

CITY OF VESTAVIA HILLS
PLANNING AND ZONING COMMISSION

AGENDA

OCTOBER 10, 2019

6:00 P.M.

Roll Call.

Pledge of Allegiance

Approval of Minutes: September 12, 2019

Final Plats

Consent Agenda

- (1) **P-1019-48** Vines Construction, Inc Is Requesting **Final Plat Approval For Lilly's Subdivision**. The Purpose for This Request Is to Resurvey Lot Lines. The Property Is Owned By Vines Construction, Inc and Is Zoned Vestavia Hills R-4.
- (2) **P-1019-53** Paul E. Russell Is Requesting **Final Plat Approval For Alta Glen Highlands**. The Purpose for This Request Is to Subdivide Annexed Property Into Three Lots. The Property Is Owned By Paul E. Russell and Is Zoned Vestavia Hills E-2.
- (3) **P-1019-56** Overton Investments, LLC Is Requesting **Final Plat Approval For Overton Investments Resurvey No. 1 Of New Merkle**. The Purpose for This Request Is To Resurvey Lot Lines. The Property Is Owned By Overton Investments, LLC and Is Zoned Vestavia Hills R-9.
- (4) **P-1019-57** Bruno Family, LLC Is Requesting **Final Plat Approval For Resurvey No. 1 J.S. Jones Addition To New Merkle**. The Purpose for This Request Is to Combine Lots. The Property Is Owned By Bruno Family, LLC and Is Zoned Vestavia Hills O-1.
- (5) **P-1019-58** Clayton Properties Group, Inc. Is Requesting **Final Plat Approval For Helen Ridge**. The Purpose for This Request Is to Create 52 Lots. The Property Is Owned By Clayton Properties Group, Inc. and Is Zoned Vestavia Hills R-9.

- (6) **P-1019-59** Overton Village Condos, LLC. Is Requesting **Final Plat Approval For Overton Village Resurvey No. 2**. The Purpose for This Request Is to Create 6 Lots. The Property Is Owned Overton Village Condos, LLC. and Is Zoned Vestavia Hills R-9.

Rezoning/Conditional Use Recommendations

Annexations:

- (7) **P-1019-46** Paul E. Russell Is Requesting **Rezoning For 2645 Alta Glen Dr.** from **Jefferson County E-1 to Vestavia Hills E-2** For The Purpose Of Annexation.
- (8) **P-1019-47** Hugh R. Humphrey Is Requesting **Rezoning For 2790 Acton Pl.** from **Jefferson County R-1 to Vestavia Hills R-2** For The Purpose Of Annexation.
- (9) **P-1019-49** Jennifer S. Weldon Is Requesting **Rezoning For 2606 Acton Rd.** from **Jefferson County A-1 to Vestavia Hills Agriculture** For The Purpose Of Annexation.
- (10) **P-1019-50** Honeycutt Real Estate Holdings, LLC Is Requesting **Rezoning For 929 Mountain Branch Cir.** from **Jefferson County R-1 to Vestavia Hills R-2** For The Purpose Of Annexation.
- (11) **P-1019-51** William Ennis Is Requesting **Rezoning For 2429 Kenvil Cir.** from **Jefferson County E-2 to Vestavia Hills R-1** For The Purpose Of Annexation.
- (12) **P-1019-52** Brook Russell Is Requesting **Rezoning For 3516 Squire Ln.** from **Jefferson County E-2 to Vestavia Hills R-1** For The Purpose Of Annexation.
- (13) **P-1019-55** Timothy B. Higgins Is Requesting **Rezoning For 4222 Dolly Ridge Rd.** from **Vestavia Hills B-3 to Vestavia Hills B-1.2** For The Purpose Of Mixed Use Development.

CITY OF VESTAVIA HILLS
PLANNING AND ZONING COMMISSION

MINUTES

SEPTEMBER 12, 2019

6:00 P.M.

The Planning and Zoning Commission of the City of Vestavia Hills met in regular session on this date at 6:00 P.M. following posting/publication as required by Alabama law. The roll was called with the following:

MEMBERS PRESENT: Erica Barnes, Chair
Lyle Larson
Mike Vercher
Jonathan Romeo
Rusty Weaver
Cheryl Cobb
Fred Goodwin

MEMBERS ABSENT: Hasting Sykes
Greg Gilchrist

OTHER OFFICIALS PRESENT: Conrad Garrison, City Planner
Christopher Brady, City Engineer

APPROVAL OF MINUTES

Mrs. Barnes stated that the minutes of the meeting August 8, 2019 are presented for approval. Mr. Goodwin stated that more clarification was needed regarding school zoning and provided suggested amendments.

MOTION Motion to approve minutes as amended was by Mr. Romeo and second was by Mr. Weaver. Voice vote as follows:

Mr. Goodwin – yes	Mr. Vercher – yes
Mr. Romeo – yes	Mr. Weaver – yes
Ms. Cobb – yes	Mr. Larson – yes
Mrs. Barnes – yes	Motion carried.

Preliminary Plats

P-0919-43 Liberty Park Joint Venture, LLP Is Requesting **Preliminary Plat Approval For Readjustment of Land Use Boundaries At Liberty Park.** The Purpose For This Request Is To Amend Land Use Boundaries. The Property Is Owned By Liberty Park Joint Venture, LLP and Is Zoned Vestavia Hills PR-1, PB, & PNC.

Mr. Garrison explained the background of the request. He stated the Liberty Park annexation and zoning agreement allow land use changes by preliminary plat as a right.

James Parsons stated the changes amount to a net 0%

Mrs. Barnes opened the floor for a public hearing. There being no one to address the Commission concerning this request, Mrs. Barnes closed the public hearing and opened the floor for a motion.

MOTION Ms. Cobb made a motion to approve Preliminary Plat Approval For Readjustment of Land Use Boundaries At Liberty Park. Second was by Mr. Larson. Motion was carried on a roll call; vote as follows:

Mr. Goodwin – yes	Mr. Vercher – yes
Mr. Romeo – yes	Mr. Weaver– yes
Ms. Cobb – yes	Mr. Larson – yes
Mrs. Barnes – yes	Motion carried.

Final Plats

Consent Agenda

(2) **P-0918-42** Shealy Properties Investments Is Requesting **Final Plat Approval For Resurvey of the South Part of Lots 10 and 11 Block 1 of Map of First Addition to Shades Cahaba Estates.** The Purpose For This Request Is To Resurvey Lot Lines. The Property Is Owned Shealy Properties Investments and Is Zoned Vestavia Hills R-4.

(3) **P-0919-44** Liberty Park Joint Venture, LLP Is Requesting **Final Plat Approval For Liberty Park Town Village Commercial Subdivision No. 2 – Resurvey No. 2.** The Purpose for This Request Is to Subdivide One Lot And Right-Of-Way Into Twelve Lots. The Property Is Owned By Liberty Park Joint Venture, LLC and Is Zoned Vestavia Hills PB.

(4) **P-0919-45** Liberty Park Joint Venture, LLP Is Requesting **Final Plat Approval For The Bray At Liberty Park Easement Survey.** The Purpose for This Request Is to Dedicate Easements For Ingress, Egress, & Utilities. The Property Is Owned By Liberty Park Joint Venture, LLC and Is Zoned Vestavia Hills PB.

MOTION Ms. Cobb made a motion to approve items 2-4. Second was by Mr. Romeo. Motion was carried on a roll call; vote as follows:

Mr. Goodwin – yes
Mr. Romeo – yes
Ms. Cobb – yes
Mrs. Barnes – yes

Mr. Vercher – yes
Mr. Weaver – yes
Mr. Larson – yes
Motion carried.

Conrad Garrison, City Planner

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: OCTOBER 10, 2019

- **CASE:** P-1019-48
- **REQUESTED ACTION:** Final Plat Approval To Adjust Lot Lines on Lots 1 & 2 of Lilly’s Subdivision
- **ADDRESS/LOCATION:** 3457 & 3463 East Street
- **APPLICANT/OWNER:** Vines Construction Inc.
- **REPRESENTING AGENT:** N/A
- **GENERAL DISCUSSION:** Plat is to reconfigure the lot lines to allow for better access to the property. The applicant has submitted a copy of the litigation that create the access easement. The ingress/egress easement will act as a private drive, with the name of “Vines Way”. The lots are currently zoned R-4 and meet minimum requirements.
- **VESTAVIA HILLS COMPREHENSIVE PLAN:** This request is consistent with the plan for a medium density residential district.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted
 4. **Building Safety Review:** No problems noted

2019 AUG 29 P 12:00
**CITY OF VESTAVIA HILLS
PLANNING AND ZONING COMMISSION
FINAL MAP APPLICATION**

II. APPLICANT INFORMATION: (owner of property)

NAME: Vines Construction Inc.

ADDRESS: 1 Bent Rail Lane
Pelham, AL 35124

MAILING ADDRESS (if different from above) _____

PHONE NUMBER: Home 205 369-6094 Office 205-243-9236

NAME OF REPRESENTING ATTORNEY OR OTHER AGENT: _____

III. ACTION REQUESTED

Final Plat Approval

Explain reason for the request: To reconfigure lots for better
access

if additional information is needed, please attached full description of request

IV. PROPERTY DESCRIPTION: (address, legal description, etc.)

2800143006006.000
2800143006009.000 3457 East St.

Property size: 210 feet X 210 feet. Acres: 1.0

VI. ZONING/REZONING:

The above described property is presently zoned: R-4

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

Ann Vines 8-29-19 _____
Owner Signature/Date Representing Agent (if any)/date

Given under my hand and seal
this 29th day of August, 2019.

Kay Russon
Notary Public

My Commission Expires
November 8, 2020

My commission expires _____
day of _____, 20____.





ELECTRONICALLY FILED
 12/18/2018 11:42 AM
 01-CV-2017-900677.00
 CIRCUIT COURT OF
 JEFFERSON COUNTY, ALABAMA
 ANNE-MARIE ADAMS, CLERK

IN THE CIRCUIT COURT OF JEFFERSON COUNTY ALABAMA

CADE CONSTRUCTION, LLC, an)
 Alabama limited liability company,)

CIVIL ACTION NUMBER

Plaintiff,)

CV-2017-900677

vs.)

JAMES F. LANGSTON, JASON M.)
 LANGSTON, and REGIONS BANK,)
 a corporation,)

County Division Code: AL040
 Inst. # 2018129535 Pages: 1 of 4
 I certify this instrument filed on
 12/21/2018 2:49 PM Doc: CO
 Alan L. King, Judge of Probate
 Jefferson County, AL. Rec: \$25.00

Defendants)

Clerk: PEEPLESC

FINAL JUDGMENT

This matter came before the Court on the Joint Motion for Entry of a Consent Judgment filed by the parties to this lawsuit, except for Regions Bank against whom a default judgment was previously entered. The Court, having considered the same, enters the following final judgment:

1. On or about March 25, 1996, James F. Langston and his then wife Frances L. Langston, granted to James E. Duke III, who is one and the same person as James Edward Duke III, an easement appurtenant recorded in 9604/0769 in the office of the judge of probate of Jefferson County, Alabama, and rerecorded on or about June 21, 1996, in 9607/6746 in the office of the judge of probate of Jefferson County, Alabama.

2. The purpose of the easement appurtenant referred to in the preceding paragraph is for pedestrian and vehicular access and not less than twelve (12) feet in width over and upon the property then owned by the Langstons (the Langston Property).

P1019-48//2800143006006.000
 3457 & 3463 East Street
 Final Map to Adjust Lot Lines
 Vines Construction R4

3. Cade Construction, LLC (Cade) is now the owner of the property (the Cade Property) described in that certain deed dated June 8, 2015, executed by James Edward Duke III, recorded in BookLR201513, page 13612, in the office of the judge of probate of Jefferson County, Alabama, and benefited by the aforementioned easement.

4. Jason M. Langston has succeeded to part or all of the interest in and to the property previously owned by Frances L. Langston and burdened by the easement.

5. Cade filed this action to resolve a dispute between the parties relating the nature, extent, size, and location of the easement.

6. The Parties have since resolved their differences and agree and consent to the entry of this Final Consent Judgment. It is therefore, ordered, adjudged and decreed that:

a. Cade and its successors and assigns shall have a perpetual, non-exclusive easement (the Permanent Easement) for ingress and egress and the installation of utilities over and upon a strip of land fourteen (14) feet in width from the western boundary of the Langston Property and running from the southern right of way of East Street and continuing to the southern boundary of the Langston Property.

b. Cade and its successors and assigns shall also have a non-exclusive, temporary easement (the Construction Easement) over and upon a strip of land 2 feet in width from the western edge of the Permanent Easement and running from the southern right of way of East Street and continuing to the southern boundary of the Langston, for and during any construction, improvement, or repair of the Permanent Easement. Cade and its successors and assigns shall repair any damage they cause to the vegetation located within the Construction Easement.

c. James F. Langston and Jason M. Langston, for themselves, their heirs, executors, and administrators covenant unto Cade and its successors and assigns, that they are lawfully seized in fee simple of the Langston Property; that it is free from all encumbrances except for the Regions Mortgage; that they have good right to sell and

convey the Permanent Easement and Construction Easement; that they will and their heirs, executors and administrators shall warrant and defend the same to Cade and its successors and assigns forever, against the lawful claims of all persons.

d. Defendants are hereby enjoined from interfering with Plaintiff's use of the Permanent Easement or Construction Easement for the uses and purposes set out above.

e. Cade shall pay James F. Langston and Jason M. Langston the total sum of five thousand dollars (\$5,000.00) within thirty (30) days of the entry of the Final Consent Judgment.

f. Cade shall cause this Final Consent Judgment to be recorded in the Office of the Judge of Probate of Jefferson County, Alabama.

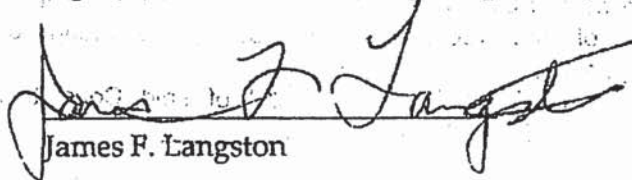
g. Costs are taxed as paid.

DONE this the 10 day of December, 2018.

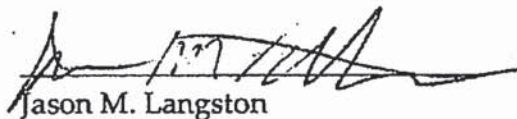


Donald E. Frankenship
Circuit Judge


Agreed and Consented to by the parties prior to entry:



James F. Langston



Jason M. Langston



Cade Construction, LLC
By: Caitlin Cade its President

P1019-48//2800143006006.000
3457 & 3463 East Street
Final Map to Adjust Lot Lines
Vines Construction R4

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: OCTOBER 10, 2019

- **CASE:** P-1019-53
- **REQUESTED ACTION:** Final Plat Approval To Resurvey Lot in Alta Glen Highlands Neighborhood
- **ADDRESS/LOCATION:** 2645 Alta Glen Drive
- **APPLICANT/OWNER:** Paul and Gloria Russell
- **REPRESENTING AGENT:** Allison West
- **GENERAL DISCUSSION:** Plat is subdivide lot into 3 lots (Lot 1, Lot 2, & Lot 3). Each lot will have an area of over an acre and all three have a 75' recorded front setback. The lot is currently zoned E-2.
- **VESTAVIA HILLS COMPREHENSIVE PLAN:** This request is consistent with the plan for a residential estate district.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted
 4. **Building Safety Review:** No problems noted

P1019-53//2800331001005.001
2645 Alta Glen Drive
Final Map to create 3 lots
Paul & Gloria Russell
VHE2

P&Z Application
Final Plat Approval
Page 3

**CITY OF VESTAVIA HILLS
PLANNING AND ZONING COMMISSION
FINAL MAP APPLICATION**

2019 AUG 28 A 9:24

II. APPLICANT INFORMATION: (owner of property)

NAME: Paul E. Russell

ADDRESS: 2680 Alta Glen Drive
Vestavia, AL 35243

MAILING ADDRESS (if different from above) PO Box 99
McCalla, AL 35111

PHONE NUMBER: Home 240-0464 Office 222-2873

NAME OF REPRESENTING ATTORNEY OR OTHER AGENT: Allison West
mallisonwest@gmail.com / 205-240-0464

III. ACTION REQUESTED

Final Plat Approval

Explain reason for the request: sub dividing lot, recording plat

if additional information is needed, please attached full description of request

IV. PROPERTY DESCRIPTION: (address, legal description, etc.)

2645 Alta Glen Drive

Property size: _____ feet X _____ feet. Acres: 1.2 acre each = 3.6 total

VI. ZONING/REZONING:

The above described property is presently zoned: E1

10/1/11

STATE OF TEXAS
COMMISSION ON STATE GOVERNMENT
OFFICE OF THE COMMISSIONER

REPORT OF THE COMMISSION ON STATE GOVERNMENT

James E. Brumby

James E. Brumby (1911-1978)

James E. Brumby

James E. Brumby

James E. Brumby

James E. Brumby

James E. Brumby

James E. Brumby

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James E. Brumby

James E. Brumby

James E. Brumby

James E. Brumby

James E. Brumby

P1019-53//2800331001005.001

2645 Alta Glen Drive

Final Map to create 3 lots

Paul & Gloria Russell

VHE2

P&Z Application
Final Plat Approval
Page 4

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

Paul & Russell

Owner Signature/Date

Gregory West

Representing Agent (if any)/date

Given under my hand and seal
this 23 day of August, 2019.

Kenneth Beatty

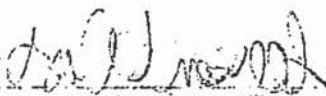
Notary Public

My commission expires 2/25/2023
day of February, 2023.



OWNERS AFFIDAVIT

I hereby declare the above statements are true and that I the owner and/or my (du) authorized representative will be at the scheduled location



Name of the owner

Date

Given under my hand and seal
this _____ day of _____ 20____

Notary Public

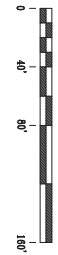
My commission expires
this _____ day of _____ 20____



ALTA GLEN HIGHLANDS

SITUATED IN THE
 SECTION 21 TOWNSHIP 19 SOUTH RANGE 2 WEST,
 JEFFERSON COUNTY, ALABAMA
SURVEYING SOLUTIONS, INC.
 2232 CHADWA WALKER FORBES SUITE M
 BRUNNICKVILLE, OHIO 45115
 (614) 971-4866

OWNER:
PAUL E. RUSSELL
 MORTGAGEE:
CENTRAL STATE BANK



CITY OF WESTVIA HILLS JURISDICTION

STATE OF ALABAMA
 COUNTY OF SHELBY

The undersigned, Carl Daniel Moore, a Registered Land Surveyor, State of Alabama, and Paul E. Russell, owner, hereby certify that the plat or map was made pursuant to a survey made by said surveyor and that said survey is correct and true in accordance with the laws of this State. The boundaries shown thereon and shown as ALTA GLEN HIGHLANDS showing the subdivisions into which it is proposed to divide said lands, appear true, plain, and simple, and the contents of each lot and the nature and extent of each lot and block, showing the relation of the same to the government survey of Section 21, Township 19 South, Range 2 West, are shown and indicated by installation of stakes on said plat or map. Said owner also certifies that the owner of said lands and that same are not subject to any mortgage, except a mortgage with Central State Bank, and that all such mortgages and such liens have been completely satisfied as of the date hereof.

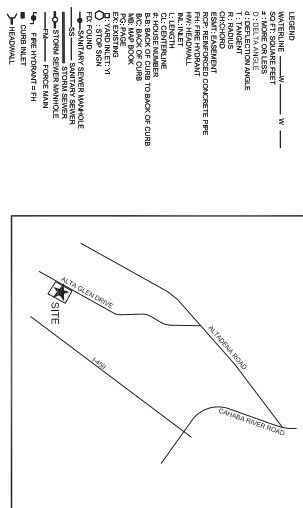
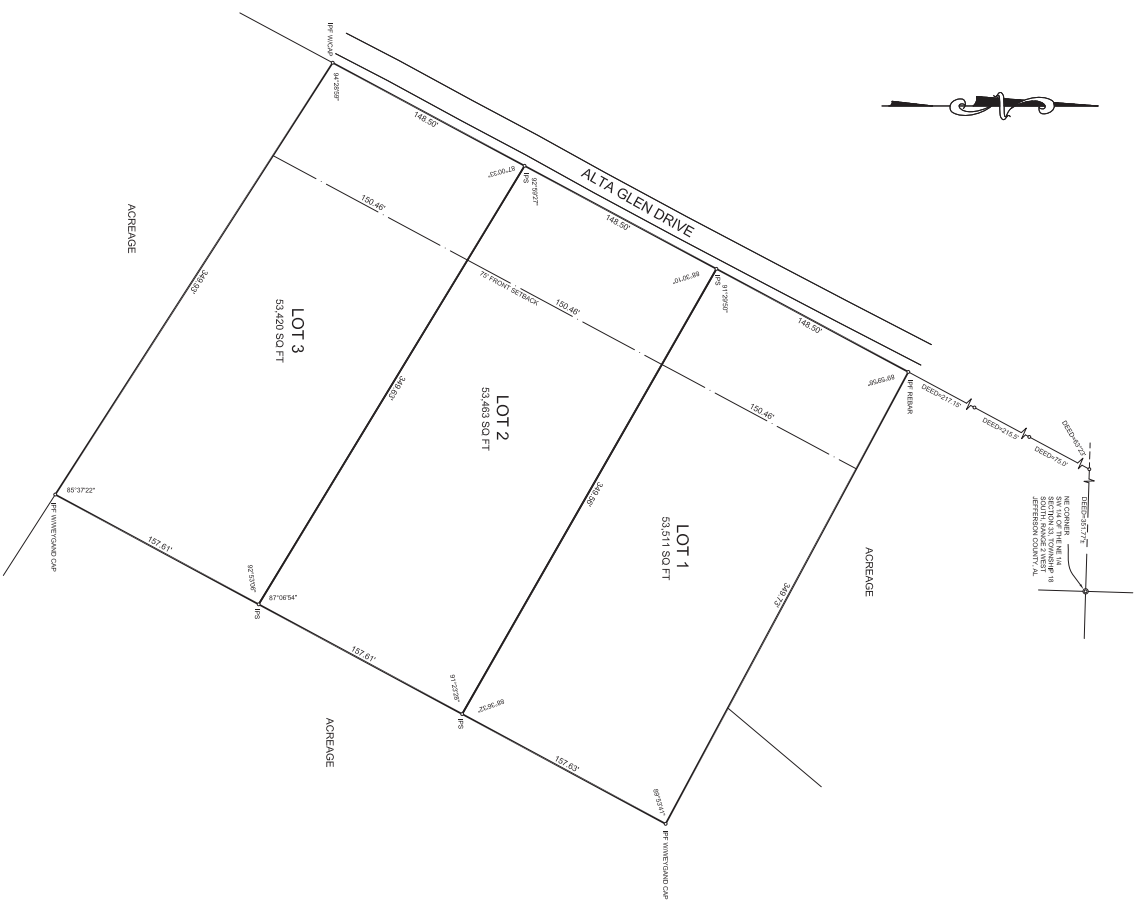


DATE: _____
 By: Carl Daniel Moore, Reg. L.S. #12124
 Paul E. Russell, Owner,
 Central State Bank, Mortgagee
 By: _____
 City Clerk

APPROVED:
 BY: _____
 CITY ENGINEER
 CHADWA WALKER FORBES PLANNING & ZONING COMMISSION
 BY: _____
 CITY CLERK

APPROVED: _____ DATE: _____
 DIRECTOR OF ENVIRONMENTAL SERVICES
 FOR RECORDING PURPOSES ONLY

Environmental Services Department approval indicates that easements have been indicated for future Jefferson County Environmental Services Department approval and that the same are in accordance with the State. Any change in any Right of Way or Easement boundaries after the date may void this approval.



