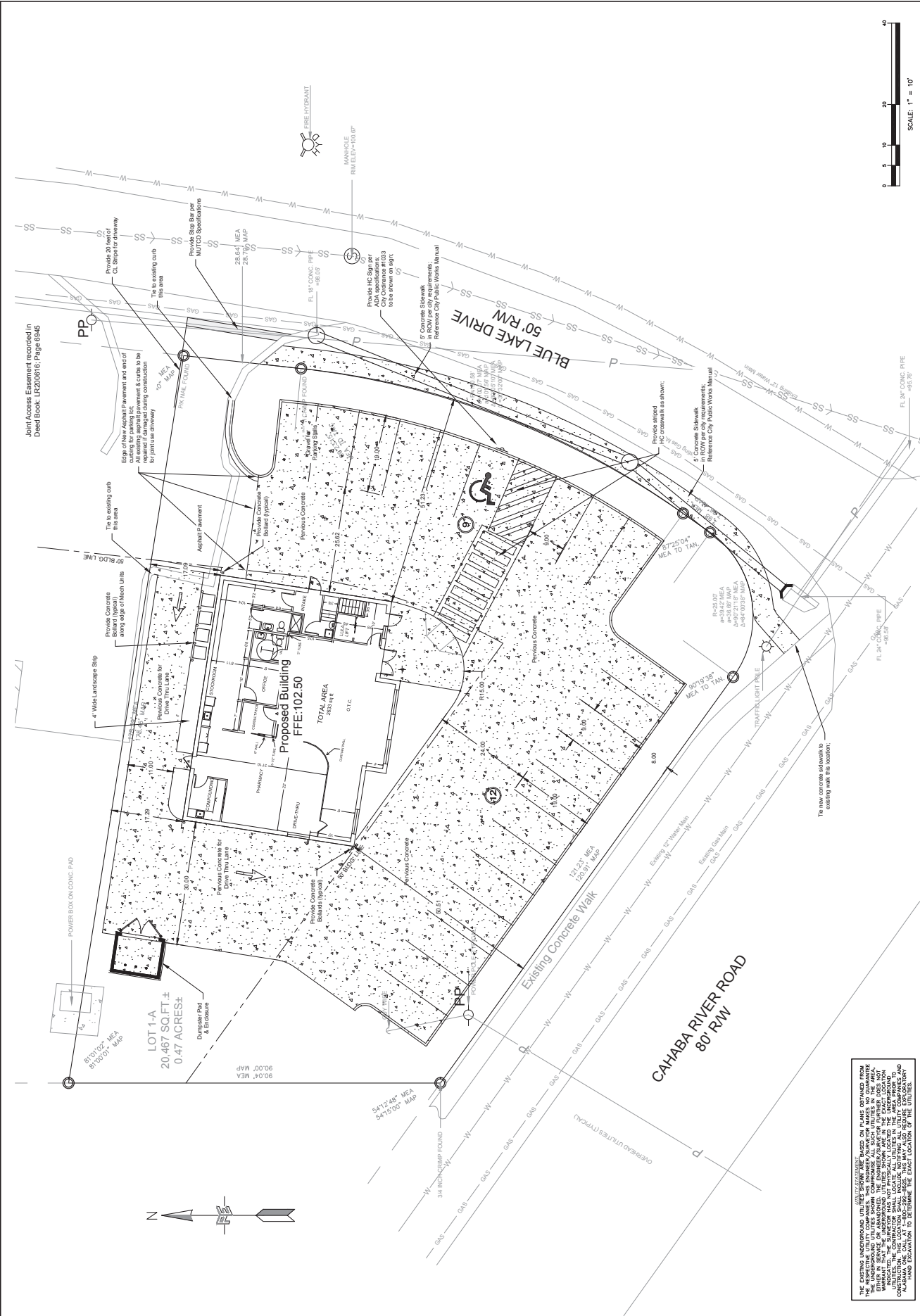
Revisions:

File: 19-027-03

Date: June 12, 2019

Scale: 1"=10'