STATE OF ALABAMA
 COUNTY OF SHELBY

I, the undersigned, as Mayor of the City of Westviahills, do hereby certify that Carl Daniel Moore, whose name is signed to the foregoing certificate as owner, and who is known to me, acknowledged before me on the date that said plat or map was made, and that the contents of said certificate, except the same verbiage, are such as to fully inform me of the contents of the same and foregoing affidavits, he executed the same voluntarily, as an act of said land surveyor, on the day given under my hand and seal the _____ day of _____, 20____.

By: Mayor Paul E. Russell
 My Commission Expires: _____

STATE OF ALABAMA
 COUNTY OF SHELBY

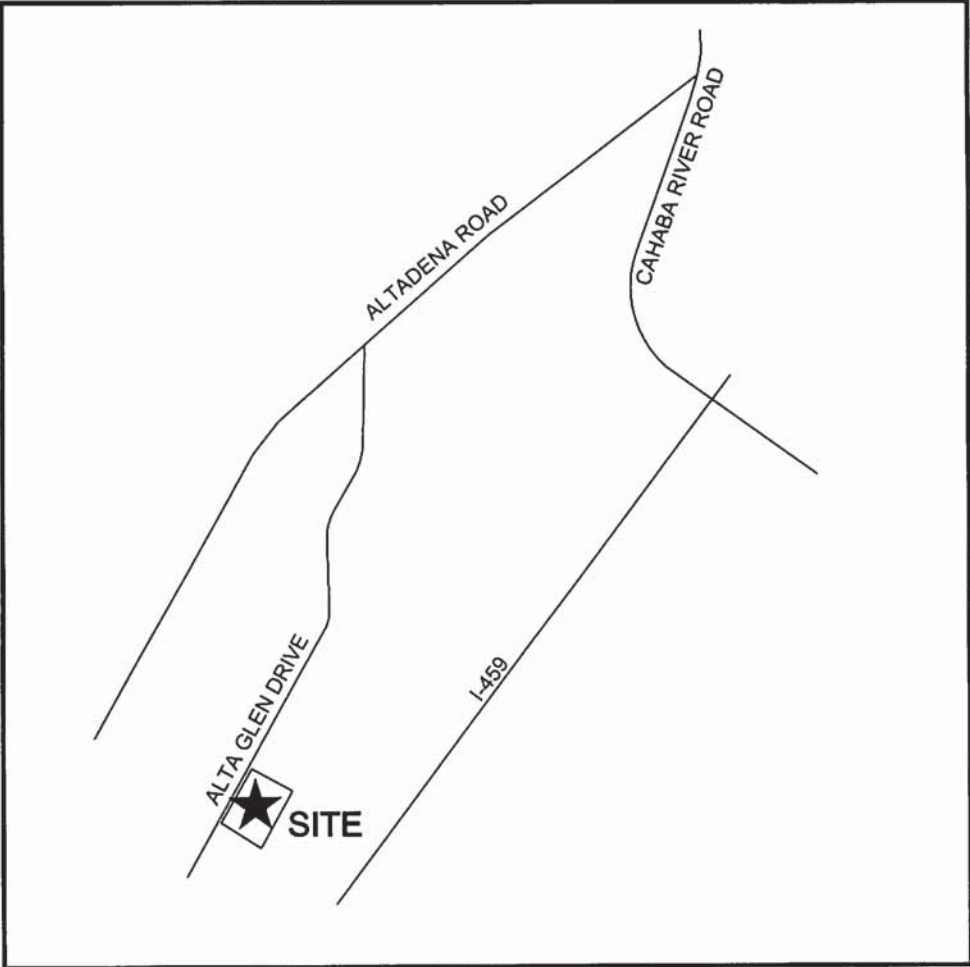
I, the undersigned, a notary public in and for said county, in said state, hereby certify that Paul E. Russell, whose name is signed to the foregoing certificate as owner, and who is known to me, acknowledged before me, on the date that said plat or map was made, and that the contents of said certificate, except the same verbiage, are such as to fully inform me of the contents of the same and foregoing affidavits, he executed the same voluntarily, as an act of said land surveyor, on the day given under my hand and seal the _____ day of _____, 20____.

By: Notary Public
 My Commission Expires: _____

STATE OF ALABAMA
 COUNTY OF SHELBY

I, the undersigned, as Mayor of the City of Westviahills, do hereby certify that Carl Daniel Moore, whose name is signed to the foregoing certificate as owner, and who is known to me, acknowledged before me, on the date that said plat or map was made, and that the contents of said certificate, except the same verbiage, are such as to fully inform me of the contents of the same and foregoing affidavits, he executed the same voluntarily, as an act of said land surveyor, on the day given under my hand and seal the _____ day of _____, 20____.

By: Mayor Paul E. Russell
 My Commission Expires: _____



VINICITY MAP

NOT TO SCALE

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: OCTOBER 10, 2019

- **CASE:** P-1019-56
- **REQUESTED ACTION:** Final Plat Approval To Resurvey Lot Lines
- **ADDRESS/LOCATION:** 3784 & 3782 Poe Drive
- **APPLICANT/OWNER:** Overton Investments, LLC
- **REPRESENTING AGENT:** N/A
- **GENERAL DISCUSSION:** Plat is to resurvey lot lines for two lots on Poe Drive and. This is needed to conform with the zoning. This property was previously rezoned to allow for the installation of a sewer lateral that represents part of Lot 29-A. The lots are currently zoned R-9.
- **VESTAVIA HILLS COMPREHENSIVE PLAN:** This request is consistent with the plan for a planned residential district.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted
 4. **Building Safety Review:** No problems noted

**CITY OF VESTAVIA HILLS
PLANNING AND ZONING COMMISSION
FINAL MAP APPLICATION**

II. APPLICANT INFORMATION: (owner of property)

NAME: Overton Investments LLC
ADDRESS: 3505 Bent River Rd
Birmingham, AL 35216
MAILING ADDRESS (if different from above) _____

2019 SEP 19 A 11:22

PHONE NUMBER: Home — Office 205-985-7171
NAME OF REPRESENTING ATTORNEY OR OTHER AGENT: _____

III. ACTION REQUESTED

Final Plat Approval

Explain reason for the request: Resurvey of lot lines
to match the zoning
if additional information is needed, please attached full description of request

IV. PROPERTY DESCRIPTION: (address, legal description, etc.)


3784 Poe Dr + 3785 Glass Dr + 3782 Poe Dr
Vestavia Hills, AL 35223
Property size: 50 feet X 140 feet. Acres: .161

VI. ZONING/REZONING:

The above described property is presently zoned: R-9

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

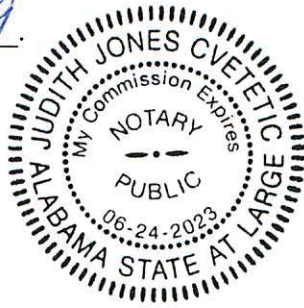

9/19/19

Owner Signature/Date
Representing Agent (if any)/date

Given under my hand and seal
this 19th day of September, 20 19.



Notary Public



My commission expires 24th
day of June, 20 23.

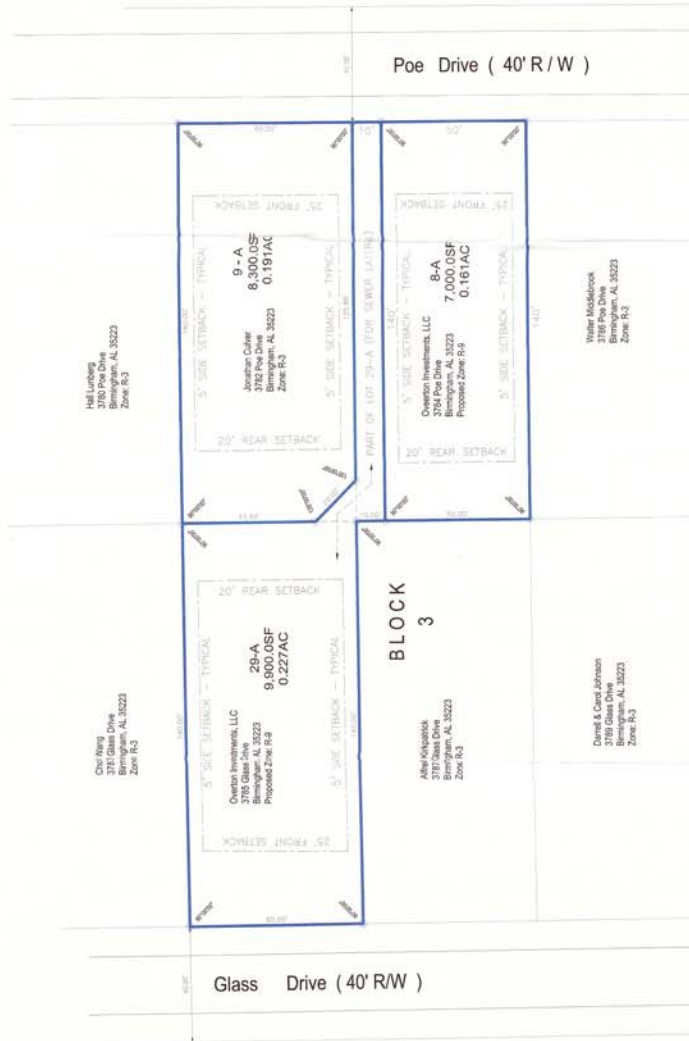
P18194-S6/2800151012807.002
 3784 & 3782, Poe Dr
 Final Map to resurvey lot lines
 Overtown Investments

FINAL PLAT
 FOR

OVERTON INVESTMENTS RESURVEY NO1 OF NEW MERKLE

Being a Resurvey of Lot 29 & Lot 8, BLOCK 3, NEW MERKLE, as recorded in Map Book 28, Page 35, in the
 Probate Office of Jefferson County, Alabama

PURPOSE: TO RESURVEY THREE EXISTING LOTS INTO 3 SINGLE FAMILY LOTS



STATE OF ALABAMA
 CITY OF VESTAVIA

We, the undersigned, Karl L. Hager as Notary Public and OVERTON INVESTMENTS, LLC as Owners, do hereby certify that the foregoing plat or map is an accurate survey of the subject property, and that the same has been prepared in accordance with the laws of Alabama, and that the same has been recorded in the Probate Office of Jefferson County, Alabama, and that the same is a true and correct copy of the original as the same appears in the records of said office.

Karl L. Hager, Notary Public
 Alabama Reg. No. 11848

STATE OF ALABAMA
 CITY OF VESTAVIA HILLS

KARL L. HAGER, whose name appeared in the foregoing certificate and who is a Notary Public in and for said County and State hereby certifies that the foregoing plat or map is an accurate survey of the subject property, and that the same has been prepared in accordance with the laws of Alabama, and that the same is a true and correct copy of the original as the same appears in the records of said office.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____

NOTARY PUBLIC
 MY COMMISSION

CHARLES KESSLER JR, MEMBER, OWNER, LOT 29-A & B-A
 OVERTON INVESTMENTS, LLC

STATE OF ALABAMA
 COUNTY OF _____

THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, HEREBY CERTIFY THAT THE FOREGOING RECORD MAP OR MAP OF OVERTON INVESTMENTS, LLC IS BONDED TO THE FOREGOING RECORD MAP OR MAP OF OVERTON INVESTMENTS, LLC IN ACCORDANCE WITH THE LAWS OF ALABAMA, AND THAT THE UNDERSIGNED IS A MEMBER OF SAID CORPORATION IN THE CAPACITY SET FORTH HEREIN.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____

NOTARY PUBLIC
 MY COMMISSION

STATE OF ALABAMA
 COUNTY OF _____

L. THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, HEREBY CERTIFY THAT THE FOREGOING RECORD MAP OR MAP OF OVERTON INVESTMENTS, LLC IS BONDED TO THE FOREGOING RECORD MAP OR MAP OF OVERTON INVESTMENTS, LLC IN ACCORDANCE WITH THE LAWS OF ALABAMA, AND THAT THE UNDERSIGNED IS A MEMBER OF SAID CORPORATION IN THE CAPACITY SET FORTH HEREIN.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____

NOTARY PUBLIC
 MY COMMISSION

Jonathan Culver - OWNER LOT 9-A

APPROVED: _____
 CITY ENGINEER

APPROVED: _____
 CITY CLERK, VESTAVIA HILLS, ALABAMA

APPROVED: _____
 CHAIRMAN, PLANNING COMMISSION
 CITY OF VESTAVIA HILLS, ALABAMA

DIRECTOR
 JEFFERSON COUNTY ENVIRONMENTAL SERVICES

DATE: APRIL 23, 2019

PREPARED BY:
 HAGER & COMPANY, INC.
 1825-D 12TH AVENUE
 PHONE: (205) 228-1788 - ash@hager.com

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: **OCTOBER 10, 2019**

- **CASE:** P-1019-57
- **REQUESTED ACTION:** Final Plat Approval To Combine Lots On Green Valley Road
- **ADDRESS/LOCATION:** 3122 Green Valley Road & 3125 Autumn Court
- **APPLICANT/OWNER:** Bruno Family LLC
- **REPRESENTING AGENT:** Derek Meadows
- **GENERAL DISCUSSION:** Plat is resurvey Lot's 10, 11, 12, & 13 and combine them into one, in order to obtain a building permit to make improvements on the current structure. The resurvey is needed because the current structure sits on the property line and this request will bring the property up to code, as the applicant completes their work on the structure. The lots are zoned O-1.
- **CAHABA HEIGHTS COMMUNITY PLAN:** This request is consistent with the plan for an office park district.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted
 4. **Building Safety Review:** No problems noted

P1019-57//2800154016003&004
3122 Green Valley Rd. & 3125
Autumn Ct.
Final Map to combine lots
Bruno Family, LLC

P&Z Application
Final Plat Approval
Page 3

**CITY OF VESTAVIA HILLS
PLANNING AND ZONING COMMISSION
FINAL MAP APPLICATION**

2019 SEP 25 A 7:24'

II. APPLICANT INFORMATION: (owner of property)

NAME: Bruno Family LLC-Owner, Ken Bruno-Member

ADDRESS: 3122 Greenvalley Road, Vestavia, Al 35243

MAILING ADDRESS (if different from above) Same

PHONE NUMBER: Home _____ Office 205-967-7199

NAME OF REPRESENTING ATTORNEY OR OTHER AGENT: _____

Derek S. Meadows or Representative with Gonzalez-Strength & Associates

III. ACTION REQUESTED

Final Plat Approval

Explain reason for the request: Resubdivide lots 10, 11, 12 & 13 in order to obtain

Building Permits and Variance Request to improve the appearance of the current structure.

****if additional information is needed, please attached full description of request****

IV. PROPERTY DESCRIPTION: (address, legal description, etc.)

Lots 10, 11, 12 & 13 according to J.S. Jones Addition to New

Merkle MB. 23 PG. 60

3122 Green Valley Rd & 3125 Autumn Ct.

Property size: 210 feet X 79 feet. Acres: 0.37

VI. ZONING/REZONING:

The above described property is presently zoned: O-1

P1019-57//2800154016003&004
3122 Green Valley Rd. & 3125
Autumn Ct.
Final Map to combine lots
Bruno Family, LLC

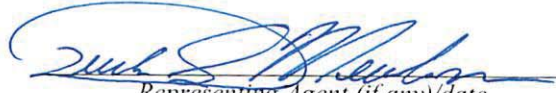
P&Z Application
Final Plat Approval
Page 4

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.



Owner Signature/Date

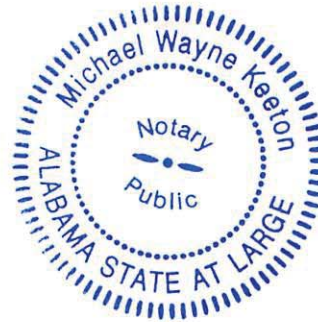


Representing Agent (if any)/date

Given under my hand and seal
this 25TH day of SEPTEMBER, 20 19.

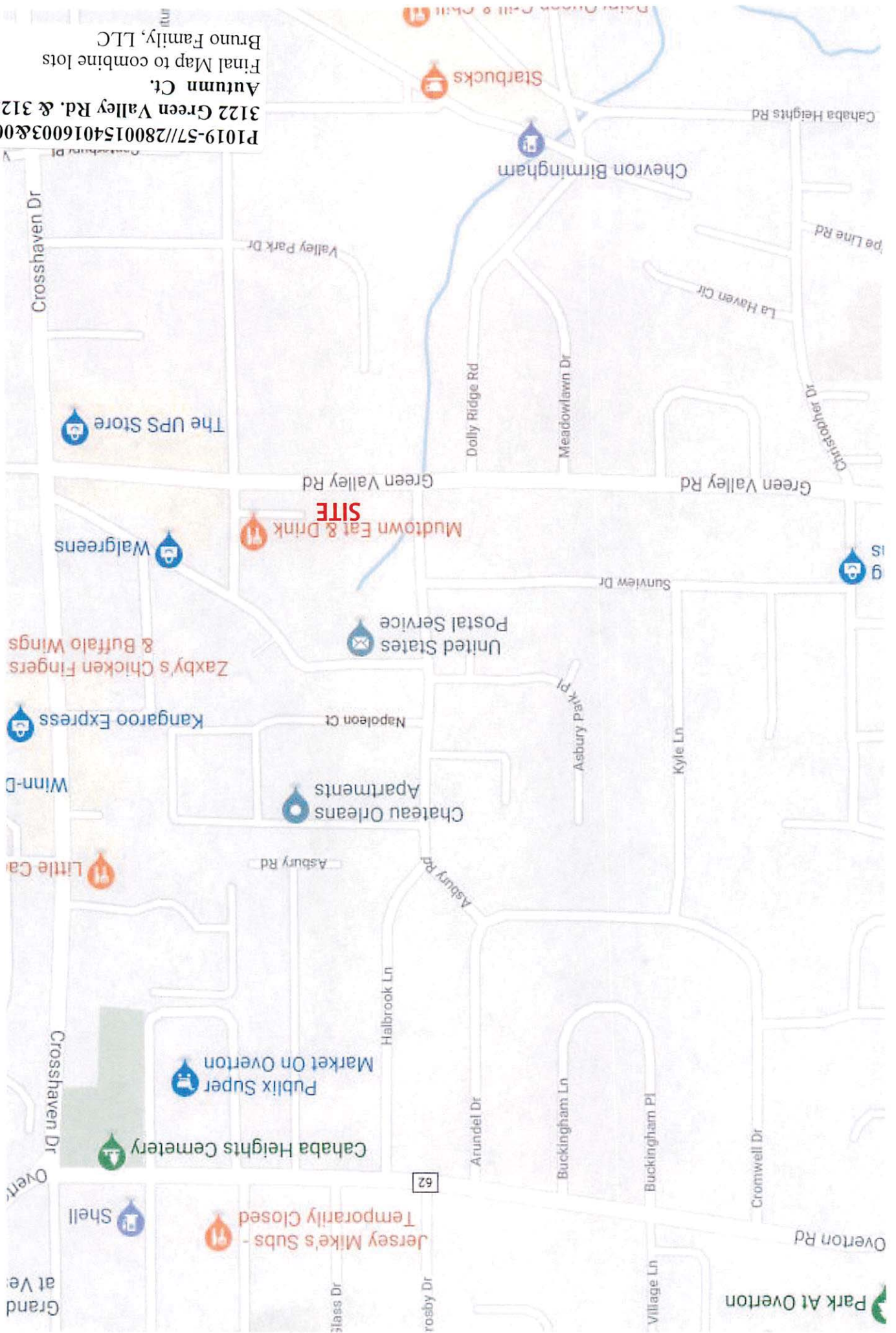


Notary Public



My commission expires 22ND
day of APRIL, 20 23.

P1019-57//2800154016003&004
3122 Green Valley Rd. & 3125
Autumn Ct.
Final Map to combine lots
Bruno Family, LLC



Park At Overton

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: **OCTOBER 10, 2019**

- **CASE:** P-1019-58
- **REQUESTED ACTION:** Final Plat Approval For Helen Ridge Subdivision
- **ADDRESS/LOCATION:** 3700 Cahaba Heights Road
- **APPLICANT/OWNER:** Clayton Properties Group, Inc
- **REPRESENTING AGENT:** Rodney Cunningham
- **GENERAL DISCUSSION:** Plat will finalize Helen Ridge rezoning/subdivision. The subdivision is located near the I-459 crossing of Cahaba Heights Road. There will be 48 individual single-family lots and 4 common areas. On the north side if the development there is a 20' access easement for Alabama Power Company. These lots are zoned R-9.
- **CAHABA HEIGHTS COMMUNITY PLAN:** This request is consistent with the plan for a planned residential district.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted
 4. **Building Safety Review:** No problems noted

**CITY OF VESTAVIA HILLS
PLANNING AND ZONING COMMISSION
FINAL MAP APPLICATION**

II. APPLICANT INFORMATION: (owner of property)

NAME: Clayton Properties Group, Inc. _____

ADDRESS: 3111 Timberlake Drive #100 _____

Birmingham, AL 35243 _____

MAILING ADDRESS (if different from above) _____

PHONE NUMBER: Home _____ Office 205-982-2896 _____

NAME OF REPRESENTING ATTORNEY OR OTHER AGENT: _____

Rodney Cunningham - Engineering Design Group _____

III. ACTION REQUESTED

Final Plat Approval

Explain reason for the request: Final Plat Subdivision Helen Ridge _____

if additional information is needed, please attached full description of request

IV. PROPERTY DESCRIPTION: (address, legal description, etc.)

Situated in Section 23, Township 18 South, Range 2 West, Jefferson County, Alabama _____

28 00 23 1 000 002.006 _____

Property size: _____ feet X _____ feet. Acres: 18.27 _____

VI. ZONING/REZONING:

The above described property is presently zoned: **R-9** _____

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

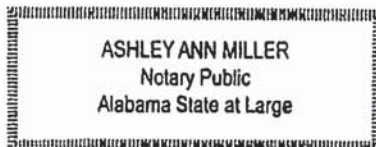
Clayton Properties Group, Inc.

[Handwritten Signature]
Owner Signature/Date
VP

Representing Agent (if any)/date

Given under my hand and seal
this 20 day of September, 2019.

Ashley Ann Miller
Notary Public

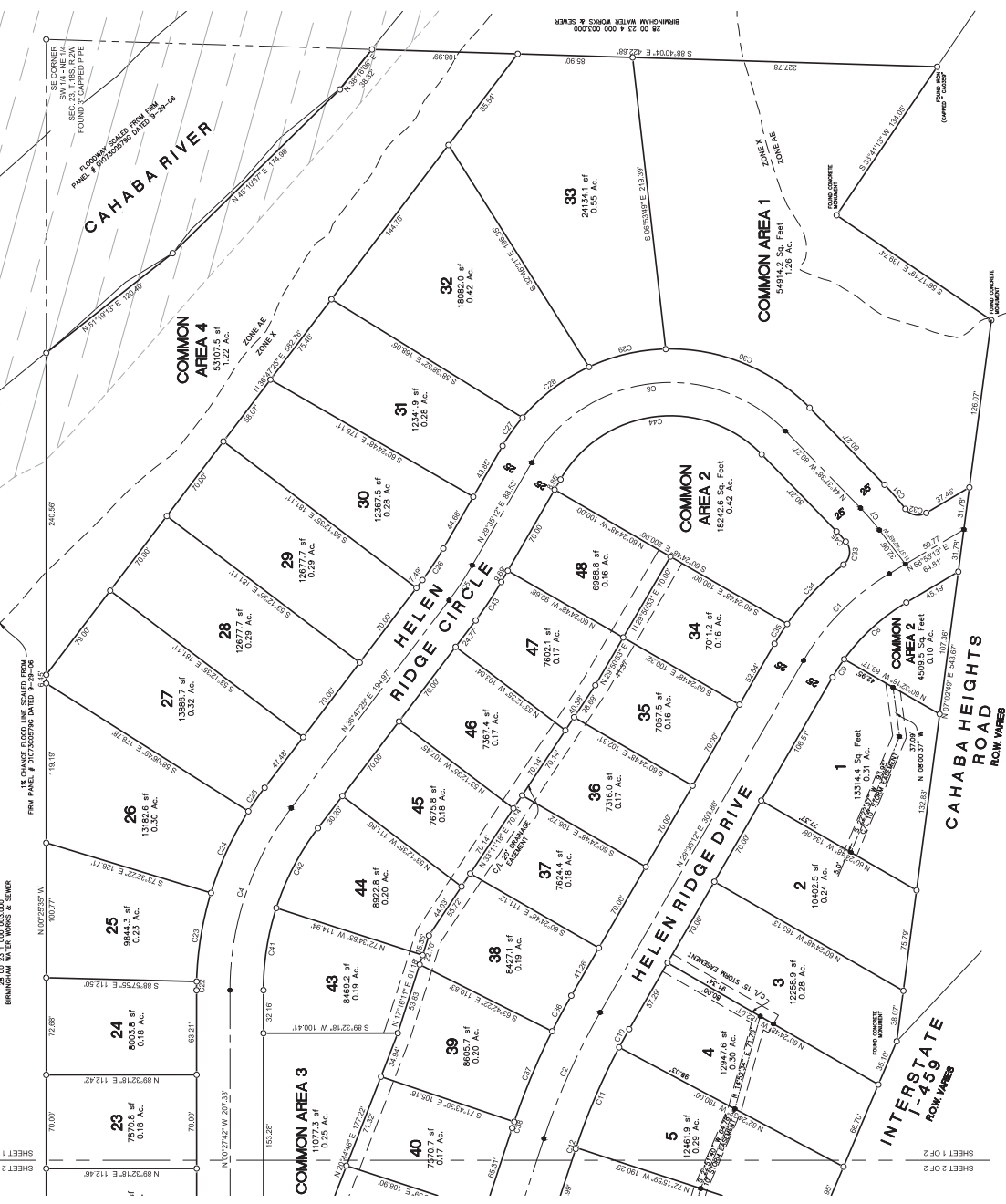
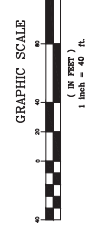


My commission expires 20
day of January, 2022.

FINAL PLAT HELEN RIDGE

SITUATED IN SECTION 23, TOWNSHIP 18 SOUTH, RANGE 2 WEST,
JEFFERSON COUNTY, ALABAMA

ALABAMA WEST ZONE NAD 83
GRID NORTH



- NOTES
1. ALL EASEMENTS AND RIGHT-OF-WAY OF WHICH THE SURVEYOR HAS KNOWLEDGE OF HAVE BEEN SHOWN HERON.
 2. ELEVATIONS OF ALL SANITARY LATERALS TO EACH LOT SHOULD BE VERIFIED BY BUILDER PRIOR TO SETTING LOWEST FLOOR OF BUILDING TO BE SERVED.
 3. CONTRACTOR AND/OR DEVELOPER ARE RESPONSIBLE FOR PROVIDING BUILDING SITES FREE OF DRAINAGE PROBLEMS.
 4. NO FURTHER SUBDIVISION OF ANY PARCEL SHOWN HERON SHALL BE ALLOWED WITHOUT THE PRIOR APPROVAL OF THE CITY OF VESTALIA PLANNING COMMISSION.
 5. ACCORDING TO THE FLOOD INSURANCE RATE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR ALABAMA (COMMUNITY PANEL 010730007996, EFFECTIVE DATE 09/29/2009).
 6. ZONING: P-9 SETBACKS: FRONT 10', SIDE 0' (MINIMUM OF 10' BETWEEN BUILDINGS), REAR 10'.
 7. MAINTENANCE OF COMMON AREAS TO BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION.

APPROVED IN FORMAT ONLY:

DIRECTOR OF ENVIRONMENTAL SERVICES	DATE
ENVIRONMENTAL SERVICES DEPARTMENT APPROVAL INDICATES THAT THIS DOCUMENT HAS BEEN REVIEWED FOR PROVISIONS THAT DO NOT MEAN SANITARY SEWERS HAVE BEEN BUILT OR INSTALLED. THE CITY ENGINEER'S APPROVAL IS BASED ON THE RIGHT-OF-WAY, CURB OR EASEMENT BOUNDARIES AT THE DATE OF THIS APPROVAL.	

APPROVED BY: _____ DATE: _____
 CITY ENGINEER

APPROVED BY: _____ DATE: _____
 VESTALIA HILLS PLANNING & ZONING COMMISSION

APPROVED BY: _____ DATE: _____
 MANAGER AND CITY CLERK

STATE OF ALABAMA
 COUNTY OF SHELBY
 I, ROONEY K. CUNNINGHAM, A REGISTERED LAND SURVEYOR, STATE OF ALABAMA, AND MY CO. OWNER, HEREBY CERTIFY THAT THIS PLAT OR MAP WAS MADE PURSUANT TO A SURVEY MADE BY SAID SURVEYOR AND THE SAID SURVEY AND THIS PLAT OR MAP WERE MADE AT THE INSTANCE OF SAID OWNER THAT THIS PLAT OR MAP AREA WHICH IT IS PROPOSED TO DIVIDE SAID LANDS, GRANTS THE LENGTH, AND ANGLES OF THE BOUNDARIES OF EACH LOT AND STREET AS WELL AS THE NUMBER OF EACH LOT AND BLOCK SHOWING THE RELATIONS OF THE LANDS TO THE GOVERNMENT SURVEY, AND THAT IRON PINS HAVE BEEN FOUND AND SET AT ALL CORNERS AND CURVE POINTS OF SAID LOTS AND BLOCKS, AND THAT THE SAME IS NOT SUBJECT TO A MORTGAGE. I, THE SURVEYOR, HEREBY STATE THAT ALL PARTS OF THIS SURVEY AND DRAWINGS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.



ROONEY K. CUNNINGHAM
 ALABAMA LIC. NO. 702675

STATE OF ALABAMA
 COUNTY OF SHELBY

I, RICHARD EARL STUBBS, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN SAID STATE, HEREBY CERTIFY THAT ROONEY K. CUNNINGHAM AND I HAVE BEEN TOGETHER TO THE PLACE WHERE SAID SURVEY WAS MADE AND WE HAVE KNOWLEDGE BEFORE ME ON THIS DATE THAT BEING FULLY INFORMED OF THE CONTENTS OF SAID CERTIFICATE, HE EXECUTED THE SAME VOLUNTARILY, FOR AND AS THE ACT OF SAID CORPORATION.

NOTARY PUBLIC
 MY COMMISSION EXPIRES DEC. 13, 2021

OWNER: CLAYTON PROPERTIES GROUP, INC.

NOTARY PUBLIC
 MY COMMISSION EXPIRES

REVISIONS

DATE	DESCRIPTION

DRAWN BY: MSA
 CHECKED BY: KMC
 PROJECT NO.: HARR0005
 DATE: September 25, 2019
 SCALE: 1" = 40'

HELEN RIDGE
 FINAL PLAT

120 BISHOP CIRCLE, SUITE 300
 PELHAM, AL 35124
 TEL. (205) 403-9158
 FAX. (205) 403-9175



28 00 23 1 000 000 000
CITY OF VESTALIA

28 00 23 1 000 000 000
BRUNOLGAM WATER WORKS & SEWER

SHEET 1 OF 2

DATE

REVISIONS

NO.	DATE	DESCRIPTION
1	September 25, 2018	PROJECT NO. HMR0005
2		CHECKED BY: RMC
3		DRAWN BY: MBA

SCALE: 1" = 40'

PROJECTS: HELEN RIDGE
FINAL PLAT

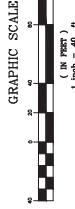
120 BISHOP CIRCLE, SUITE 300
PELHAM, AL 35124
TEL. (205) 403-9158
FAX. (205) 403-9175

ENGINEERING DESIGN GROUP, LLC
2005 403-9158

2 OF 2

FINAL PLAT HELEN RIDGE

SITUATED IN SECTION 28, TOWNSHIP 8 SOUTH, RANGE 2 WEST,
JEFFERSON COUNTY, ALABAMA



SHEET 2 OF 2

DATE

REVISIONS

PROJECTS: HELEN RIDGE
FINAL PLAT

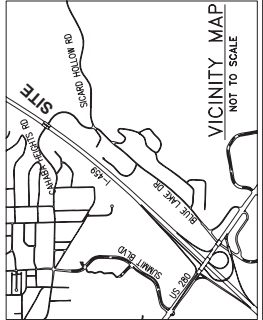
120 BISHOP CIRCLE, SUITE 300
PELHAM, AL 35124
TEL. (205) 403-9158
FAX. (205) 403-9175

ENGINEERING DESIGN GROUP, LLC
2005 403-9158

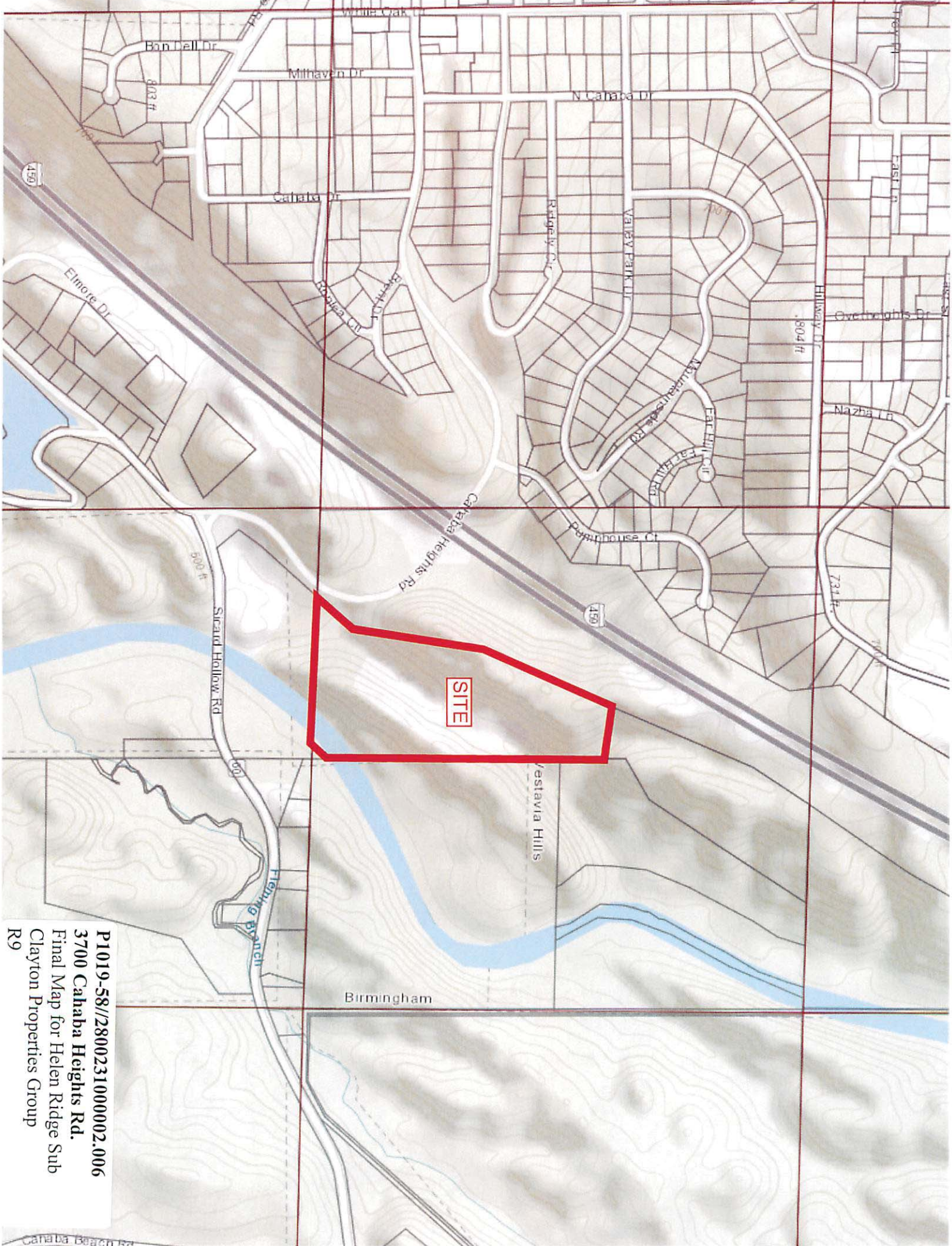
2 OF 2

NOTES

1. ALL EASEMENTS AND RIGHT-OF-WAY OF WHICH THE SURVEYOR HAS KNOWLEDGE OF HAVE BEEN SHOWN HERON.
2. EASEMENTS OF ALL SANITARY LATERALS TO EACH LOT SHOULD BE VERIFIED BY BUILDER PRIOR TO SETTING LOWEST FLOOR OF BUILDING TO BE SERVED.
3. CONTRACTOR AND/OR DEVELOPER ARE RESPONSIBLE FOR PROVIDING BUILDING SITES FREE OF DRAINAGE PROBLEMS.
4. NO FURTHER SUBDIVISION OF ANY PARCEL SHOWN HERON SHALL BE ALLOWED WITHOUT THE PRIOR APPROVAL OF THE CITY OF VESTALIA.
5. ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) NUMBER 17080C0100, THE FLOOD HAZARD ZONE IS A1 (100-YEAR FLOOD) (COMMUNITY PANEL 010230052396, EFFECTIVE DATE 09/29/2006).
6. ZONING: R-9 SETBACKS: FRONT 10', SIDE 0' (MINIMUM OF 10' BETWEEN BUILDINGS), REAR 10'.
7. MAINTENANCE OF COMMON AREAS TO BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION.



GRID	AREA	LENGTH	BEARING	AREA	LENGTH	BEARING	AREA	LENGTH	BEARING	CHECKED	DRAWN
01	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00
02	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00
03	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00
04	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00
05	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00
06	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00
07	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00
08	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00
09	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00
10	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00
11	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00
12	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00
13	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00
14	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00
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16	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00
17	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00
18	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00
19	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00
20	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00
21	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00
22	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00
23	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00	N 11° 51' 30" W	15.14	100.00



SITE

P1019-58/2800231000002.006
3700 Cahaba Heights Rd.
Final Map for Helen Ridge Sub
Clayton Properties Group
R9

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: **OCTOBER 10, 2019**

- **CASE:** P-1019-59
- **REQUESTED ACTION:** Final Plat Approval To Resurvey Lot 1-A in Overton Village
- **ADDRESS/LOCATION:** 3791 Poe Drive
- **APPLICANT/OWNER:** Overton Village Condos, LLC
- **REPRESENTING AGENT:** Schoel Engineering Company
- **GENERAL DISCUSSION:** Plat is subdivide Lot 1-A into 6 lots on Poe Drive in accordance with rezoning. The resurvey will create 5 residential lots and one common area. A 10' sanitary sewer easement will go north of Lot 5. These lots are zoned R-9. Plat will also be approved by City of Mountain Brook.
- **CAHABA HEIGHTS COMMUNITY PLAN:** This request is consistent with the plan for a planned residential district.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted
 4. **Building Safety Review:** No problems noted

P1019-59//2800151011008.000

3791 Poe Drive

Final Map to divide Lot 1-A into 6

lots

Overton Village Condos

P&Z Application
Final Plat Approval
Page 3

**CITY OF VESTAVIA HILLS
PLANNING AND ZONING COMMISSION
FINAL MAP APPLICATION**

II. APPLICANT INFORMATION: (owner of property)

NAME: Overton Village Condos, LLC

ADDRESS: PO Box 11086

Birmingham, AL 35202

MAILING ADDRESS (if different from above)

1960 Stonegate Dr., Vestavia Hills, Ala. 35244

PHONE NUMBER: Home 967-2066 Office 970-0303

NAME OF REPRESENTING ATTORNEY OR OTHER AGENT:

Schoel Engineering Company, Inc.

III. ACTION REQUESTED

Final Plat Approval

Explain reason for the request: Request to divide Lot 1-A in to

6 separate lots

if additional information is needed, please attached full description of request

IV. PROPERTY DESCRIPTION: (address, legal description, etc.)

3791 Poe Drive

Lot 1-A, Overton Village Resurvey No. 1 MB 249 Pg 64

Property size: _____ feet X _____ feet. Acres: _____

VI. ZONING/REZONING:

The above described property is presently zoned: _____

P1019-59//2800151011008.000

3791 Poe Drive

Final Map to divide Lot 1-A into 6 lots

Overton Village Condos

P&Z Application
Final Plat Approval
Page 4

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

[Handwritten Signature]

Owner Signature/Date 9/29/19

[Handwritten Signature]
Representing Agent (if any)/date

Given under my hand and seal
this 29th day of September, 2019.

[Handwritten Signature]
Notary Public



My commission expires 18th
day of September, 2022.

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: OCTOBER 10, 2019

- **CASE:** P-1019-46
- **REQUESTED ACTION:** Rezoning JC E-1 to Vestavia Hills E-2
- **ADDRESS/LOCATION:** 2645 Alta Glen Dr.
- **APPLICANT/OWNER:** Paul E. Russell
- **GENERAL DISCUSSION:** This is a rezoning of annexed property on Alta Glenn Drive from JC E-1 to VH-E-2. Property was annexed overnight by Ordinance 2861 on 8/12/19. Applicant plans to subdivide parent parcel into three lots. All meet the minimum requirements of an E-2 zone.
- **VESTAVIA HILLS COMPREHENSIVE PLAN:** The request is consistent with the plan for low density residential.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation
 2. **City Engineer Review:** I have reviewed the application and I have no issues with this request.
 3. **City Fire Marshal Review:** I have reviewed the application and I have no issues with this request.
 4. **Building Safety Review:** I have reviewed the application and I have no issues with this request.