Drawing: **C-1.0**



Joint Access Easement recorded in Deed Book LR200816, Page 6945

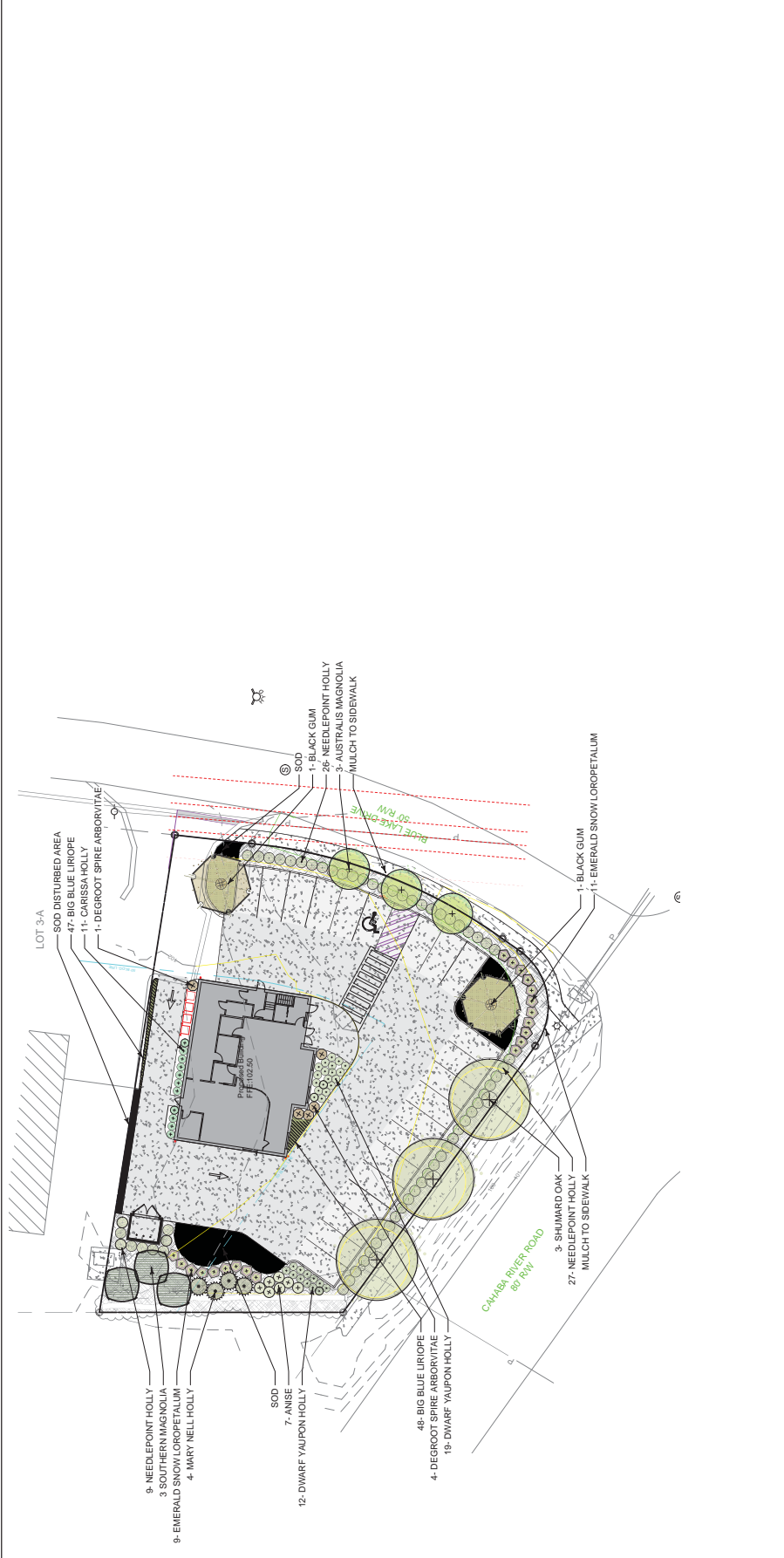
THE EXISTING UNDERGROUND UTILITIES SHOWN ARE BASED ON PLANS OBTAINED FROM THE UNDERGROUND UTILITIES SERVICE OF ALABAMA (U.S.A.). THE U.S.A. HAS ADVISED THAT THE UNDERGROUND UTILITIES SHOWN ON THESE PLANS ARE NOT GUARANTEED TO BE ACCURATE. THE CONTRACTOR SHALL LOCATE ALL UTILITIES IN THE AREA PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



REVISED

DATE:	June 11, 2019
SCALE:	As Shown
DRAWN:	DAVID TAYLOR
CHECKED:	DAVID TAYLOR
PROJECT NUMBER:	
REVISION:	
DRAWING NO.:	
SHEET TITLE:	Planting Plan

Planting Plan
 SHEET NUMBER
 L-1.00
 SOURCE: 1 of 1



Count	Scientific Name	Common Name	Size	Spacing	Root	Remarks
4	Ilex X 'Mary Nell'	Mary Nell Holly	6-6' Ht.	As Indicated	B&B	Full to ground
3	Magnolia grandiflora	Claudia Magnolia	12' Ht.	As Indicated	B&B	Full to ground
3	Quercus australis	Australis Oak	As Indicated	As Indicated	B&B	Full to ground
2	Quercus shumardi	Shumard Oak	2-2 1/2' cal.	As Indicated	B&B	Full Head
2	Nyssa sylvatica	Black Gum	As Indicated	As Indicated	B&B	Full Head
5	Thuja occidentalis 'Shrage'	Emerald Arborvitae	4-5' Ht.	4' o.c.	Cont.	Full Plant
11	Ilex cornuta 'Needlepoint'	Needlepoint Holly	15-24' Ht.	4' o.c.	Cont.	Full Plant
62	Ilex cornuta 'Needlepoint'	Needlepoint Holly	15-24' Ht.	4' o.c.	Cont.	Full Plant
31	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	15-18' sp.	3' o.c.	Cont.	Full Plant
7	Illicium parviflorum	Anise	18-24' Ht.	4' o.c.	Cont.	Full Plant
20	Illicium parviflorum	Anise	18-24' Ht.	4' o.c.	Cont.	Full Plant
85	Liriope muscari 'Big Blue'	Big Blue Liriope	1 gal.	18" o.c.	Cont.	Full Plant
SOD	Cynodon dactylon 419	Bermuda Sod	Solid Sod	Solid Sod	Solid Sod	Solid sod



DATE:	June 11, 2019
PROJECT NUMBER:	2019-010
DRAWN:	John DDP
REVIEWED:	John DDP
PROJECT NO.:	000
SHEET TITLE:	

Planting Details

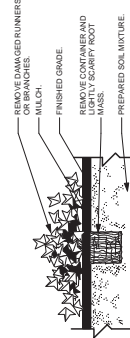
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GENERAL PLANTING NOTES