CITY OF VESTAVIA HILLS

APPLICATION

2019 AUG 19 A 9:19

PLANNING AND ZONING COMMISSION

I. INSTRUCTIONS AND INFORMATION:

- (1) The Vestavia Hills Planning and Zoning Commission meets regularly on the second Thursday of each month at 6:00 PM in Council Chambers at the Municipal Center.
- (2) All materials and information relating to a zoning/rezoning request or conditional use approval before the Planning and Zoning Commission must be submitted to the Office of the City Clerk no later than **25 working days prior to the scheduled meeting at which it shall be considered.** All information relating to Preliminary Map approvals must be submitted to the Office of the City Clerk no later than 20 days prior to the scheduled meeting at which is shall be considered. All information relating to Final Map approvals must be submitted to the Office of the City Clerk no later than 15 days prior to the scheduled meeting at which it is to be considered.
- (3) This application must be filled out in its entirety complete with zip codes.
- (4) All applicable fees shall accompany this application prior to its being considered complete. Fees include an application fee of \$100.00 along with applicable postage per property owner to be notified for Commission meeting. Fees may also include notification fees for City Council meeting and publication fees which will be billed to applicant at a later date. ***No permits will be issued until all fees have been paid.*
- (5) Appropriate plats and maps with proper legal description shall accompany this application. **Please refer to attached checklist.**

II. APPLICANT INFORMATION: (owner of property)

NAME: Paul E. Russell

ADDRESS: 2645 Alta Glen Drive
Birmingham, AL 35243

MAILING ADDRESS (if different from above) ~~2680~~ Po Box 99
McCalla, AL 35111

PHONE NUMBER: Home (205) 240-0464 Office (205) 240-0464

NAME OF REPRESENTING ATTORNEY OR OTHER AGENT: Allison West

** Contact: Allison West (205) 240-0464, mallisonwest@gmail.com **

III. ACTION REQUESTED

Request that the above described property be zoned/rezoned

From: JC E-1

To: VH E-2

For the intended purpose of: Annexation & consist of
3 homes

(Example: From "VH R-1" to "VH O-1" for office building)

if additional information is needed, please attached full description of request

IV. PROPERTY DESCRIPTION: (address, legal, etc.)

2645 Alta Glen Drive / Com At Int Of S Line Of Ne 1/4 + Se R/W
Alta Glen Rd Th Ne Ala Said Rd 500ft S to Pob Cont Ne Alg Rd 450ft Sse 350ft
SSW 450ft S NW 350ft S to Pob
Property size: 445.51 feet X 350 feet. Acres: 3.68

V. INFORMATION ATTACHED:

Attached Checklist complete with all required information.

Application fees submitted.

VI. I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

Paul E Russell
Owner Signature/Date

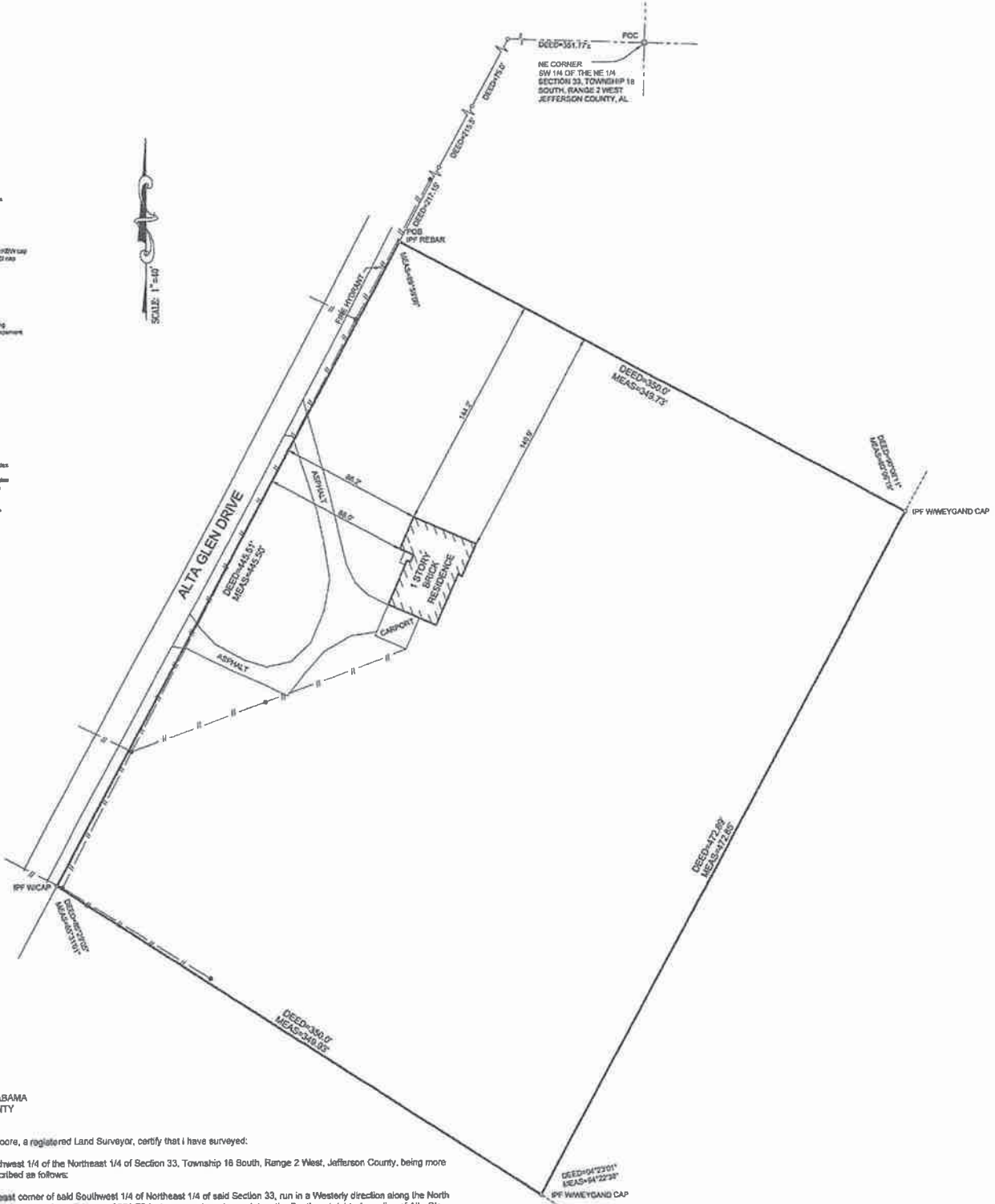
Alison West
Representing Agent (if any)/date

Given under my hand and seal
this 21st day of Jan., 2019.

Cathy A. M. Lee
Notary Public
My commission expires 30th
day of July, 2021.

LEGEND:

- ASPH = asphalt
- BLDG = building
- CLDG = cul-de-sac
- CAP = capped iron
- CL = centerline
- CL = closed
- C.C.M.C. = concrete
- C = covered
- D = ditch
- E = east
- ESMT = easement
- FC = fence
- FD = found
- NW = northwest
- IPF = iron pin found
- IPF = iron pin found with rebar
- IPF = iron pin found with rebar
- IPF = iron pin found with rebar
- L = length
- MEAS = measurement
- MM = minimum
- MH = maximum
- N = north
- OH = overhead
- P = pond
- PC = point of curve
- POB = point of beginning
- POC = point of commencement
- PT = point of tangency
- P.V.M.T. = pavement
- R = radius
- REC = recorded
- RES = residence
- ROW = right of way
- S = south
- SMH = sanitary
- STM = storm
- SWR = sewer
- SYN = synthetic
- UTL = utility
- U = unknown
- V = vest
- VI = yard line
- W = west
- Y = degrees
- M, in, ft, etc. = meters, inches, feet, etc.
- AC = acres
- S, etc. = more or less, or plus or minus



STATE OF ALABAMA
SHELBY COUNTY

I, Carl Daniel Moore, a registered Land Surveyor, certify that I have surveyed:

Part of the Southwest 1/4 of the Northeast 1/4 of Section 33, Township 18 South, Range 2 West, Jefferson County, being more particularly described as follows:

From the Northeast corner of said Southwest 1/4 of Northeast 1/4 of said Section 33, run in a Westerly direction along the North line of said 1/4 - 1/4 section for a distance of 351.77 feet, more or less, to a point on the Southeast right of way line of Alta Glen Drive; thence turn an angle to the left of 83 degrees 23 minutes and run in a Southwesterly direction along the Southeast right of way line of Alta Glen Drive for a distance of 75.0 feet to an existing iron pin; thence continue in a Southwesterly direction along the last mentioned course and along the Southeast right of way line of Alta Glen Drive for a distance of 215.3 feet to an existing iron pin; thence continue in a Southwesterly direction along the Southeast right of way line of Alta Glen Drive for a distance of 217.15 feet to an existing IPF iron rebar being the point of beginning; thence continue in a Southwesterly direction along the Southeast right of way line of Alta Glen Drive for a distance of 445.51 feet to an existing iron rebar set by Weygand; thence turn an angle to the left of 85 degrees 29 minutes 05 seconds and run in Southeastery direction for a distance of 350.0 feet to an existing iron rebar set by Weygand; thence turn an angle to the left of 94 degrees 23 minutes 01 seconds and run in a Northerly direction for a distance of 472.88 feet to an existing iron rebar set by Weygand; thence turn an angle to the left of 90 degrees 08 minutes 11 seconds and run in a Northwesterly direction for a distance of 350.0 feet, more or less, to the point of beginning.

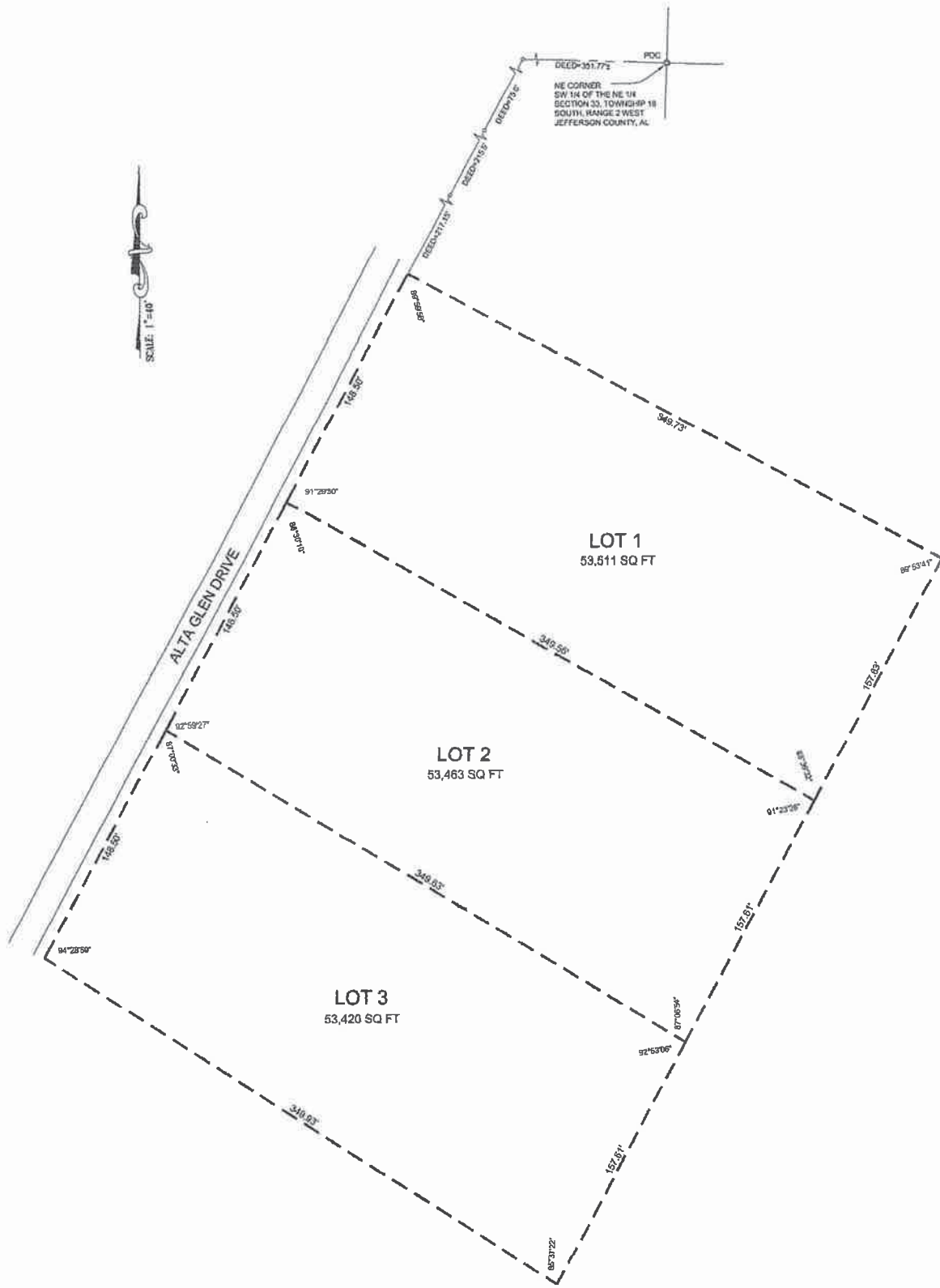
I furthermore certify that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information, and belief, that the correct address is as follows: 2045 Alta Glen Drive, according to my survey of December 4, 2018. Survey is not valid unless it is sealed with embossed seal or stamped in red.

SURVEYING SOLUTIONS, INC.
2232 CAHABA VALLEY DRIVE SUITE M
BIRMINGHAM, AL 35242
PHONE: 205-901-8985

Carl Daniel Moore
Carl Daniel Moore, Reg. L.S. #12159
12-05-18
Date of Signature



Order No. 212659
Purchaser: Russett
Type of Survey: Closing



PROPOSED LOT LAYOUT
(THIS IS NOT A SURVEY)

PART OF THE SW 1/4 OF THE NE 1/4 OF
SECTION 33, TOWNSHIP 18 SOUTH, RANGE 2 WEST,
JEFFERSON COUNTY, ALABAMA

PREPARED BY: SURVEYING SOLUTIONS, INC.
2232 CAHABA VALLEY DRIVE SUITE M
BIRMINGHAM, AL 35242
(205) 991-8965

PREPARED FOR: PETE RUSSELL
5971 CHALKVILLE MOUNTAIN LANE SUITE D
BIRMINGHAM, AL 35235
(205) 222-2873

SCALE: 1" = 40' JOB NO. 212659 DATE: 12-5-2018

WCADSUBDIVISIONJEFFERSON COUNTYRUSSELL PROPERTYRUSSELL LOT LAYOUT



Zoning1

PARCELID	2800331001005001
DISTRICT	001
ESN_NUM	504
PROPADD	2645 ALTA GLEN DR
TAX_TOWNSH	28
SECTION	33
QSECTION	1
BLOCK	001
PARCEL	005001
VH_ZONING	
ZNG_ORD	
ZNG_ORD_DT	
ZNG_ORD2	
ZoomTo	ZoomTo

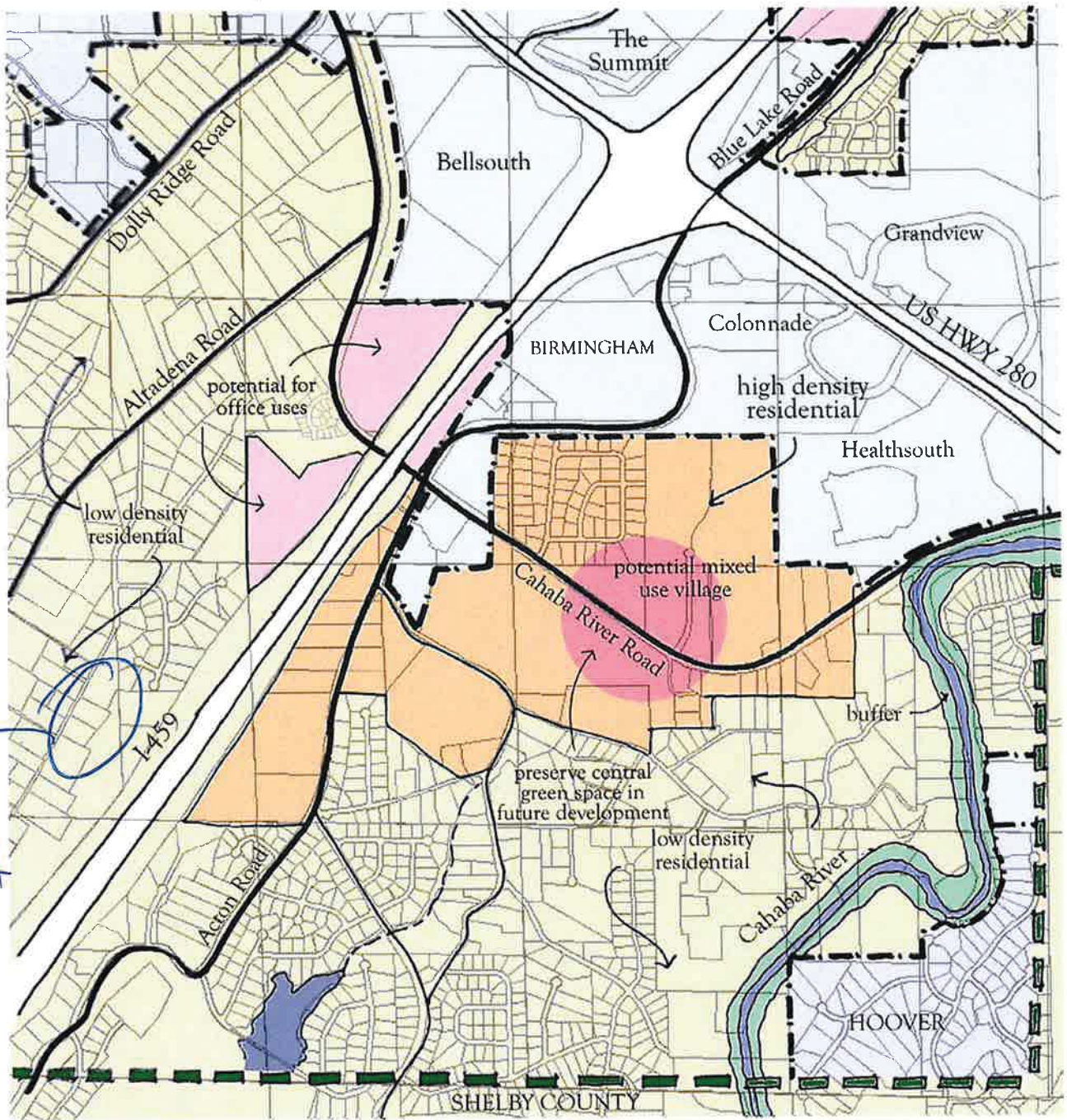
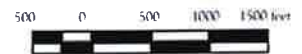


Figure 22: Cahaba River Road / Acton Road East
Land Use Analysis

- Neighborhood - primarily low / medium density single-family residential areas with higher densities near village center(s). Other uses may include schools, places of worship, recreational areas, and open space.
- Village Center - mixed use centers with higher densities in core areas. Mix of uses should include retail and service businesses, professional offices, high density residential areas, institutions, recreation areas, and public spaces.
- Commercial Core - primarily high density, retail and service business areas with professional offices and multi-family residences on upper floors or on periphery. Other uses may include institutions and public space.
- Gateways and Nodes - Gateways are entryways into the community or village enhanced with consistent signage, landscaping, and other elements. Nodes are sites, such as transit stops, where public spaces, signage, and other public design elements should be considered.

- Professional Offices - primarily professional office uses. Density should vary according to surroundings. Other uses may include retail and services (supporting offices and employees), places of worship, public spaces, and open space.
- Recreation and Open Space - public and private recreation facilities and preserved natural spaces. Recreation facilities may be active, passive or combined. Open spaces are areas preserved in a natural state and may include passive recreational uses.
- Trailheads - Trailheads are public sites along a trail, where bike racks, seating, parking, and public amenities are provided for trail users.
- Schools - School facilities administered by the Vestavia Hills School System.



CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: **OCTOBER 10, 2019**

- **CASE:** P-1019-47
- **REQUESTED ACTION:** Rezoning JC R-1 to Vestavia Hills R-2
- **ADDRESS/LOCATION:** 2790 Acton Pl.
- **APPLICANT/OWNER:** Hugh R. Humphrey
- **GENERAL DISCUSSION:** This is a rezoning of annexed property on Acton Place from JC R-1 to VH R-2. Property was annexed overnight by Ordinance 2863 on 8/12/19.
- **VESTAVIA HILLS COMPREHENSIVE PLAN:** The request is consistent with the plan for low density residential.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation
 2. **City Engineer Review:** I have reviewed the application and I have no issues with this request.
 3. **City Fire Marshal Review:** I have reviewed the application and I have no issues with this request.
 4. **Building Safety Review:** I have reviewed the application and I have no issues with this request.

CITY OF VESTAVIA HILLS

2019 AUG 19 P 1:10 APPLICATION

PLANNING AND ZONING COMMISSION

I. INSTRUCTIONS AND INFORMATION:

- (1) The Vestavia Hills Planning and Zoning Commission meets regularly on the second Thursday of each month at 6:00 PM in Council Chambers at the Municipal Center.
- (2) All materials and information relating to a zoning/rezoning request or conditional use approval before the Planning and Zoning Commission must be submitted to the Office of the City Clerk no later than **25 working days prior to the scheduled meeting at which it shall be considered**. All information relating to Preliminary Map approvals must be submitted to the Office of the City Clerk no later than 20 days prior to the scheduled meeting at which is shall be considered. All information relating to Final Map approvals must be submitted to the Office of the City Clerk no later than 15 days prior to the scheduled meeting at which it is to be considered.
- (3) This application must be filled out in its entirety complete with zip codes.
- (4) All applicable fees shall accompany this application prior to its being considered complete. Fees include an application fee of \$100.00 along with applicable postage per property owner to be notified for Commission meeting. Fees may also include notification fees for City Council meeting and publication fees which will be billed to applicant at a later date. ***No permits will be issued until all fees have been paid.*
- (5) Appropriate plats and maps with proper legal description shall accompany this application. **Please refer to attached checklist.**

II. APPLICANT INFORMATION: (owner of property)

NAME: HUGH R. HUMPHREY

ADDRESS: 2790 ACTON PLACE

BIRMINGHAM, AL 35243

MAILING ADDRESS (if different from above) 2794 ACTON PLACE

VESTAVIA HILLS, AL 35243

PHONE NUMBER: Home 205-937-8772 Office _____

NAME OF REPRESENTING ATTORNEY OR OTHER AGENT: _____

TIM GULLY

III. ACTION REQUESTED

Request that the above described property be zoned/rezoned

From: JC - R-1

To: VH - R-2

For the intended purpose of: Annexation

(Example: From "VH R-1" to "VH O-1" for office building)

if additional information is needed, please attached full description of request

IV. PROPERTY DESCRIPTION: (address, legal, etc.)

Property size: _____ feet X _____ feet. Acres: _____

V. INFORMATION ATTACHED:



Attached Checklist complete with all required information.



Application fees submitted.

VI. I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

Hugh R. Humphrey
Owner Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this 19th day of August, 2019.



Notary Public

My commission expires _____
day of _____, 20_____.



EXHIBIT "A"

A thirty-two percent (32%) undivided interest in the following described real property:

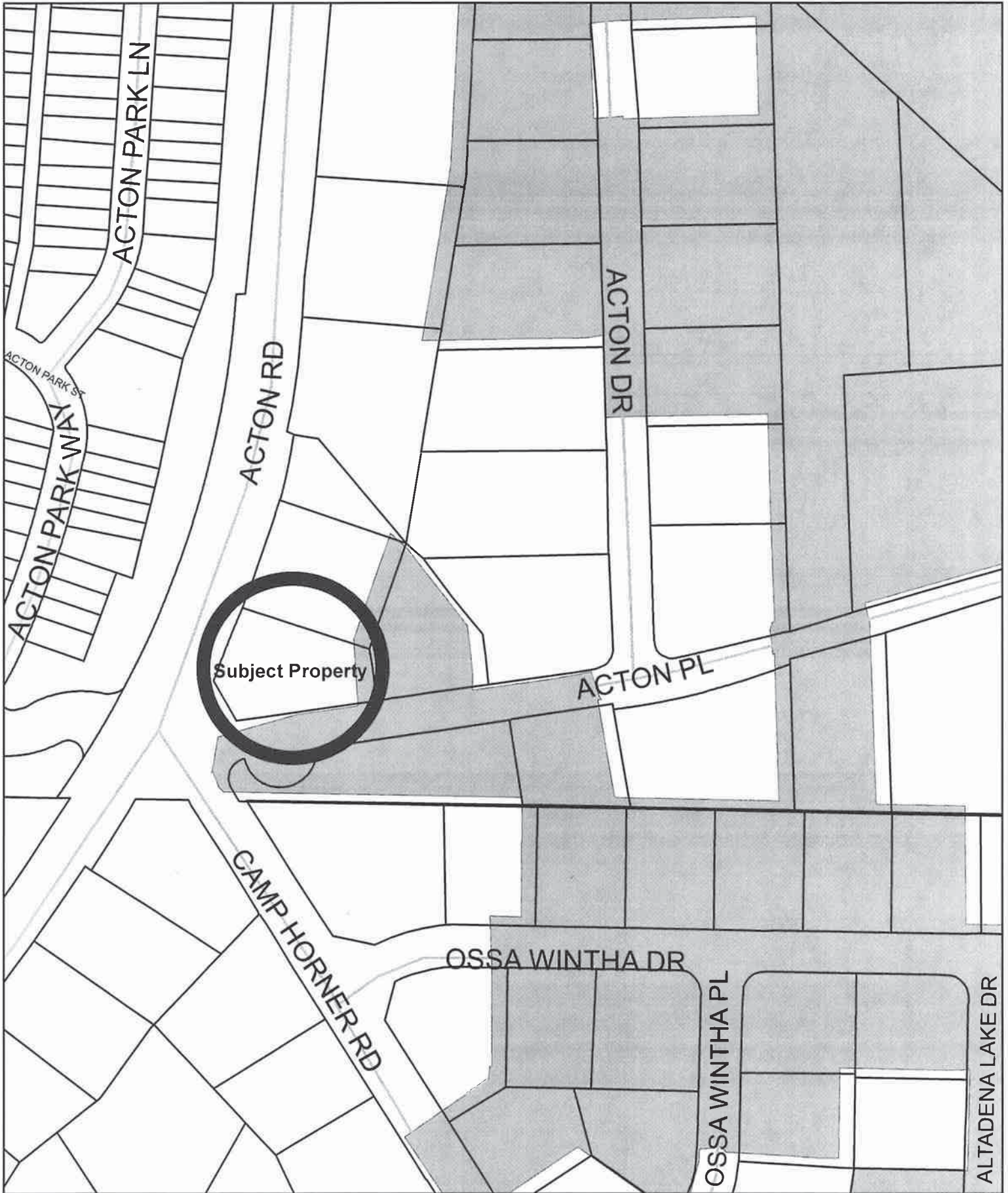
Commence at the SW corner of the SW 1/4 of the NW 1/4 of Section 34, Township 18 South, Range 2 West, thence run S 90 deg. 00'00" E along the south line thereof for a distance of 481.18'; thence run N 30 deg. 55'00" E for a distance of 81.93'; thence run N 79 deg. 25'00" E for a distance of 128.06' to the point of beginning; thence run N 79 deg. 25'00" E for a distance of 161.08'; thence run N 10 deg. 35'00" W for a distance of 86.00'; thence run N 71 deg. 30'45" W for a distance of 150.14' to a point on the southeasterly right of way of Acton Road. Said point being located on a curve to the right having a central angle of 05 deg. 10'22" and a radius of 1216.77' and a chord bearing of S 22 deg. 34'03" W; thence run along the arc of said curve for a distance of 109.85'; thence run S 34 deg. 50'46" E for a distance of 73.50' to the point of beginning.

State of Alabama - Jefferson County
I certify this instrument filed on:
1996 JAN 29 P.M. 14:40
Recorded and \$ 8.00 Mtg. Tax
and \$ 7.00 Deed Tax and Fee Amt.
\$ Total \$ 15.00
GEORGE R. REYNOLDS, Judge of Probate




9601/9500

2790 Acton Place



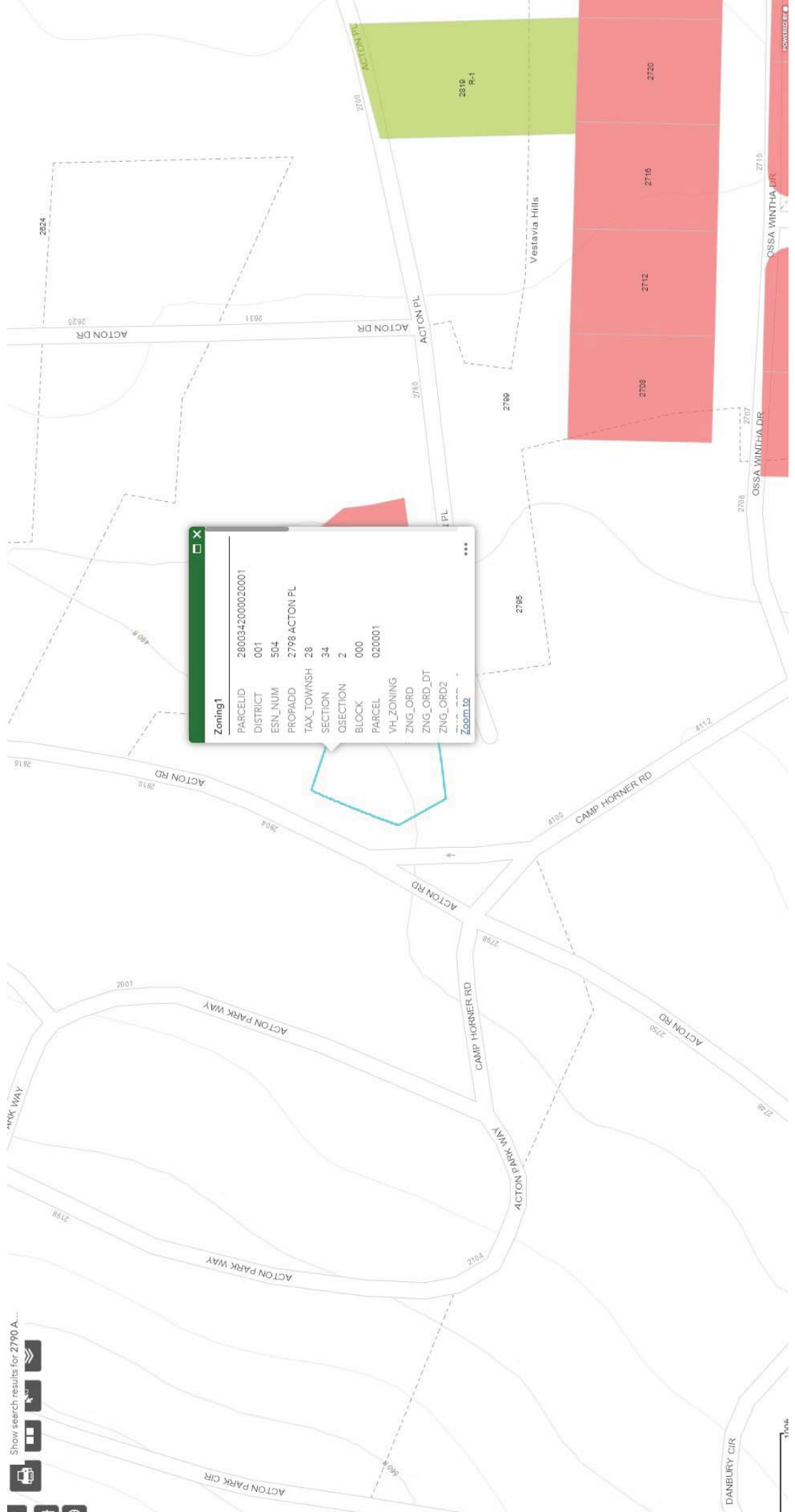
Legend

 Vestavia_Hills_City_Limits

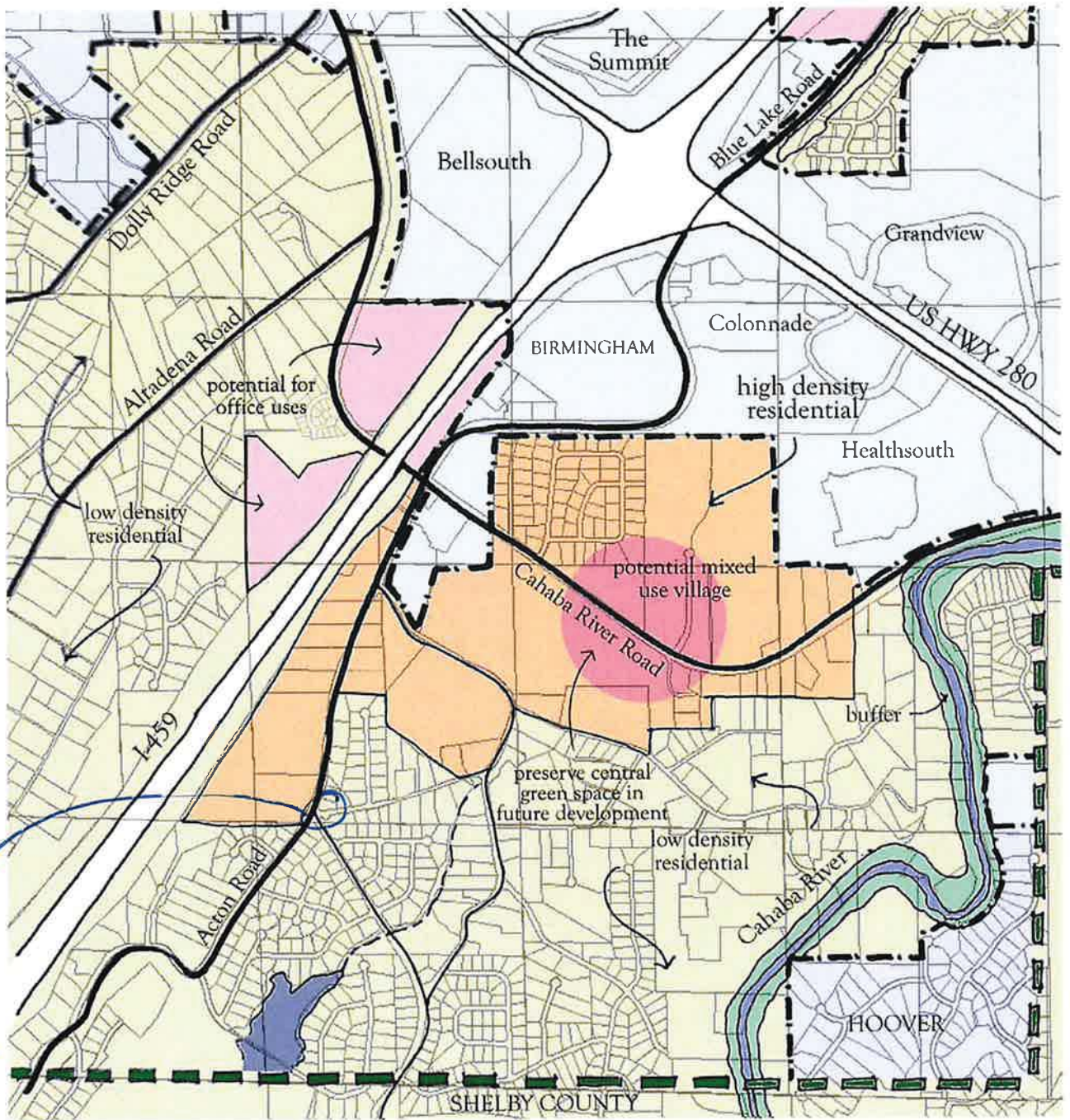
City of Vestavia Hills
Department of GIS
April 24, 2019



Show search results for 2790 A...



Zoning 1	
PARCELID	2800342000020001
DISTRICT	001
ESN_NUM	304
PROPADD	2798 ACTON PL
TAX_TOWNSH	28
SECTION	34
QSECTION	2
BLOCK	000
PARCEL	020001
VH_ZONING	
ZNG_ORD	
ZNG_ORD_DT	
ZNG_ORD2	
Zoom to	



Subject Parcel

Figure 22: Cahaba River Road / Acton Road East
Land Use Analysis

- Neighborhood - primarily low / medium density single-family residential areas with higher densities near village center(s). Other uses may include schools, places of worship, recreational areas, and open space.
- Village Center - mixed use centers with highest densities in core areas. Mix of uses should include retail and service businesses, professional offices, high density residential areas, institutions, recreation areas, and public spaces.
- Commercial Core - primarily high density, retail and service business areas with professional offices and multi-family residences on upper floors or on periphery. Other uses may include institutions and public space.
- Gateways and Nodes - Gateways are entryways into the community or village enhanced with consistent signage, landscaping, and other elements. Nodes are sites, such as transit stops, where public spaces, signage, and other public design elements should be considered.

- Professional Offices - primarily professional office uses. Density should vary according to surroundings. Other uses may include retail and services (supporting offices and employees), places of worship, public spaces, and open space.
- Recreation and Open Space - public and private recreation facilities and preserved natural spaces. Recreation facilities may be active, passive or combined. Open spaces are areas preserved in a natural state and may include passive recreational uses.
- Trailheads - Trailheads are public sites along a trail, where bike racks, seating, parking, and public amenities are provided for trail users.
- Schools - School facilities administered by the Vestavia Hills School System.



500 0 500 1000 1500 feet



CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: **OCTOBER 10, 2019**

- **CASE:** P-1019-49
- **REQUESTED ACTION:** Rezoning JC A-1 to Vestavia Hills Agriculture
- **ADDRESS/LOCATION:** 2606 Acton Rd.
- **APPLICANT/OWNER:** Jennifer S. Weldon
- **GENERAL DISCUSSION:** This is a rezoning of annexed property on Acton Rd. from JC A-1 to VH Agriculture. Property was annexed overnight by Ordinance 2862 on 8/12/19.
- **VESTAVIA HILLS COMPREHENSIVE PLAN:** The request is consistent with the plan for low density residential.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation
 2. **City Engineer Review:** I have reviewed the application and I have no issues with this request.
 3. **City Fire Marshal Review:** I have reviewed the application and I have no issues with this request.
 4. **Building Safety Review:** I have reviewed the application and I have no issues with this request.

CITY OF VESTAVIA HILLS

2019 SEP -3 P 3: 58 APPLICATION

PLANNING AND ZONING COMMISSION

I. INSTRUCTIONS AND INFORMATION:

- (1) The Vestavia Hills Planning and Zoning Commission meets regularly on the second Thursday of each month at 6:00 PM in Council Chambers at the Municipal Center.
- (2) All materials and information relating to a zoning/rezoning request or conditional use approval before the Planning and Zoning Commission must be submitted to the Office of the City Clerk no later than **25 working days prior to the scheduled meeting at which it shall be considered.** All information relating to Preliminary Map approvals must be submitted to the Office of the City Clerk no later than 20 days prior to the scheduled meeting at which is shall be considered. All information relating to Final Map approvals must be submitted to the Office of the City Clerk no later than 15 days prior to the scheduled meeting at which it is to be considered.
- (3) This application must be filled out in its entirety complete with zip codes.
- (4) All applicable fees shall accompany this application prior to its being considered complete. Fees include an application fee of \$100.00 along with applicable postage per property owner to be notified for Commission meeting. Fees may also include notification fees for City Council meeting and publication fees which will be billed to applicant at a later date. ***No permits will be issued until all fees have been paid.*
- (5) Appropriate plats and maps with proper legal description shall accompany this application. **Please refer to attached checklist.**

II. APPLICANT INFORMATION: (owner of property)

NAME:

Jennifer Schmittow Weldon

ADDRESS:

2606 Acton Road 35243

MAILING ADDRESS (if different from above) _____

PHONE NUMBER: Home

(205) 490-6412

mobile (205) 913-3384
Office _____

NAME OF REPRESENTING ATTORNEY OR OTHER AGENT: _____

NA

III. ACTION REQUESTED

Request that the above described property be zoned/rezoned

From: JEFFERSON COUNTY A-1

To: Vestaria Hills Agricultural

For the intended purpose of: residential property annexation

(Example: From "VH R-1" to "VH O-1" for office building)

if additional information is needed, please attached full description of request

IV. PROPERTY DESCRIPTION: (address, legal, etc.)

Property size: _____ feet X _____ feet. Acres: _____

V. INFORMATION ATTACHED:

_____ Attached Checklist complete with all required information.

_____ Application fees submitted.

VI. I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

Jennifer S. Weldon 9/3/2019
Owner Signature/Date

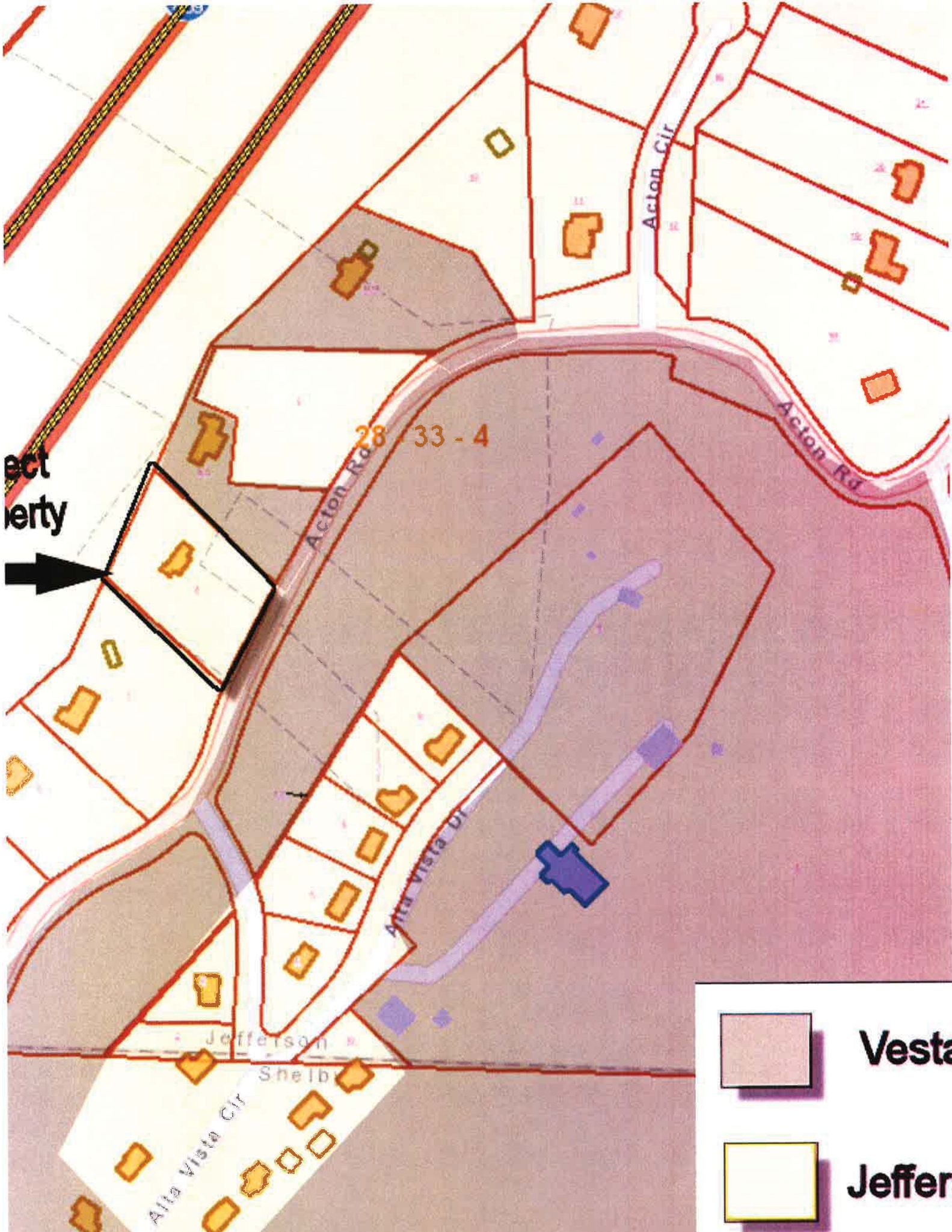
Representing Agent (if any)/date

Given under my hand and seal
this 3rd day of September, 2019.