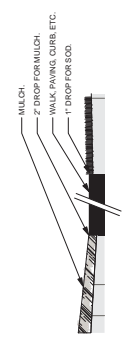
1. CONTRACTOR SHALL VERIFY EXISTING UTILITIES PRIOR TO ALL WORK.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE INSPECTION PRIOR TO LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO ACQUAINT HIMSELF WITH EXISTING UTILITIES AND TO IDENTIFY ANY UTILITIES THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION. LOCATING ALL EXISTING UNDERGROUND UTILITIES BEFORE BEGINNING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND NOTICES FROM ALL AFFECTED AGENCIES AND UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND NOTICES FROM ALL AFFECTED AGENCIES AND UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND NOTICES FROM ALL AFFECTED AGENCIES AND UTILITIES.
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5. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL OR PLANTING METHOD THAT DOES NOT MEET THE DESIGN INTENT AND REQUIREMENTS OF THE DESIGN CONTRACT.
6. ALL TREES AND SPECIMEN PLANT MATERIAL SHALL BE LOCATED BY THE CONTRACTOR AT THE TIME OF DELIVERY TO THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND NOTICES FROM ALL AFFECTED AGENCIES AND UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND NOTICES FROM ALL AFFECTED AGENCIES AND UTILITIES.
7. CONTRACTOR SHALL TAKE TREE LOCATIONS AND LAYOUT REFINES 48 HOURS PRIOR TO DELIVERY TO THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND NOTICES FROM ALL AFFECTED AGENCIES AND UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND NOTICES FROM ALL AFFECTED AGENCIES AND UTILITIES.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 2% SLOPE OR GREATER IN ALL PLANTING AREAS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 2% SLOPE OR GREATER IN ALL PLANTING AREAS.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 2% SLOPE OR GREATER IN ALL PLANTING AREAS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 2% SLOPE OR GREATER IN ALL PLANTING AREAS.
10. CONTRACTOR SHALL GUARANTEE ALL WORK AND PLANT MATERIAL, INCLUDING SEED AND SOIL, TO BE FREE FROM DEFECTS AND DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND NOTICES FROM ALL AFFECTED AGENCIES AND UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND NOTICES FROM ALL AFFECTED AGENCIES AND UTILITIES.
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IRRIGATION NOTES:

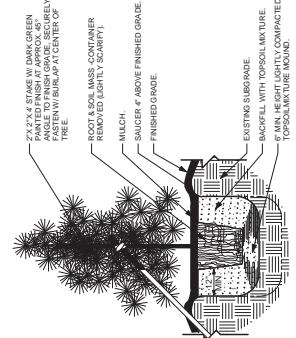
1. VERIFY REQUIRED PRESSURE PRIOR TO CONSTRUCTION INCLUDE PRESSURE LOSS THROUGH PIPING AND FITTINGS.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE POWER SUPPLY REQUIREMENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN BUILD IRRIGATION SYSTEM INCLUDING: VALVES, PIPES, HEADS, CONTROLLER, ETC.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL SLEEVING AS REQUIRED PER SITE CONDITIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND OPERATION OF ALL LABOR MATERIALS, APPLIANCES, EQUIPMENT, SERVICES AND INCIDENTALS.
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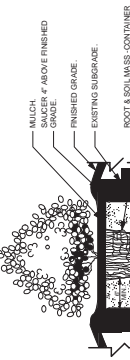
6 Groundcover Planting Detail
 Not To Scale



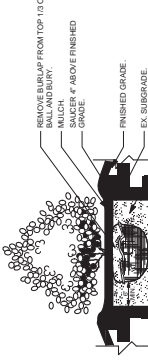
7 Edging Detail
 Not To Scale



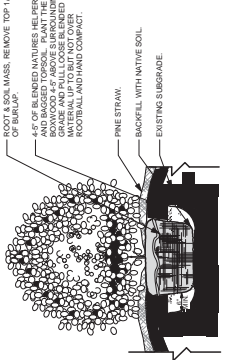
8 Liner Pine Planting Detail
 Not To Scale



3 Container Shrub Planting Detail
 Not To Scale



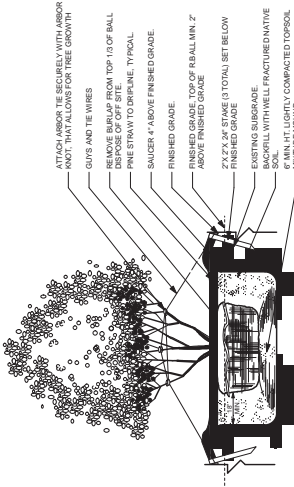
4 B&B Shrub Planting Detail
 Not To Scale



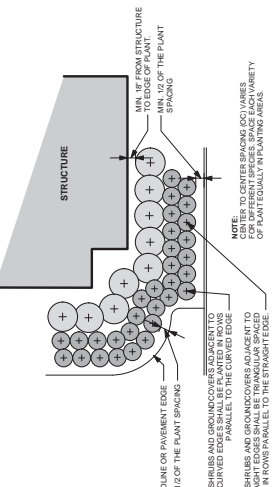
5 Borwood Planting Detail
 Not To Scale



1 B&B Tree Planting Detail
 Not To Scale



2 Multi-Trunk Tree Planting Detail
 Not To Scale



9 Typical Plant Layout Detail
 Not To Scale

- LIST OF APPROVED NURSERIES:**
- HUNTER TREES, LLC**
 Toll Free: 1-800-348-6837
 Phone: 706-799-9879
 Fax: 706-799-4528
 Sales: sales@huntertrees.com
 Mailing Address: P.O. Box 382733
 35258-2733, Wetumpka
 Physical Address: 1900 Oak Springs Rd.
 Bishop, GA 30621
 - PLANTATION TREE COMPANY**
 Toll Free: 1-800-548-6964
 Telephone: (334) 875-9176
 Fax: (334) 872-9621
 Physical Address: 150 County Rd. 15 South
 Wetumpka, Alabama 36183
 - GREEN VALLEY FARMS**
 Phone: 205-665-1935
 Sales: jenny@greenvalley.com
 Physical Address: 10000 Highway 101
 Monticello, AL 36183
 - ROLD SPRINGS NURSERY, INC.**
 Office: 770-287-9198
 Fax: 770-287-8803
 Physical Address: 3920 Road Springs Rd.
 Monroeville, GA 30656
 - TOTAL SCAPE FARMS**
 Office: 205-422-7577
 Sales: sales@totalscape.com
 Physical Address: 216 1st St N
 Wetumpka, AL 36183

ADDITIONAL NURSERIES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.