Kay Russon
Notary Public

My commission expires _____
day of _____, 20____.

My Commission Expires
November 8, 2020



ect
erty



28 33 - 4

Acton Rd

Acton Cir

Acton Rd

Alta Vista Dr

Alta Vista Cir

Jefferson

Shelb



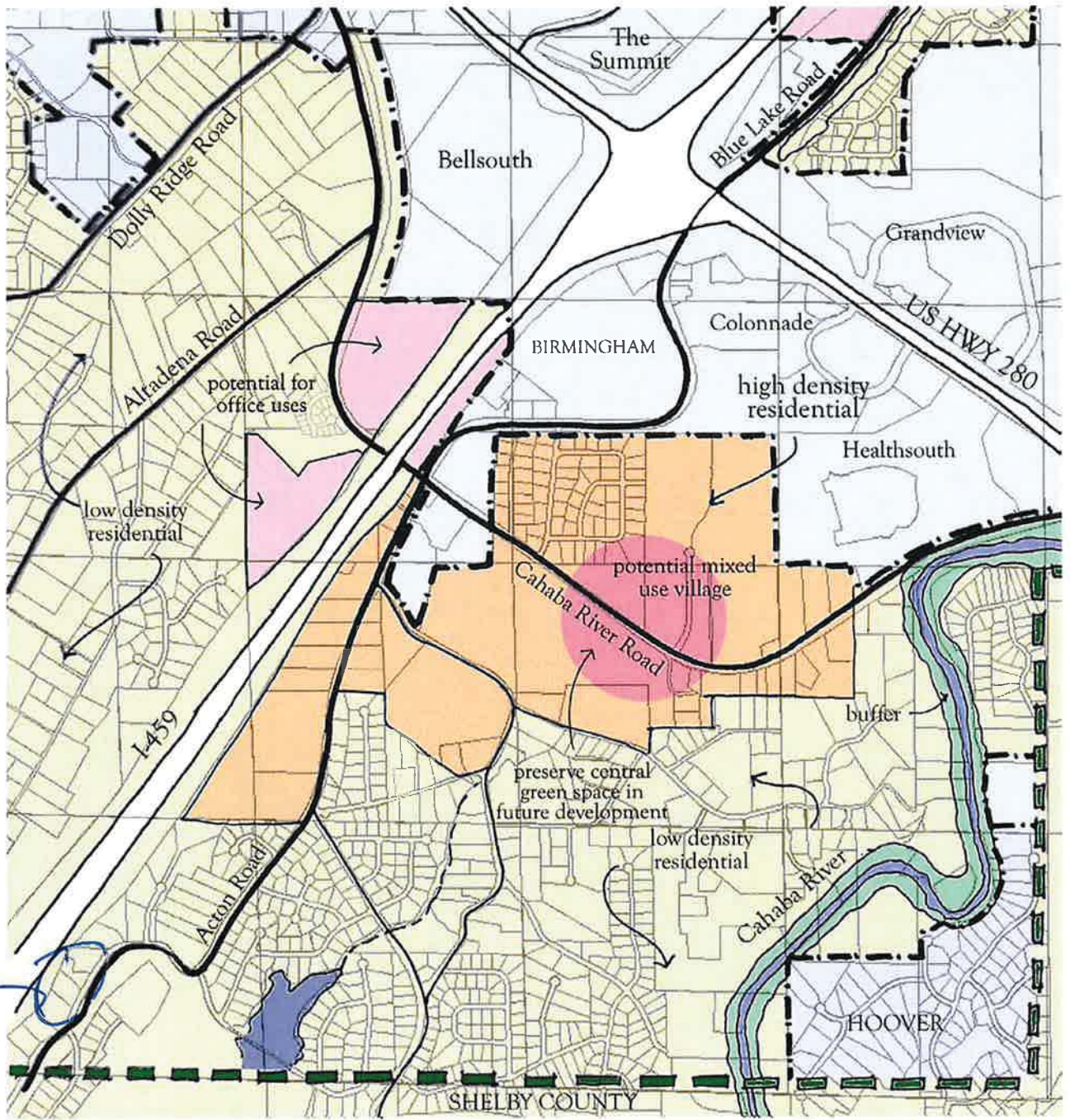
Vesta



Jeffer



Address_Points1	
ADDPOINTID	9,050,657
VHlink	
PID	2600334001008000
X	2,197,278.93
Y	1,244,709.50
PREDIR	
STREET_NAM	ACTION
STREET_TYP	RD
SUFDIR	
SUITE_NUM	
STREET_DIR	
ADDRESS	2606 ACTION RD
ZIPCODE	35,243.00
Zoom:10	



Subject Parcel

Figure 22: Cahaba River Road / Acton Road East
Land Use Analysis



CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: **OCTOBER 10, 2019**

- **CASE:** P-1019-50
- **REQUESTED ACTION:** Rezoning JC R-1 to Vestavia Hills R-2
- **ADDRESS/LOCATION:** 929 Mountain Branch Cir.
- **APPLICANT/OWNER:** Honeycutt Real Estate Holdings, LLC
- **GENERAL DISCUSSION:** This is a rezoning of annexed property on 929 Mountain Branch Cir. from JC R-1 to VH R-2. Property was annexed overnight by Ordinance 2860 on 8/12/19.
- **VESTAVIA HILLS COMPREHENSIVE PLAN:** The request is consistent with the plan for low density residential.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation
 2. **City Engineer Review:** I have reviewed the application and I have no issues with this request.
 3. **City Fire Marshal Review:** I have reviewed the application and I have no issues with this request.
 4. **Building Safety Review:** I have reviewed the application and I have no issues with this request.

CITY OF VESTAVIA HILLS

APPLICATION

2019 SEP - 4 P 12:27
PLANNING AND ZONING COMMISSION

I. INSTRUCTIONS AND INFORMATION:

- (1) The Vestavia Hills Planning and Zoning Commission meets regularly on the second Thursday of each month at 6:00 PM in Council Chambers at the Municipal Center.
- (2) All materials and information relating to a zoning/rezoning request or conditional use approval before the Planning and Zoning Commission must be submitted to the Office of the City Clerk no later than **25 working days prior to the scheduled meeting at which it shall be considered**. All information relating to Preliminary Map approvals must be submitted to the Office of the City Clerk no later than 20 days prior to the scheduled meeting at which is shall be considered. All information relating to Final Map approvals must be submitted to the Office of the City Clerk no later than 15 days prior to the scheduled meeting at which it is to be considered.
- (3) This application must be filled out in its entirety complete with zip codes.
- (4) All applicable fees shall accompany this application prior to its being considered complete. Fees include an application fee of \$100.00 along with applicable postage per property owner to be notified for Commission meeting. Fees may also include notification fees for City Council meeting and publication fees which will be billed to applicant at a later date. ***No permits will be issued until all fees have been paid.*
- (5) Appropriate plats and maps with proper legal description shall accompany this application. **Please refer to attached checklist.**

II. APPLICANT INFORMATION: (owner of property)

NAME: HONEYCUTT REAL ESTATE HOLDINGS LLC
BY MEMBER: EUGENE J. HONEYCUTT JR.

ADDRESS: 371 HIGHLAND VIEW DRIVE BIRMINGHAM AL 35242

MAILING ADDRESS (if different from above) SAME

PHONE NUMBER: Home 205-991-5077 Cell 205-520-3511
Office 205-520-3511

NAME OF REPRESENTING ATTORNEY OR OTHER AGENT: NOT APPLICABLE

III. ACTION REQUESTED

Request that the above described property be zoned/rezoned

From: JEFFERSON COUNTY RESIDENTIAL - R1

To: R-2 VESTAVIA HILLS RESIDENTIAL - APPROPRIATE

For the intended purpose of: SALE OF RESIDENTIAL PROPERTY

(Example: From "VH R-1" to "VH O-1" for office building)

if additional information is needed, please attached full description of request

IV. PROPERTY DESCRIPTION: (address, legal, etc.)

929 MOUNTAIN BRANCH CIRCLE VESTAVIA ALABAMA 35226

LOT 40 - MOUNTAIN BRANCH SUBDIVISION - 1ST ADDITION

Property size: 15450 SQ FT feet X _____ feet. Acres: _____

MAP BOOK 112 PAGE 24

V. INFORMATION ATTACHED:

Attached Checklist complete with all required information.

Application fees submitted.

VI. I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

[Signature]
Owner Signature/Date

[Signature]
Representing Agent (if any)/date

Given under my hand and seal
this 4th day of September, 2019.

Kay Russom
Notary Public

My commission expires _____ My Commission Expires
day of _____, 20November 8, 2020.

EXHIBIT "A"

929 MOUNTAIN BRANCH CIRCLE

VESTAVIA, ALABAMA 35226

LOT: LOT 40 - MOUNTAIN BRANCH SUBDIVISION 1ST ADDITION

BLOCK: _____

SURVEY: MAP BOOK 112 PAGE 24

COUNTY PROBATE OFFICE - JEFFERSON

RECORDED IN MAP BOOK 112, PAGE PAGE 24 IN THE

PROBATE OFFICE OF JEFFERSON COUNTY, ALABAMA.

COUNTY ZONING: R-1

COMPATIBLE CITY ZONING: RESIDENTIAL

LOT AREA - 15450 SF

LEGAL DESCRIPTION (METES AND BOUNDS):

NW 1/4 OF NW 1/4 AND NE 1/4 OF NW 1/4

OF SECTION 2, TOWNSHIP 19 SOUTH

RANGE 1 West JEFFERSON COUNTY ALABAMA

LOT 40 MOUNTAIN BRANCH - 1ST EDITION

AS DESCRIBED BY MAP BOOK 112

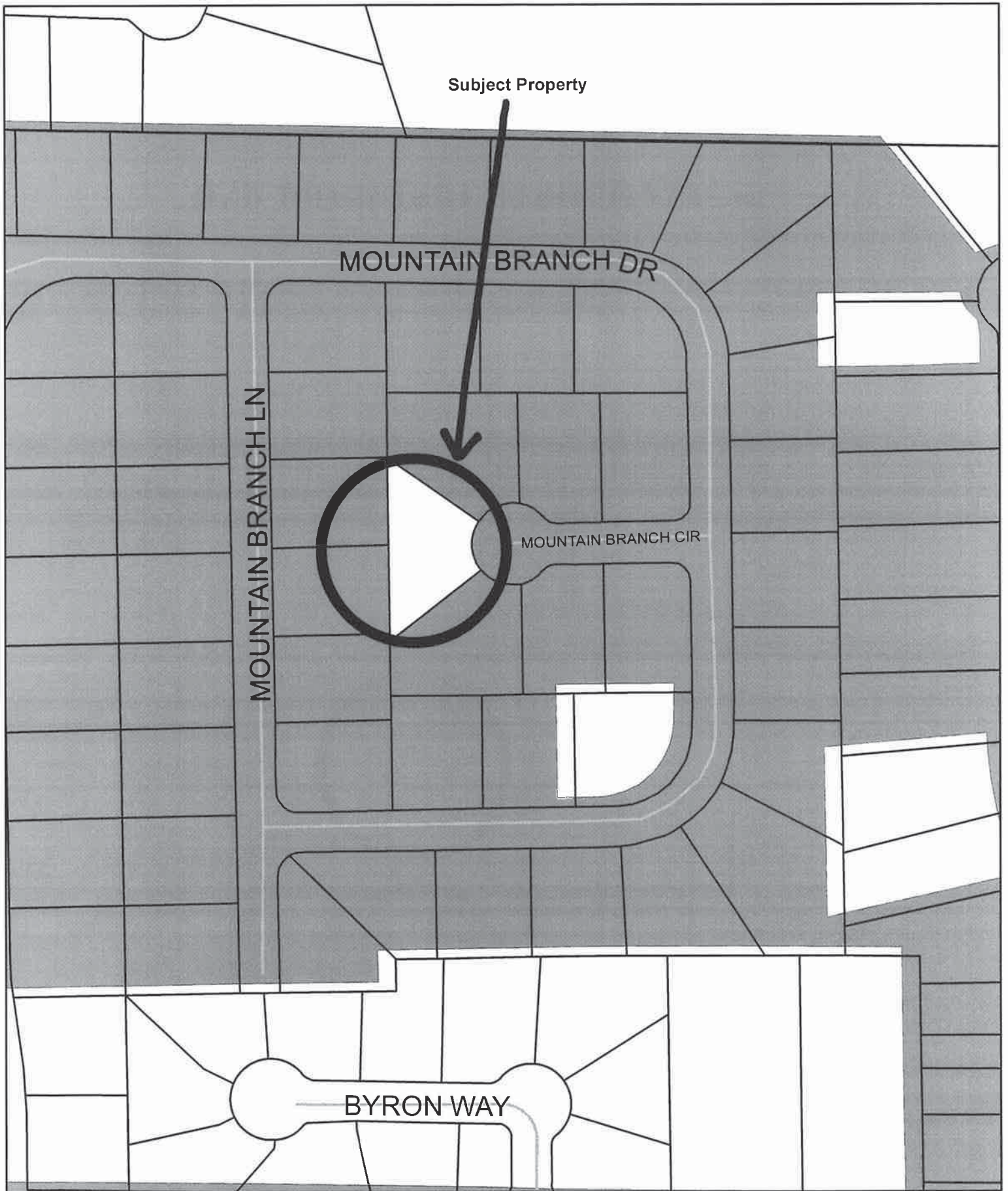
PAGE 24 OF JEFFERSON COUNTY PROBATE OFFICE

AS SURVEYED BY JOHN C. GUSTIN III


APRIL 25, 1978 (BETHEL, WHITSON CO. INC.

IN ACCORDANCE WITH THE ATTACHED SURVEY
MAPS.

929 Mountain Branch Circle

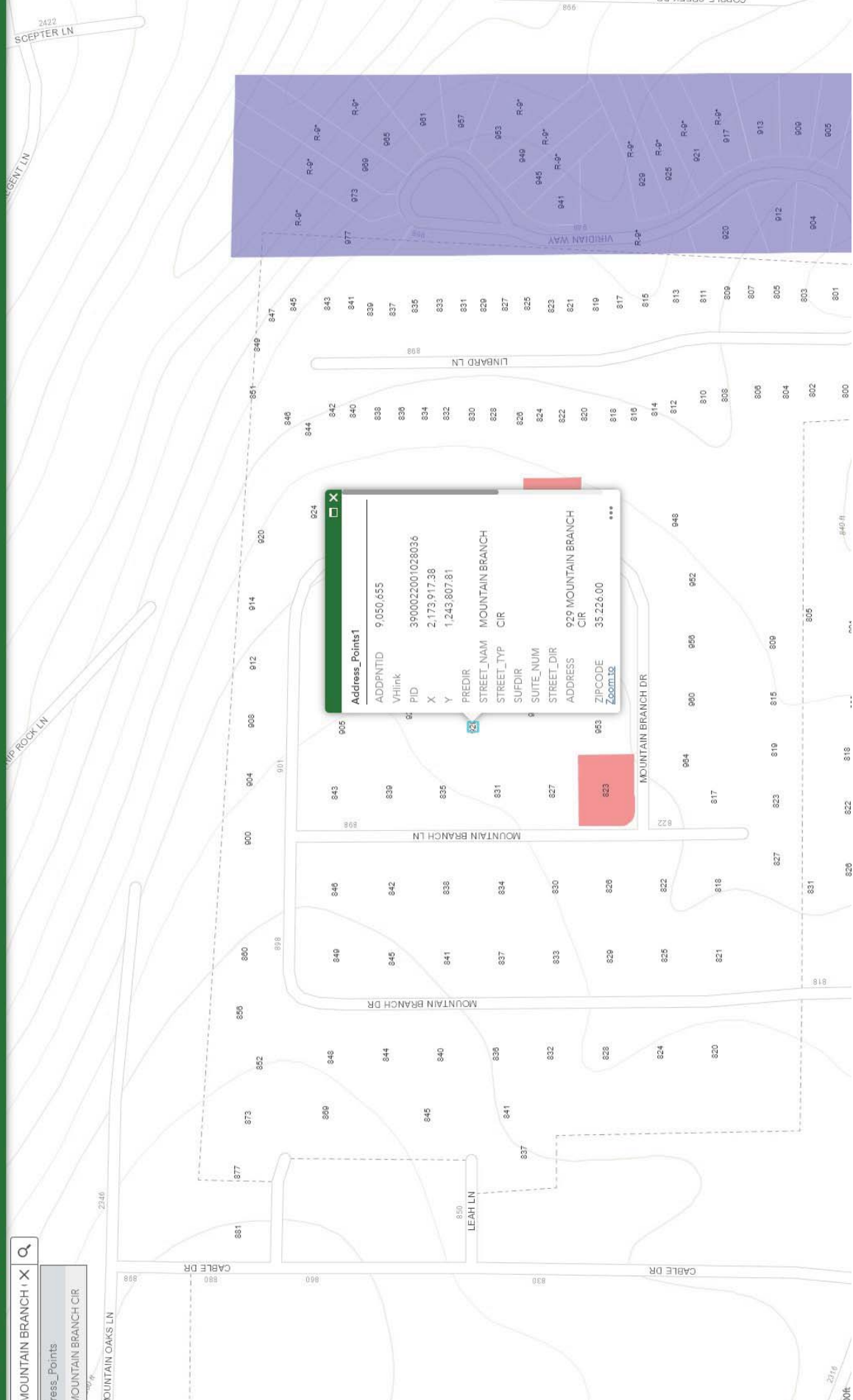


Legend

 Vestavia_Hills_City_Limits

City of Vestavia Hills
Department of GIS
April 24, 2019





Address_Points1

ADDPNTID 9,050,655

VHlink

PID 3900022001028036

X 2,173,917.38

Y 1,243,807.81

PREDIR

STREET_NAM MOUNTAIN BRANCH

STREET_TYP CIR

SUFDIR

SUITE_NUM

STREET_DIR

ADDRESS 929 MOUNTAIN BRANCH

ZIPCODE 35,226,00

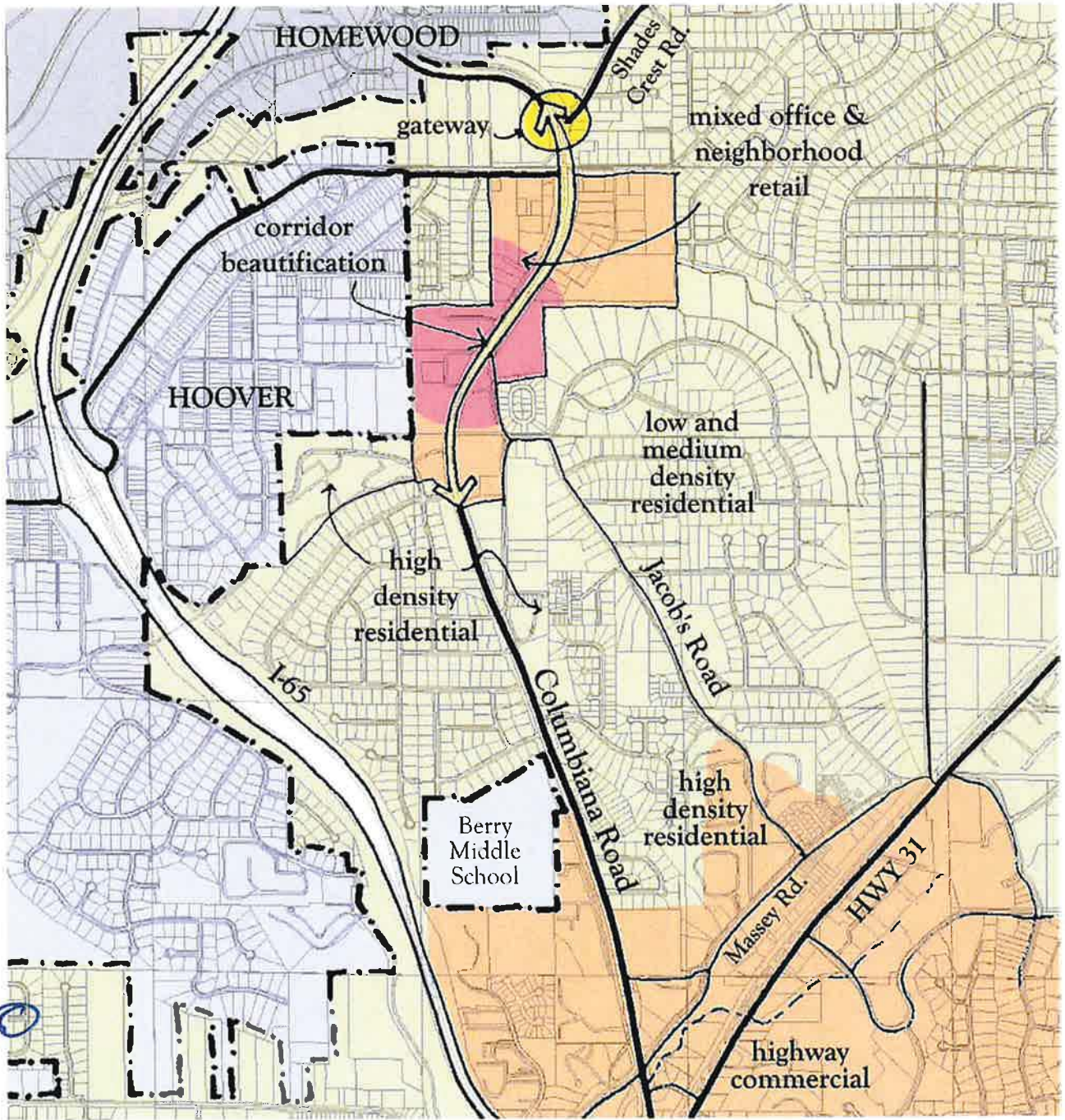
Zoom 100%

2422 SCEPTER LN

2424 MOUNTAIN OAKS LN

2116

200ft



Subject Parcel

Figure 20: Columbiana Road
Land Use Analysis

- Neighborhood - primarily low / medium density single-family residential areas with higher densities near village centers). Other uses may include schools, places of worship, recreational areas, and open space.
- Village Center - mixed use centers with highest densities in core areas. Mix of uses should include retail and service businesses, professional offices, high density residential areas, institutions, recreation areas, and public spaces.
- Commercial Core - primarily high density, retail and service business areas with professional offices and multi-family residences on upper floors or on periphery. Other uses may include institutions and public space.
- Gateways and Nodes - Gateways are entryways into the community or village enhanced with consistent signage, landscaping, and other elements. Nodes are sites, such as transit stops, where public spaces, signage, and other public design elements should be considered.

- Professional Offices - primarily professional office uses. Density should vary according to surroundings. Other uses may include retail and services (supporting offices and employees), places of worship, public spaces, and open space.
- Recreation and Open Space - public and private recreation facilities and preserved natural spaces. Recreation facilities may be active, passive or combined. Open spaces are areas preserved in a natural state and may include passive recreational uses.
- Trailheads - Trailheads are public sites along a trail, where bike racks, seating, parking, and public amenities are provided for trail users.
- Schools - School facilities administered by the Vestavia Hills School System.



CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: **OCTOBER 10, 2019**

- **CASE:** P-1019-51
- **REQUESTED ACTION:** Rezoning JC E-2 to Vestavia Hills R-1
- **ADDRESS/LOCATION:** 2429 Kenvil Cir.
- **APPLICANT/OWNER:** William Ennis
- **GENERAL DISCUSSION:** This is a rezoning of annexed property on 2429 Kenvil Cir. from JC E-2 to VH R-21. Property was annexed overnight by Ordinance 2864 on 8/12/19.
- **VESTAVIA HILLS COMPREHENSIVE PLAN:** The request is consistent with the plan for low density residential.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation
 2. **City Engineer Review:** I have reviewed the application and I have no issues with this request.
 3. **City Fire Marshal Review:** I have reviewed the application and I have no issues with this request.
 4. **Building Safety Review:** I have reviewed the application and I have no issues with this request.

CITY OF VESTAVIA HILLS

APPLICATION

PLANNING AND ZONING COMMISSION

2019 SEP 14 12:22

I. INSTRUCTIONS AND INFORMATION:

- (1) The Vestavia Hills Planning and Zoning Commission meets regularly on the second Thursday of each month at 6:00 PM in Council Chambers at the Municipal Center.
- (2) All materials and information relating to a zoning/rezoning request or conditional use approval before the Planning and Zoning Commission must be submitted to the Office of the City Clerk no later than **25 working days prior to the scheduled meeting at which it shall be considered.** All information relating to Preliminary Map approvals must be submitted to the Office of the City Clerk no later than 20 days prior to the scheduled meeting at which is shall be considered. All information relating to Final Map approvals must be submitted to the Office of the City Clerk no later than 15 days prior to the scheduled meeting at which it is to be considered.
- (3) This application must be filled out in its entirety complete with zip codes.
- (4) All applicable fees shall accompany this application prior to its being considered complete. Fees include an application fee of \$100.00 along with applicable postage per property owner to be notified for Commission meeting. Fees may also include notification fees for City Council meeting and publication fees which will be billed to applicant at a later date. ***No permits will be issued until all fees have been paid.*
- (5) Appropriate plats and maps with proper legal description shall accompany this application. **Please refer to attached checklist.**

II. APPLICANT INFORMATION: (owner of property)

NAME:

Grath Ennis, Trustee, or his successors in Trust, Under the Ennis Living Trust, Dated December 18, 2018, and any amendments thereto.

ADDRESS:

2429 Kenvil Circle, Birmingham, AL 35243

MAILING ADDRESS (if different from above)

N/A

PHONE NUMBER: Home

N/A

Office

(205) 907-9953

NAME OF REPRESENTING ATTORNEY OR OTHER AGENT:

N/A

III. ACTION REQUESTED

Request that the above described property be zoned/rezoned

From: JCE-2

To: VHR-1

For the intended purpose of: Annexation from Jefferson

County into City of Vestavia Hills

(Example: From "VH R-1" to "VH O-1" for office building)

if additional information is needed, please attached full description of request

IV. PROPERTY DESCRIPTION: (address, legal, etc.)

2429 Kenvil Circle, Birmingham, AL 35243 / Lot 36, according to
resurvey of Lots 18, 19, 20, 33, 34, 36, 37, 46, 47 & 48, Buckhead, Second Sector
Book 33, Page 22 Jefferson County Probate
Property size: _____ feet X _____ feet. Acres: Approx 9/10's acre

V. INFORMATION ATTACHED:

Attached Checklist complete with all required information.

Application fees submitted.

VI. I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

[Signature] Trustee under the

Owner Signature/Date

Ennis Living Trust, 12/18/18

Representing Agent (if any)/date

Given under my hand and seal
this 4th day of September, 2019.

[Signature]

Notary Public


My commission expires _____
day of _____, 20_____.

LACEY G. PHILLIPS
Notary Public, Alabama State At Large
My Commission Expires April 7, 2020

2429 Kenvil Circle



Legend

 Vestavia_Hills_City_Limits

City of Vestavia Hills
Department of GIS
May 16, 2019





Zoning1

PARCELID	4000052001012000
DISTRICT	002
ESN_NUM	504
PROPADD	2429 KENVIL CIR
TAX_TOWNSH	40
SECTION	05
QSECTION	2
BLOCK	001
PARCEL	012000
VH_ZONING	
ZNG_ORD	
ZNG_ORD_DT	
ZNG_ORDZ	

Zoom 100

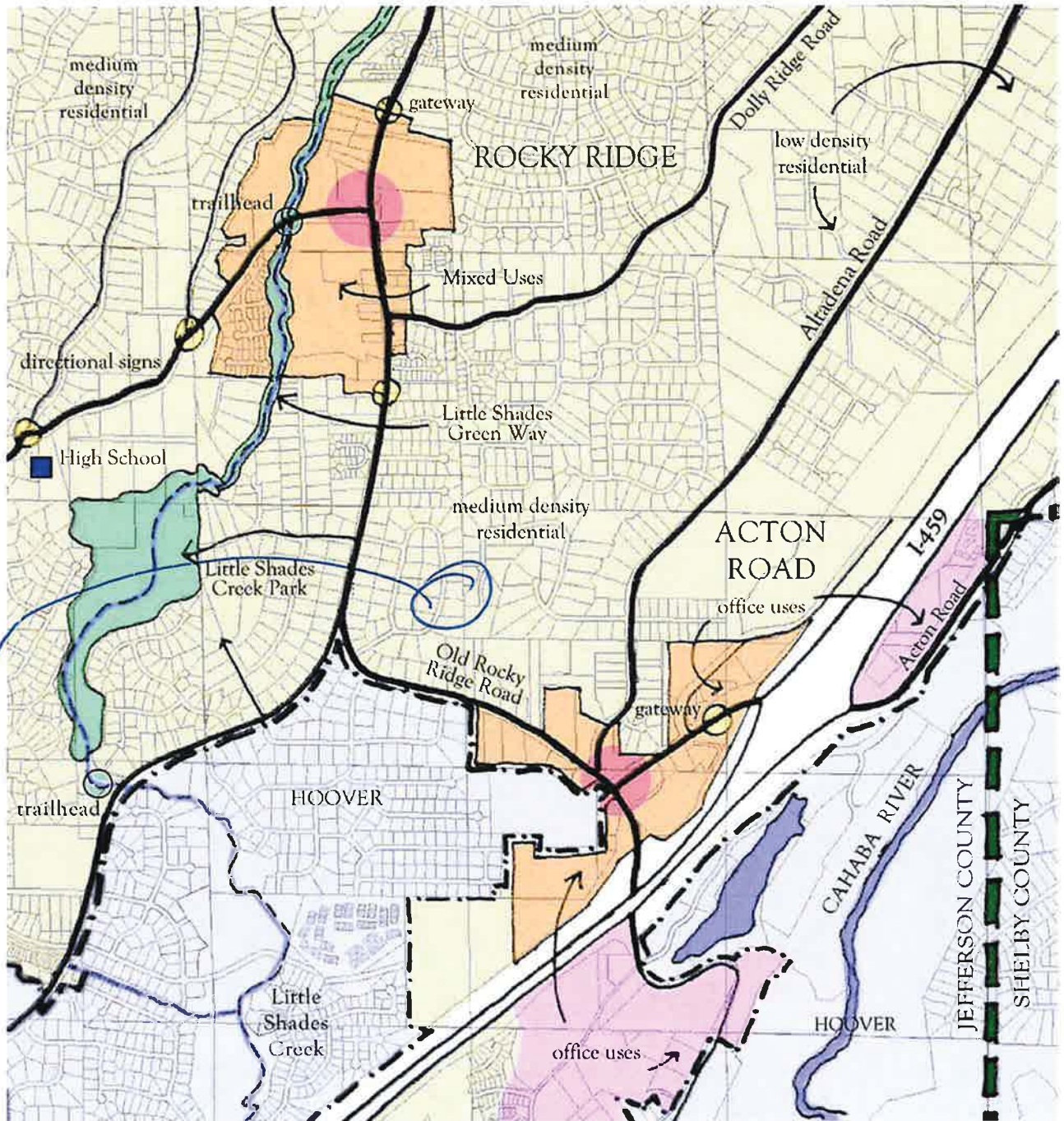


Figure 21: Rocky Ridge Road / Acton Road West
Land Use Analysis

- Neighborhood - primarily low / medium density single-family residential areas with higher densities near village center(s). Other uses may include schools, places of worship, recreational areas, and open space.
- Village Center - mixed use centers with highest densities in core areas. Mix of uses should include retail and service businesses, professional offices, high density residential areas, institutions, recreation areas, and public spaces.
- Commercial Core - primarily high density, retail and service business area with professional offices and multi-family residences on upper floors or on periphery. Other uses may include institutions and public space.
- Gateways and Nodes - Gateways are entryways into the community or village enhanced with consistent signage, landscaping, and other elements. Nodes are sites, such as transit stops, where public spaces, signage, and other public design elements should be considered.

- Professional Offices - primarily professional office uses. Density should vary according to surroundings. Other uses may include retail and services (supporting offices and employees), places of worship, public spaces, and open space.
- Recreation and Open Space - public and private recreation facilities and preserved natural spaces. Recreation facilities may be active, passive or combined. Open spaces are areas preserved in a natural state and may include passive recreational uses.
- Trailheads - Trailheads are public sites along a trail, where bike racks, seating, parking, and public amenities are provided for trail users.
- Schools - School facilities administered by the Vestavia Hills School System.



CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: **OCTOBER 10, 2019**

- **CASE:** P-1019-52
- **REQUESTED ACTION:** Rezoning JC E-2 to Vestavia Hills R-1
- **ADDRESS/LOCATION:** 3516 Squire Ln.
- **APPLICANT/OWNER:** Brook Russell
- **GENERAL DISCUSSION:** This is a rezoning of annexed property on 3516 Squire Ln. from JC E-2 to VH R-21. Property was annexed overnight by Ordinance 2859 on 8/12/19.
- **VESTAVIA HILLS COMPREHENSIVE PLAN:** The request is consistent with low density residential but does not exist in the Comprehensive Plan.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation
 2. **City Engineer Review:** I have reviewed the application and I have no issues with this request.
 3. **City Fire Marshal Review:** I have reviewed the application and I have no issues with this request.
 4. **Building Safety Review:** I have reviewed the application and I have no issues with this request.

CITY OF VESTAVIA HILLS

APPLICATION

PLANNING AND ZONING COMMISSION

I. INSTRUCTIONS AND INFORMATION:

- (1) The Vestavia Hills Planning and Zoning Commission meets regularly on the second Thursday of each month at 6:00 PM in Council Chambers at the Municipal Center.
- (2) All materials and information relating to a zoning/rezoning request or conditional use approval before the Planning and Zoning Commission must be submitted to the Office of the City Clerk no later than **25 working days prior to the scheduled meeting at which it shall be considered**. All information relating to Preliminary Map approvals must be submitted to the Office of the City Clerk no later than 20 days prior to the scheduled meeting at which is shall be considered. All information relating to Final Map approvals must be submitted to the Office of the City Clerk no later than 15 days prior to the scheduled meeting at which it is to be considered.
- (3) This application must be filled out in its entirety complete with zip codes.
- (4) All applicable fees shall accompany this application prior to its being considered complete. Fees include an application fee of \$100.00 along with applicable postage per property owner to be notified for Commission meeting. Fees may also include notification fees for City Council meeting and publication fees which will be billed to applicant at a later date. ***No permits will be issued until all fees have been paid.*
- (5) Appropriate plats and maps with proper legal description shall accompany this application. **Please refer to attached checklist.**

II. APPLICANT INFORMATION: (owner of property)

NAME: BROOK RUSSELL

ADDRESS: 3516 SQUIRE LANE

MAILING ADDRESS (if different from above) _____

PHONE NUMBER: Home 281-6228 Office 967-6878

NAME OF REPRESENTING ATTORNEY OR OTHER AGENT: _____

III. ACTION REQUESTED

Request that the above described property be zoned/rezoned

From: E-2

To: VH R1

For the intended purpose of: ANNEXATION

(Example: From "VH R-1" to "VH O-1" for office building)

if additional information is needed, please attached full description of request

IV. PROPERTY DESCRIPTION: (address, legal, etc.)

Property size: _____ feet X _____ feet. Acres: _____

V. INFORMATION ATTACHED:

Attached Checklist complete with all required information.

Application fees submitted.

VI. I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

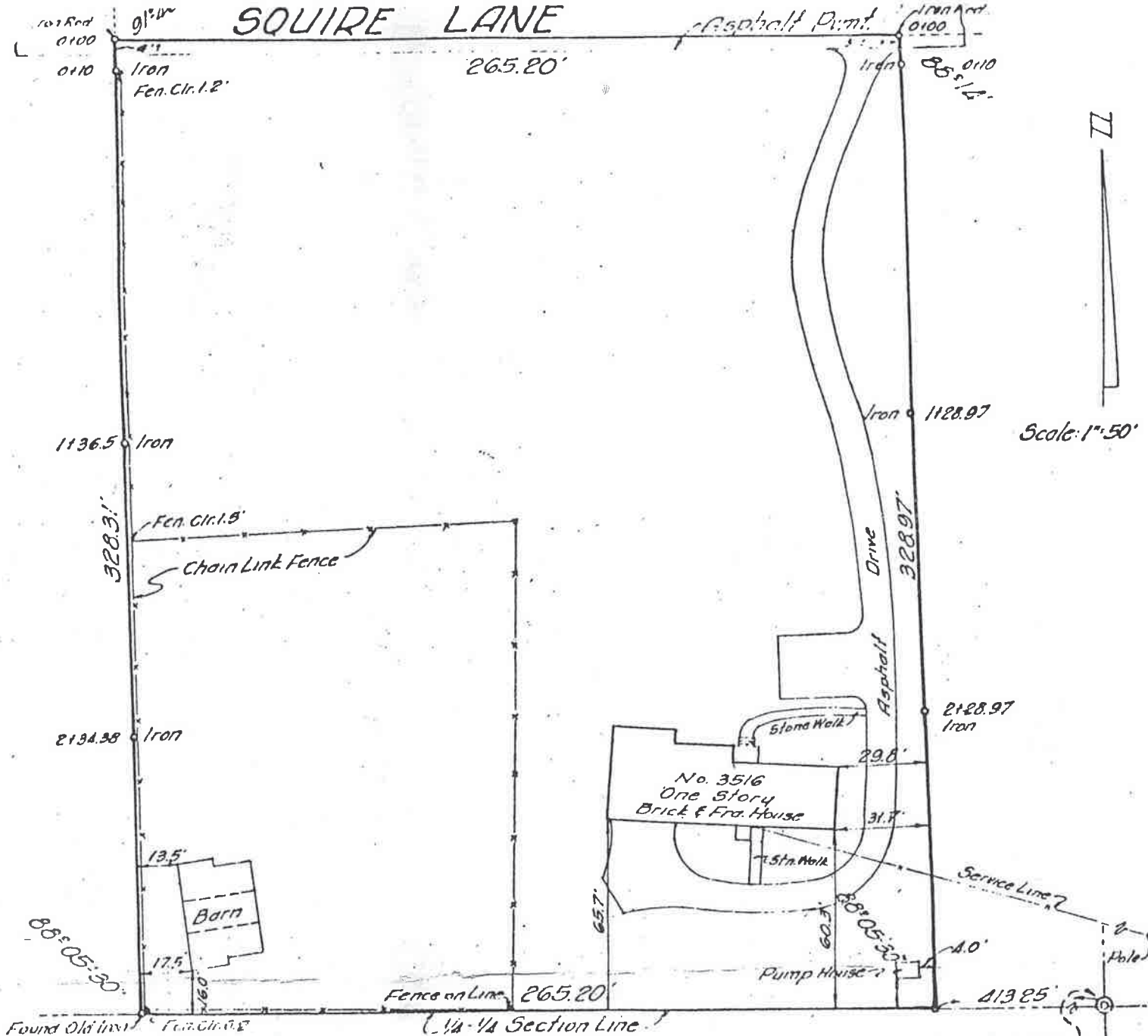
 9/5/19
Owner Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this 5th day of September, 2019.


Notary Public

My commission expires _____, 20____ My Commission Expires
day of _____, 20____ November 8, 2020



STATE OF ALABAMA
JEFFERSON COUNTY

S.E. Corner of SW 1/4 - NW 1/4
Section 28, T.18S, R.2W.

I, August A. Winters, a Land Surveyor of Birmingham, Alabama, hereby certify that the above is a true and correct plat or map of Lot..... Block....., as shown by the map of same

recorded in Map Book.....Page....., in the office of the Judge of Probate of Jefferson County, Alabama, that the building now on said lot is within the bounds of said lot, that there are no visible encroachments, except those shown, from adjoining properties and that there are no rights-of-way, easements, of joint driveways over or across said land visible on the surface except as shown; that there are no visible electric or telephone wires (excluding wires which serve the premises only) or structures or a supports therefor including poles, anchors and guy wires, on or over said premises except as shown.

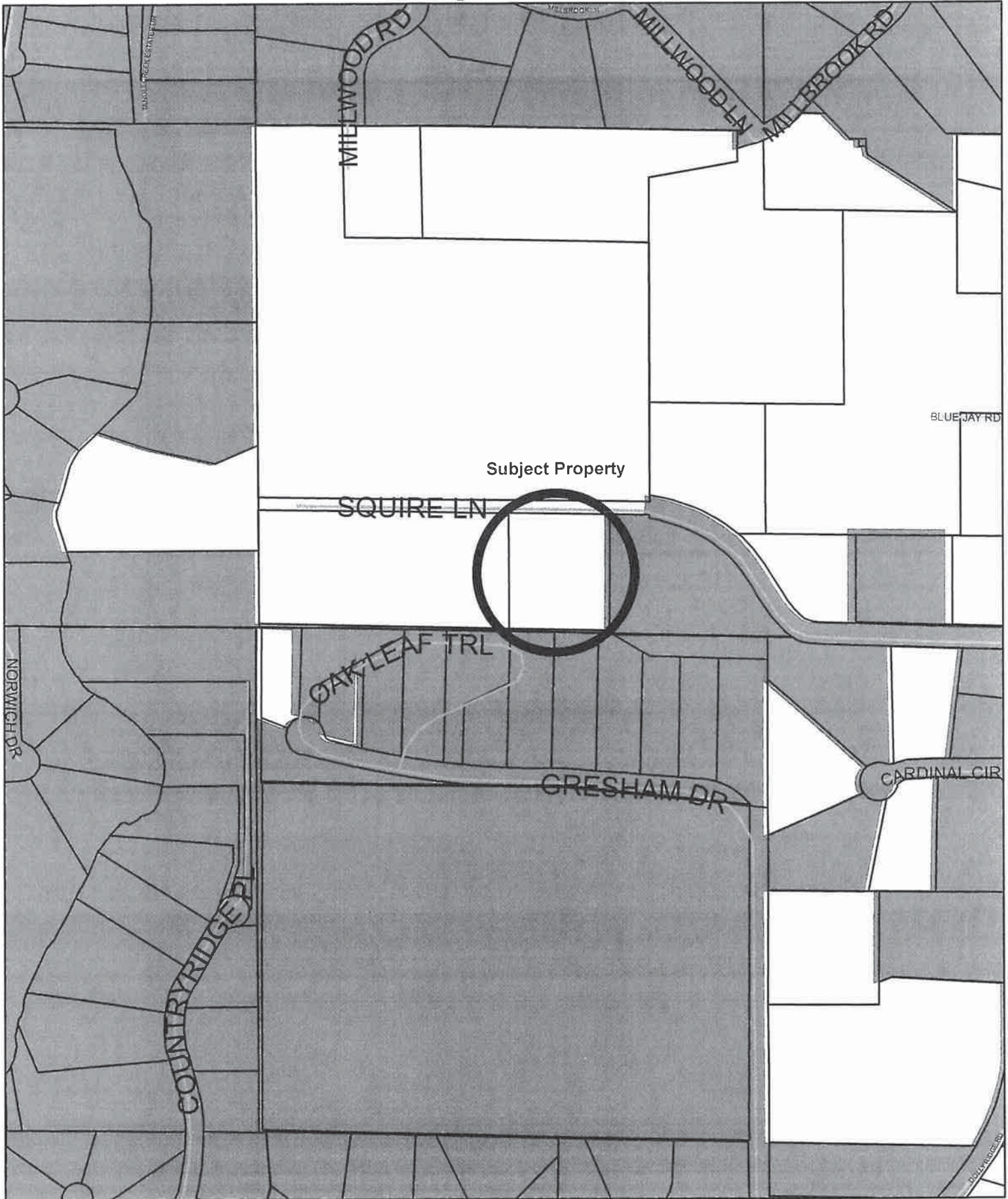
The correct street address is No. 3516 Squire Lane Birmingham, Alabama.