Presnell Engineering
 1703 McCombs Lane
 P.O. Box 4335
 P.O. 202.876.4335
 P. 205.417.2807
 Engineer



Being situated in the SW 1/4 of the SE 1/4 of Section 21, Township 18 South, Range 2 West,
 Jefferson County, Alabama

Gentry Pharmacy

Sheet Title
Title Sheet

Revisions:
 7/28/19 - 15' Buffer added
 10/05/19 - City Comments

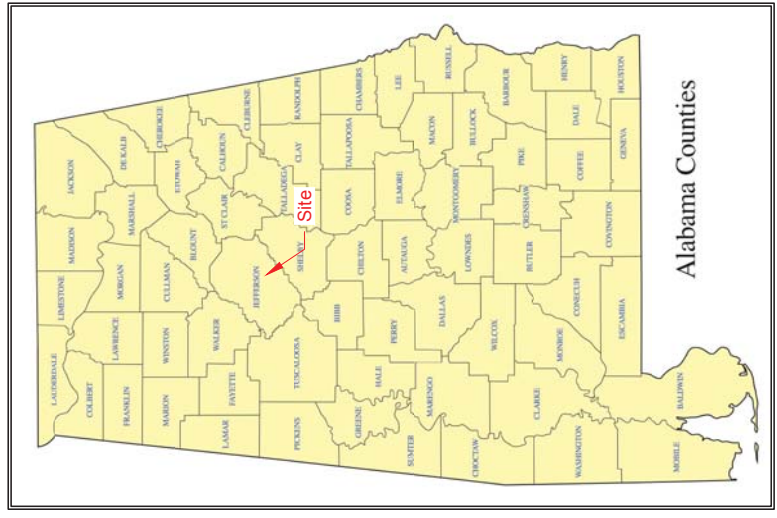
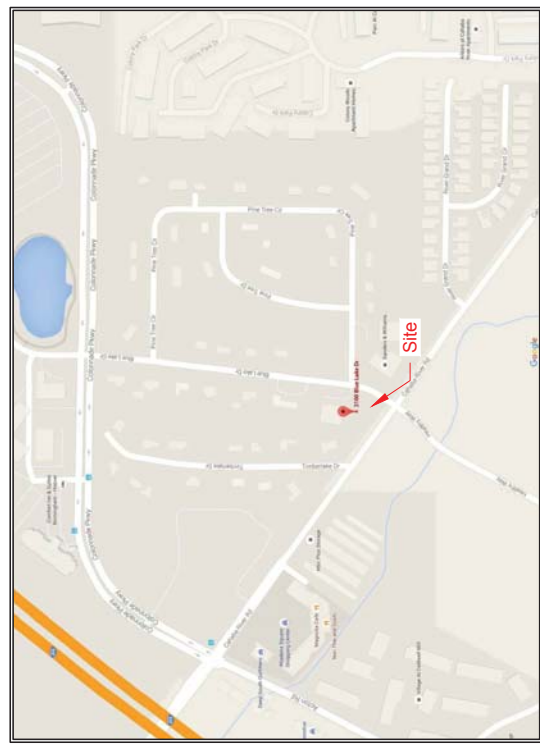
File: 19-0327-05
 Date: June 12, 2019
 Scale: none
 Drawing

C-0.0

Gentry Pharmacy

3100 Blue Lake Drive, Vestavia Hills, Alabama
 Being situated in the SW 1/4 of the SE 1/4 of Section 21, Township 18 South, Range 2 West,
 Jefferson County, Alabama

Sheet #	Description
C-0.0	Title Sheet
C-0.1	General Notes
C-0.2	Existing Conditions (by others)
C-1.0	Site Plan
C-2.0	Utility Plan
C-3.0	Grading and Drainage Plan
C-4.0	CBMP Plan
C-5.0	Construction Details
Landscape Plans by Others:	
L-1	Landscape Plan
L-2	Landscape Details



Alabama Counties



Jefferson County, Alabama
Gentry Pharmacy
Being situated in the SW 1/4 of the SE 1/4 of Section 21, Township 18 South, Range 2 West.

Sheet Title: Civil Notes

Revisions:
7/28/19 - 15' Buffer added
10/05/19 - City Comments

Date: June 12, 2019
Scale: none
Drawing: C-0.1

Construction Sequence for Erosion Control

- 1. Prior to clearing site, contractor shall begin by installing construction dike and all perimeter all fences.
- 2. All existing streams shall be protected from all and erosion by installation of measures such as silt fence, hay bales, & temporary sediment basins.
- 3. Contractor may now begin clearing, grubbing and other earthwork operations on the site.
- 4. Water from the site shall be directed to temporary sediment areas at locations determined by the qualified professional engineer and not be allowed to be discharged to any water body.
- 5. All erosion control measures shall be installed to prevent erosion on the site.
- 6. Erosion control measures shall be installed to prevent erosion on the site.
- 7. Once all land disturbance has been completed and all disturbed areas are stabilized, contractor to notify permitting authority for final inspection of site.

Property Information:

Site Address is 3110 Blue Lake Drive, Wetumpka Hills, Alabama, Parcel ID: is 288 0 27 4 001 010 001.

Site Information:

Current Zoning is Z-2
Map Sheet is 100-10-10-10-10
The office of the judge of probate in Jefferson County, Alabama

Erosion & Sedimentation Notes:

- 1. A copy of the approved erosion and sedimentation control plan shall be on file at the job site. Copies of all monthly reports and all accidental discharge reports, must also be kept on site and must be available for inspection by the city or ADEM official at any time.
- 2. The person responsible for conducting any land disturbing activity, an agent, contractor, or other representative of such person, must contact the local authority having jurisdiction (AHJ) to obtain necessary permits for the commencement of such land disturbing activity, to advise the jurisdiction of the commencement of the land disturbing activity.
- 3. The angle for graded slopes and fill shall be no greater than the angle which can be retained by vegetation cover, or other adequate erosion control devices or structures. Any slope or fill which has been graded shall, when between 1/4 mile of the completion of such grading, or the completion of any phase of construction, be stabilized with vegetation, mulch, or other erosion control device. The slope shall remain in place in accordance with the BMP Plan until the graded slope or fill is stabilized.
- 4. Adequate protective measures shall be provided for the containment of hazardous substances and any other materials which may pollute the NSD. Adequate protective measures shall be provided for the containment of hazardous substances and any other materials which may pollute the NSD. Adequate protective measures shall be provided for the containment of hazardous substances and any other materials which may pollute the NSD. Adequate protective measures shall be provided for the containment of hazardous substances and any other materials which may pollute the NSD.
- 5. The contractor shall be responsible for providing and maintaining all erosion control measures on the site. The contractor shall be responsible for providing and maintaining all erosion control measures on the site. The contractor shall be responsible for providing and maintaining all erosion control measures on the site. The contractor shall be responsible for providing and maintaining all erosion control measures on the site.
- 6. All existing hard surface materials shall be properly stored and may not be exposed to rain or overtopped. All construction shall be stored and covered as a covered area. All excess or waste materials are to be properly disposed of and taken and waste must be disposed of every ten (10) days, at a minimum.
- 7. Erosion control measures shall be maintained as an effective barrier to sedimentation and erosion in accordance with the provisions of this Ordinance.
- 8. Sediment deposit must be removed when they reach a depth of 15 inches or 1/3 the height of the silt fence as installed, to provide adequate storage volume for the next rain and to reduce the pressure on the silt fence.
- 9. Silt fencing fabric that is collapsed, torn, decomposing, or becomes ineffective must be replaced promptly.
- 10. There shall be no directly visible flowing silt, soil, or other matter contained in the storm water discharge. The storm water discharge to an NSD must not cause a material accumulation of silt or other matter on the NSD for the purpose of environmental degradation when it does not have a harmful effect on the NSD. The storm water discharge shall be directed to a storm water management facility in the community waters.
- 11. When the land disturbing activity is finished and stable vegetation or other permanent controls have been established on all remaining exposed soil, the contractor shall be responsible for providing and maintaining all erosion control measures on the site. The contractor shall be responsible for providing and maintaining all erosion control measures on the site. The contractor shall be responsible for providing and maintaining all erosion control measures on the site. The contractor shall be responsible for providing and maintaining all erosion control measures on the site.
- 12. Contractor shall refer to the Alabama Handbook for Erosion Control, Sediment Control and Stormwater Management, on Construction Sites and Urban Areas (provided by the Alabama Soil and Water Conservation Committee) for details and measures referred to in this plan.
- 13. Erosion control devices shown on plans are minimum recommended requirements. Additional erosion control measures may be required to prevent sediment from leaving the site and shall be implemented by the contractor at least as well as ones listed, and as approved by engineer.
- 14. Erosion control devices may be substituted by other means that operate at least as well as ones listed, and as approved by engineer.
- 15. Contractor shall maintain a rain gauge and rain records for the site. All rain events greater than 3/4 inch in a 24-hour period shall be reported in writing to the City per stormwater/ADEM inspectors.

General Notes:

- 1. All construction shall be in accordance with the Alabama Manual on Uniform Traffic Control Devices, latest edition, and any other applicable codes and regulations.
- 2. All construction shall be in accordance with the City of Wetumpka, Alabama, Standards and Specifications, latest edition.
- 3. Utility locations may vary. Contractor shall have all utilities located prior to beginning construction.
- 4. All activities shall be conducted in a logical sequence to minimize the area of exposed soil at one time.
- 5. Contractor shall be responsible for obtaining all required permits.
- 6. Contractor shall be responsible for obtaining all required permits.
- 7. Show backfill shall be used for the depth of trench under all pavement.
- 8. All utilities under pavement shall be backfilled with stone.
- 9. Storm pipes shall be Reinforced Concrete pipe Class III, unless otherwise indicated on plans. All ADS Pipe to be steel wall construction pipe.
- 10. Contractor shall provide drainage away from the building.
- 11. Contractor shall provide drainage away from the building.
- 12. Contractor shall provide drainage away from the building.
- 13. Contractor shall provide drainage away from the building.
- 14. Site located in designated flood hazard Zone "X" according to F.E.M. Panel #07202098 G, dated September 28, 2008.
- 15. Contractor shall provide drainage away from the building.
- 16. Contractor shall provide drainage away from the building.
- 17. Contractor shall provide drainage away from the building.
- 18. In all areas where new curb and gutter are installed, remove all old curb and gutter and saw cuts a straight edge along sagittal.
- 19. Contractor shall be responsible for providing and maintaining all erosion control measures on the site. The contractor shall be responsible for providing and maintaining all erosion control measures on the site. The contractor shall be responsible for providing and maintaining all erosion control measures on the site. The contractor shall be responsible for providing and maintaining all erosion control measures on the site.
- 20. Contractor is responsible for repairs of damage to any existing improvements during construction, such as, but not limited to, drainage.
- 21. All stone placed during, earthwork shall be equal to or better than the material specified on the plans. The contractor shall be responsible for providing and maintaining all erosion control measures on the site. The contractor shall be responsible for providing and maintaining all erosion control measures on the site. The contractor shall be responsible for providing and maintaining all erosion control measures on the site. The contractor shall be responsible for providing and maintaining all erosion control measures on the site.
- 22. Any fill used to increase the elevation of the four (4) sub or any fill to be used as backfill, shall be approved by the geotechnical engineer. Prior to placement of fill, compacted fill shall be placed in layers of not more than eight (8) inches in thickness, at moisture contents within the range of 10% to 15% of the optimum moisture content as determined by the geotechnical engineer using the Proctor method ASTM D-998. All areas of fill to have compaction was performed by geotechnical or great care to contracting representative in said areas.
- 23. All existing structures and appurtenances shall be removed unless otherwise noted.
- 24. All system manholes and pipes to be buried prior to turning over to the owner.
- 25. The pipe length (if shown) listed shall be based on the horizontal dimension center of structure and used for design.
- 26. Contractor shall be responsible for providing and maintaining all erosion control measures on the site. The contractor shall be responsible for providing and maintaining all erosion control measures on the site. The contractor shall be responsible for providing and maintaining all erosion control measures on the site. The contractor shall be responsible for providing and maintaining all erosion control measures on the site.
- 27. Sewer lines and storm lines shall be installed in accordance with the Alabama Manual on Uniform Traffic Control Devices, latest edition, and any other applicable codes and regulations.
- 28. Contractor is responsible for all utility permits.
- 29. All Drive Basins and gates are to be sized for road / Highway traffic.
- 30. It is the contractor's responsibility to verify that all structures and/or devices shown on plans meet current specifications, and are pre-approved by the local jurisdiction prior to installation.
- 31. Contractor shall provide drainage away from the building.

Being situated in the SW 1/4 of the SE 1/4 of Section 21, Township 18 South, Range 2 West,
 Jefferson County, Alabama

Gentry Pharmacy

Sheet Title
**Existing
 Conditions**

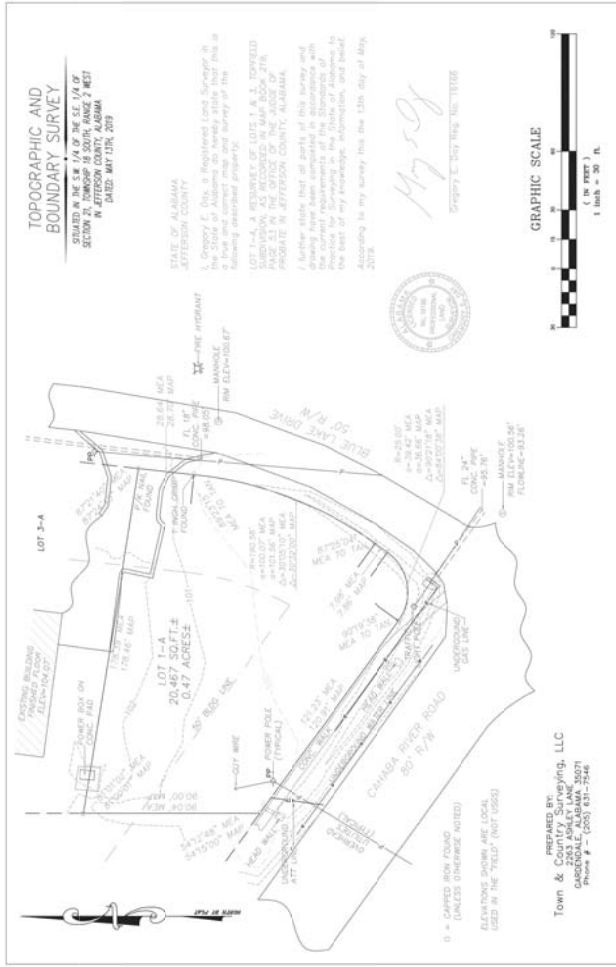
Revision:
 7/28/19 - 15' Buffer added
 10/25/19 - City Comments

File:
 19-0327-05

Date:
 June 12, 2019

Scale:
 none

Drawing:
C-0.2





Gentry Pharmacy

Being situated in the SW 1/4 of the SE 1/4 of Section 21, Township 18 South, Range 2 West,
 Jefferson County, Alabama

Sheet Title
Site Plan

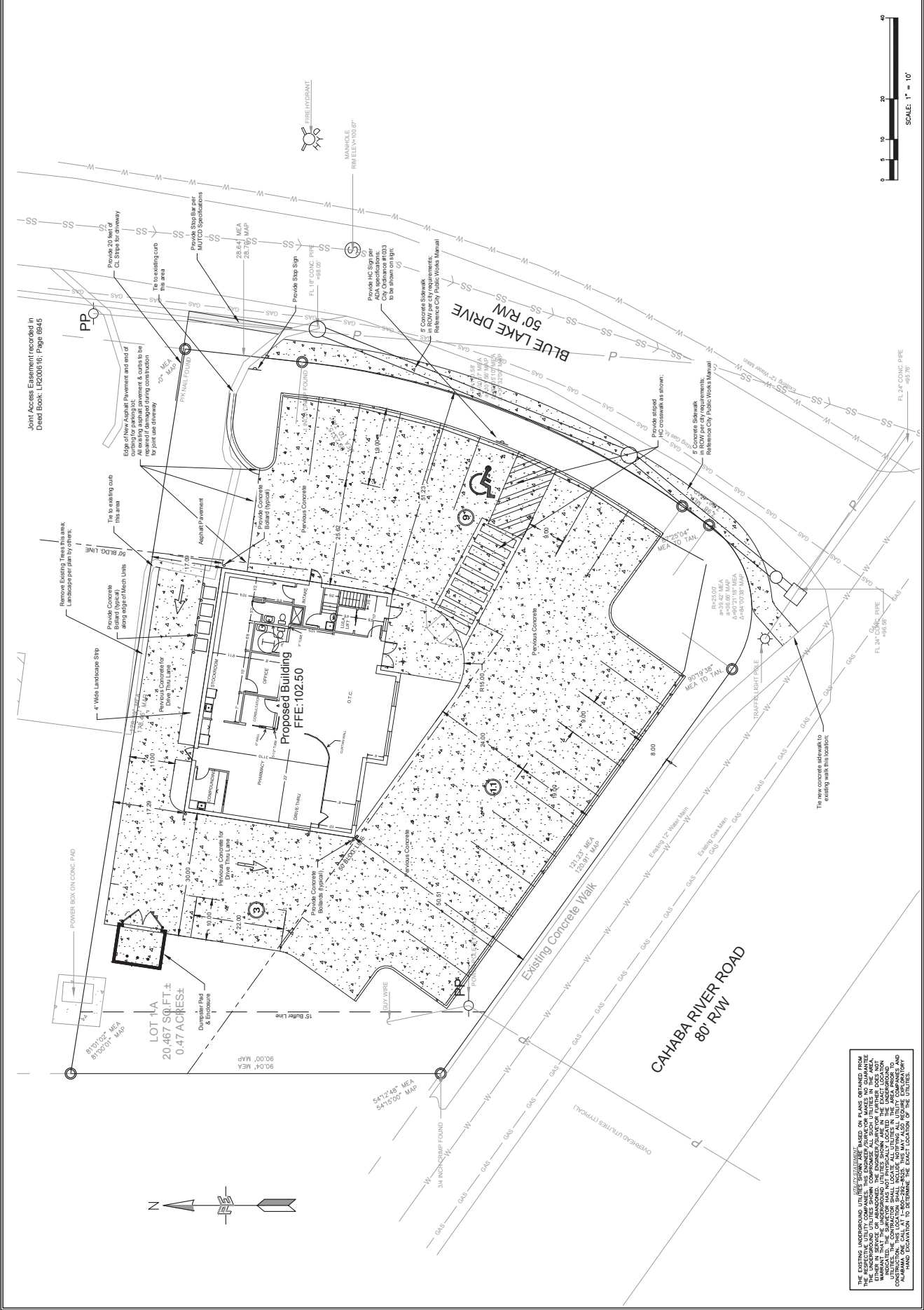
Revisions:
 10/19/19 - City Comments
 10/19/19 - City Comments

File No:
 18-0527-05

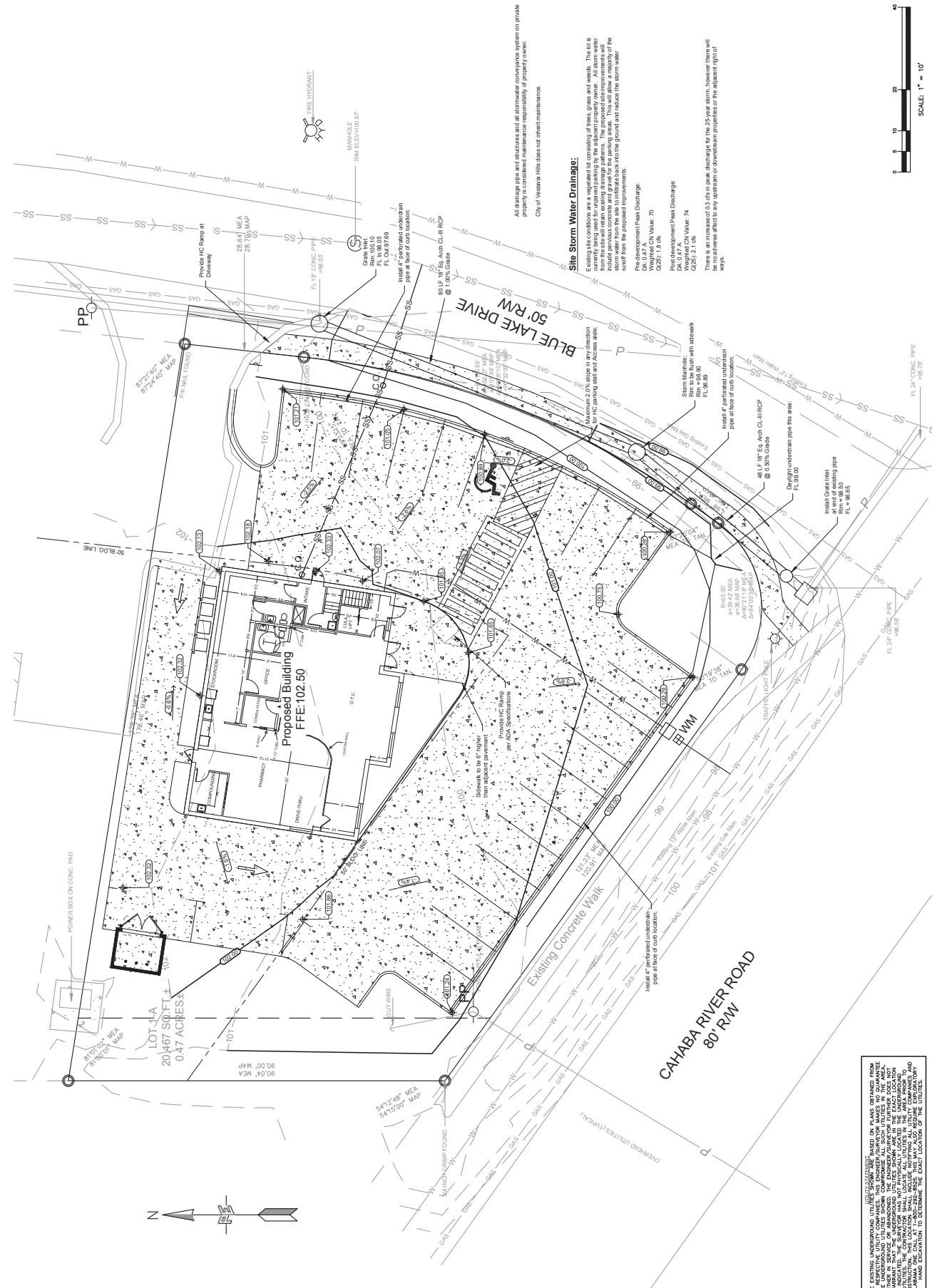
Date:
 June 12, 2019

Scale:
 1" = 10'

Drawing:
C-1.0



THE EXISTING IMPROVEMENTS UTILITIES SHOWN ON THIS PLAN ARE BASED ON PLANS OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES. THE ENGINEER'S RESPONSIBILITY IS TO VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES AND TO ADVISE THE CLIENT OF ANY DISCREPANCIES. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED. THE ENGINEER'S RESPONSIBILITY IS TO ADVISE THE CLIENT OF ANY DISCREPANCIES. THE ENGINEER'S RESPONSIBILITY IS TO ADVISE THE CLIENT OF ANY DISCREPANCIES. THE ENGINEER'S RESPONSIBILITY IS TO ADVISE THE CLIENT OF ANY DISCREPANCIES.



Site Storm Water Drainage:

Existing site conditions are a vegetated lot, consisting of trees, grass and weeds. The lot is currently being used for unimproved parking by the adjacent property owner. All storm water runoff is currently captured by a storm water pipe that runs along the east side of the lot. This plan includes a proposed storm water drainage system that will collect and convey storm water runoff from the proposed improvements to the adjacent street.

All drainage pipe and structures and all stormwater conveyance system on private property is considered maintenance responsibility of property owner.
 City of Vestale Hills does not inspect maintenance.

Pre-development Peak Discharge:
 DA: 0.47 A
 Weighted CN Value: 70

Post-development Peak Discharge:
 DA: 0.47 A
 Weighted CN Value: 74

Peak Discharge: 1.0 cfs

The peak discharge of 1.0 cfs is to be discharged to the 24\"/>

It is noted that the proposed improvements and the adjacent street will be roadways affected to any, upstream or downstream properties or the adjacent right-of-ways.



NOTICE:
 THE EXISTING UNDERGROUND UTILITIES SHOWN WERE OBTAINED FROM THE UNDERGROUND UTILITIES SURVEY (UUS) CONDUCTED BY THE CITY OF VESTALE HILLS, ALABAMA. THE UUS CONDUCTED BY THE CITY OF VESTALE HILLS, ALABAMA, IS A PUBLIC RECORD AND IS AVAILABLE TO THE PUBLIC. THE UUS CONDUCTED BY THE CITY OF VESTALE HILLS, ALABAMA, IS A PUBLIC RECORD AND IS AVAILABLE TO THE PUBLIC. THE UUS CONDUCTED BY THE CITY OF VESTALE HILLS, ALABAMA, IS A PUBLIC RECORD AND IS AVAILABLE TO THE PUBLIC.

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
APPLICATION**

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: Bruno Family LLC
Address: 3122 Green Valley Road
Vestavia Hills, AL
Phone #: 205-967-7199 Other #: 205-968-3249
E-Mail: amcain@brunocapitalmanagement.com

Representing Attorney/Other Agent

Name: Douglas L Acton
Address: 193 Cahaba Valley Parkway
Pelham, AL 35124
Phone #: 205-985-7378 Other #: 205-229-2530
E-Mail: dacton@diacton.com

II. DESCRIPTION OF PROPERTY:

LOCATION: 3122 Green Valley Road
Street Address
Parcel 28-00-15-4-016-003.000
Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST:

1. () Preliminary Review
2. () Landscape Review
3. (X) Architectural Review
5. () Final Review of Materials
6. () Other - Explain _____

IV. PROCESS:

1. () New Building
2. (X) Renovation of Existing Building
3. () New Landscape Plan
4. () Renovation to Existing Landscaping Plan
7. () Other - Explain _____

V. ZONING

Vestavia Hills Zoning for the subject property is Commercial

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

Ronald B. Bruno
Owner Signature/Date

Doug Acton
Representing Agent (if any)/date

Given under my hand and seal
this 22nd day of October, 2019.

Hildi Gray Luallen
Notary Public



My commission expires 14th
day of March, 2019.

Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

- General: Provide fifteen copies plus one 8½" by 11" copy of all drawings or plans required below for review. Drawings must be to scale. These drawings should be turned in with the application.
1. Architectural Review
 - a. Site plan showing roadways, entrances, exits and parking.
 - b. Building elevations showing construction material, material colors, context, and protrusions. Color rendering is preferred. Roof design must be detailed.
 - c. Presentation by architect or owner with knowledge of compatibility with adjacent structures, city context, etc.
 2. Landscape Review
 - a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
 - b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
 - c. Parking lots: Provide calculations of total square footage and square footage designated for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
 - d. Irrigation plan for all landscaped areas.
 - e. Statement of maintenance policy and provisions.