According to my survey this 9th day of February, 1972,


SHEPARD & WINTERS, ENGINEERS
721-722 MASSEY BUILDING
BIRMINGHAM, ALABAMA

August A. Winters
August A. Winters — Reg. No. 2386

3516 Squire Lane



Legend

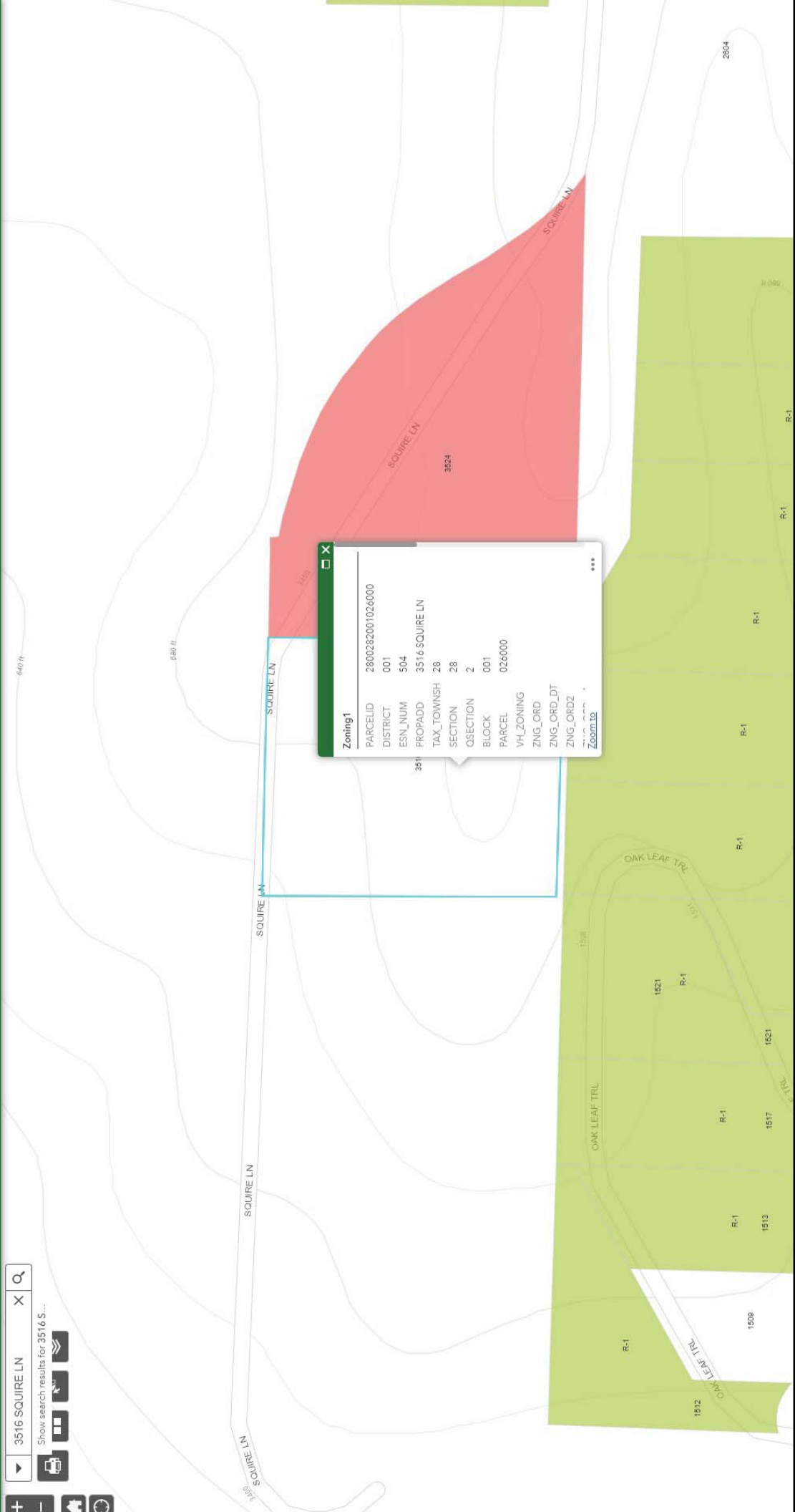
 Vestavia_Hills_City_Limits

City of Vestavia Hills
Department of GIS
April 24, 2019



3516 SQUIRE LN

Show search results for 3516 S...



Zoning1	
PARCELID	2800282001026000
DISTRICT	001
ESNL_NUM	504
PROPADD	3516 SQUIRE LN
TAX_TOWNSH	28
SECTION	28
OSECTION	2
BLOCK	001
PARCEL	026000
VHL_ZONING	
ZNG_ORD	
ZNG_ORD_DT	
ZNG_ORD2	
ZNG_ORD3	

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: **OCTOBER 10, 2019**

- **CASE:** P-1019-55
- **REQUESTED ACTION:** Vestavia Hills B-3 to Vestavia Hills B-1.2
- **ADDRESS/LOCATION:** 4222 Dolly Ridge Rd.
- **APPLICANT/OWNER:** Timothy B. Higgins
- **GENERAL DISCUSSION:** This is a rezoning of a lot next to “In The Making”. Applicants are requesting B-1.2 zoning for a retail shop on the first floor with a single residential unit above. The proposed setbacks are 53’ in the front. 10’ on the right, 11’ on the left and 136’ in the rear. Parking will be shared with the neighboring building. Covenants will be recorded limiting the building of one single dwelling unit that cannot be rented.
- **CAHABA HEIGHTS VILLAGE PLAN:** The request is consistent with low density residential but does not exist in the Comprehensive Plan.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation
 2. **City Engineer Review:** I have reviewed the application and I have no issues with this request.
 3. **City Fire Marshal Review:** I have reviewed the application and I have no issues with this request.
 4. **Building Safety Review:** I have reviewed the application and I have no issues with this request.

CITY OF VESTAVIA HILLS

APPLICATION

PLANNING AND ZONING COMMISSION

I. INSTRUCTIONS AND INFORMATION:

- (1) The Vestavia Hills Planning and Zoning Commission meets regularly on the second Thursday of each month at 6:00 PM in Council Chambers at the Municipal Center.
- (2) All materials and information relating to a zoning/rezoning request or conditional use approval before the Planning and Zoning Commission must be submitted to the Office of the City Clerk no later than **25 working days prior to the scheduled meeting at which it shall be considered.** All information relating to Preliminary Map approvals must be submitted to the Office of the City Clerk no later than 20 days prior to the scheduled meeting at which is shall be considered. All information relating to Final Map approvals must be submitted to the Office of the City Clerk no later than 15 days prior to the scheduled meeting at which it is to be considered.
- (3) This application must be filled out in its entirety complete with zip codes.
- (4) All applicable fees shall accompany this application prior to its being considered complete. Fees include an application fee of \$100.00 along with applicable postage per property owner to be notified for Commission meeting. Fees may also include notification fees for City Council meeting and publication fees which will be billed to applicant at a later date. ***No permits will be issued until all fees have been paid.*
- (5) Appropriate plats and maps with proper legal description shall accompany this application. **Please refer to attached checklist.**

II. APPLICANT INFORMATION: (owner of property)

NAME: Timothy B. Higgins

ADDRESS: 585 Soerrie Road
Grant Avondale 35147

MAILING ADDRESS (if different from above) _____

PHONE NUMBER: Home 256.728.8880 Office 256.603.0195

NAME OF REPRESENTING ATTORNEY OR OTHER AGENT: _____

III. ACTION REQUESTED

Request that the above described property be zoned/rezoned

From: Commercial "C"

To: MIXED USE 66 B1.2

For the intended purpose of: CONSTRUCT A MIXED USE

BUILDING - RETAIL AND SINGLE FAMILY RESIDENCE

(Example: From "VH R-1" to "VH O-1" for office building)

if additional information is needed, please attached full description of request

IV. PROPERTY DESCRIPTION: (address, legal, etc.)

A PARCEL OF LAND (LOT 8B - NEW MARKET
HB16125) ON DOWD RIDGE ROAD, CHARLES HURLOCK

Property size: 269' feet X 61' feet. Acres: .35

V. INFORMATION ATTACHED:

Attached Checklist complete with all required information.

Application fees submitted.

VI. I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

J. B. Higgins
Owner Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this _____ day of _____, 20____.

Notary Public
My commission expires _____
day of _____, 20____.

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing.

J. B. Higgins
Owner Signature/Date

Representing Agent (if any)/date

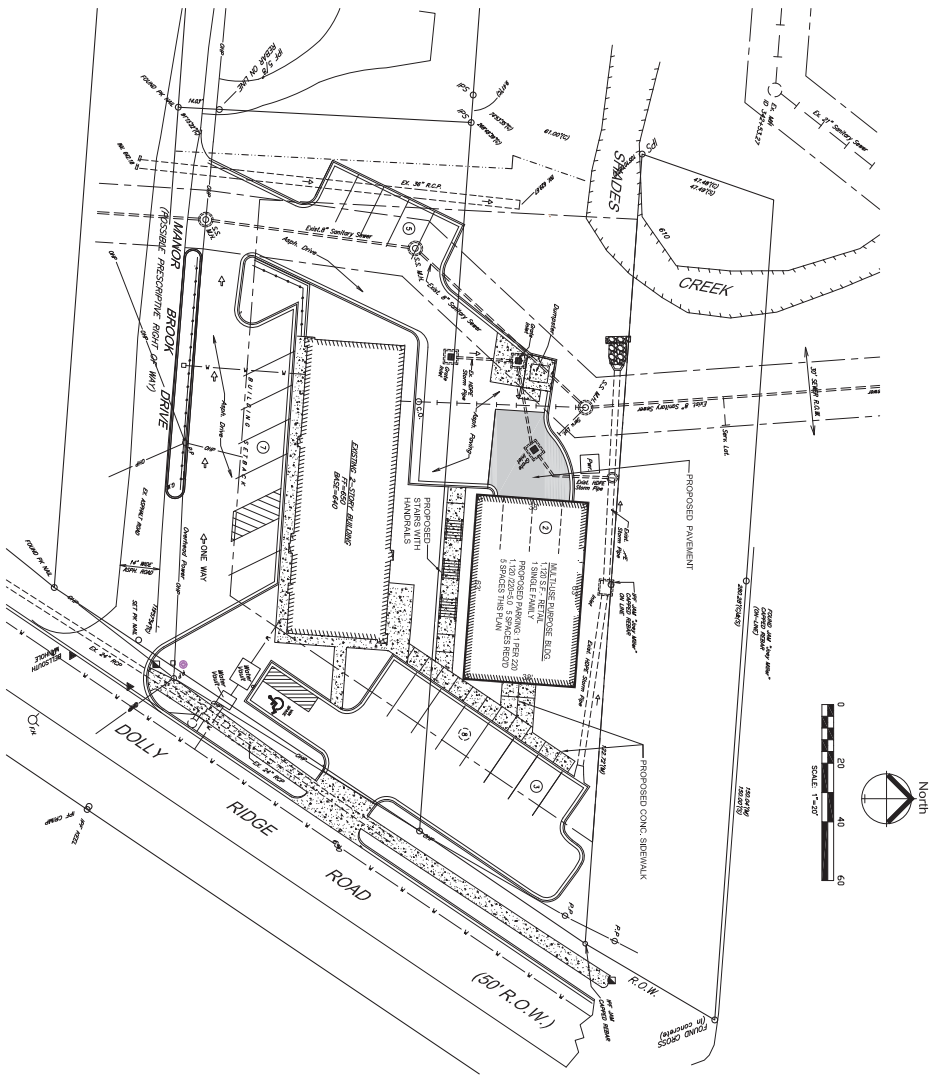
Given under my hand and seal
this 13TH day of AUGUST, 2019.

[Signature]
Notary Public



My commission expires 26TH
day of JULY, 2020.

NOTE TO CONTRACTOR:
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES. THE CONTRACTOR SHALL VERIFY THE LOCATION AND/OR ELEVATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT THE LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



01 OVERALL LAYOUT PLAN SCALE: 1"=30'

LEGEND

---	Existing Contours
—	TELEPHONE LINE
—	WIRELESS SIGNAL
—	WATER MAIN
—	GAS LINE
—	SEWER PIPE
—	STORM PIPE
—	FIRE HYDRANT
—	POWER POLE
—	WATER TANK
—	MAN HOLE

ITM-PHASE II

DOLLY RIDGE ROAD, VESTAVIA, ALABAMA

JOHN M. HOLMES
 ARCHITECT

1201 RIVER ROAD
 BIRMINGHAM, AL
 35226-3250
 205.978.0000

Overall Layout
 Plan

OWNER REVIEW
 PROGRESS 02-11-19

1905

C1.1





Know what's below.
Call before you dig.

DEMOLITION NOTES

1. CONTRACTOR SHALL PROTECT ALL PROPERTY CORNERS AND BENCHMARKS. IF DESTROYED DURING CONSTRUCTION, CONTRACTOR SHALL REPLACE AT HIS EXPENSE.
2. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE TO REMAIN WORK. ALL UTILITIES SHALL BE APPROXIMATELY 18" DEEP AND 18" WIDE UNLESS OTHERWISE SPECIFIED.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES SHOWN AND APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES SHOWN.
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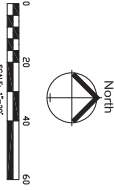
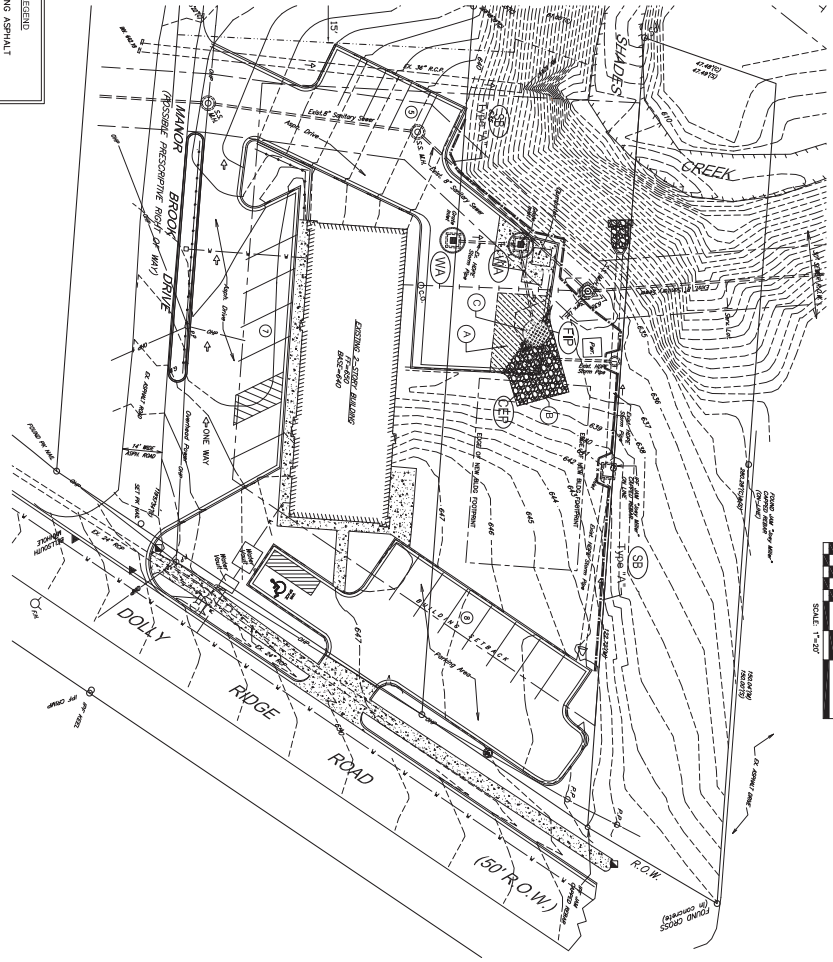
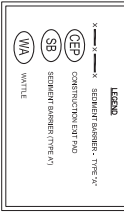
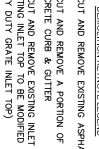
NOTICE TO CONTRACTORS:
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORD DRAWINGS, FIELD SURVEY AND FIELD INFORMATION. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES SHOWN.

EROSION CONTROL NOTES:

1. Erosion control measures shall be provided for the confinement of hazardous substances and any other materials which may pollute the MS4, petroleum products, lubricants, paints and all other hazardous substances shall be stored in accordance with SPCC regulations. These containers shall be stored in accordance with MS4 regulations. These containers shall be stored in accordance with MS4 regulations. These containers shall be stored in accordance with MS4 regulations.
2. A copy of the accepted erosion and sedimentation control plan shall be on the job site. This plan shall be a minimum 11" x 17" size and shall be available for inspection by the Director or his/her designee. This plan shall be a minimum 11" x 17" size and shall be available for inspection by the Director or his/her designee.
3. There shall be no activity on-site until the erosion and sedimentation control plan has been approved by the Director or his/her designee. This plan shall be a minimum 11" x 17" size and shall be available for inspection by the Director or his/her designee.
4. There shall be no activity on-site until the erosion and sedimentation control plan has been approved by the Director or his/her designee. This plan shall be a minimum 11" x 17" size and shall be available for inspection by the Director or his/her designee.
5. There shall be no activity on-site until the erosion and sedimentation control plan has been approved by the Director or his/her designee. This plan shall be a minimum 11" x 17" size and shall be available for inspection by the Director or his/her designee.

STANDARD NOTES

1. All construction to be in accordance with Jefferson County Specifications.
2. All construction to be in accordance with Jefferson County Specifications.
3. Contractor and/or developer shall be responsible for providing a building site free of drainage waterways.
4. Contractor and/or developer shall be responsible for maintaining a proper traffic control plan for public safety adjacent to construction site. The traffic control plan must be in accordance with the latest MUTCD edition.
5. All utilities within roadway shall be back-filled with stone in accordance with Article 6 of the Jefferson County Specifications.
6. In regard to the utility connections, possible relocations, and other work proposed within the construction within said right-of-way contact Terry Rich, Chief Utility Inspector of the Jefferson County Road and Transportation Department, at 325-5128 for more information concerning the location of existing utilities, proposed relocations, and other work proposed within the construction within said right-of-way.
7. All drainage structures within an existing or proposed Jefferson County right-of-way shall be pre-constructed conference and/or the approval notes shown on the plan set for these structures. All drainage structures within an existing or proposed Jefferson County right-of-way shall be pre-constructed conference and/or the approval notes shown on the plan set for these structures.



01 DEMOLITION & EROSION CONTROL PLAN SCALE: 1"=20'

ITM-PHASE II DOLLY RIDGE ROAD, VESTAVIA, ALABAMA

JOHN M. HOLMES
ARCHITECT

OWNER REVIEW	DATE
PROGRESS 04-10-19	
DESIGNED BY	DATE
JOHN M. HOLMES	1905
PROJECT NO.	DATE
C2.0	

ITM-PHASE II

DOLLY RIDGE ROAD, VESTAVIA, ALABAMA

JOHN M. HOLMES
ARCHITECT

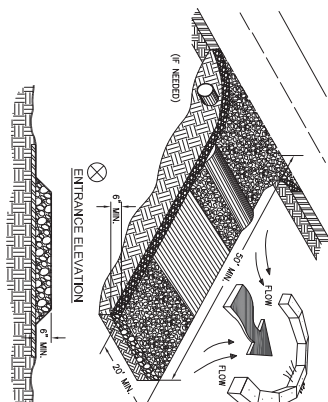
1230 RIVER ROAD
BIRMINGHAM, ALABAMA 35244-2904
205.978.1234

Ferguson Central
Designs

OWNER REVIEW
PROCESS 07.24.19

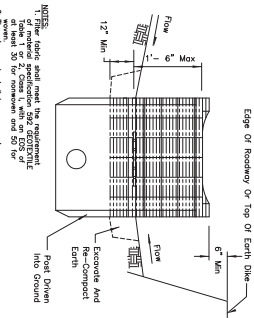
1905

C2.1



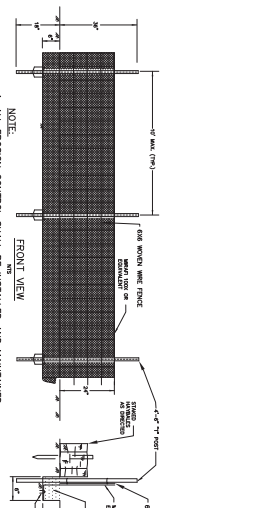
- NOTES:
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 2. ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE PROTECTION.
 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONES) OF 4" VEHICULAR FORCESS, BUT NO LESS THAN 200.
 4. 5' PAV WIDTH SHALL BE EQUAL TILL WIDTH AT ALL POINTS OF TOWARD PAVED AREA IS GREATER THAN 25% WHEN GRADE.
 5. 7' MINIMUM PAVEMENT WIDTH IS REQUIRED IF NEEDED TO MAINTAIN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (OVERSET ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A WASHBASIN AND/OR THE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, PROVIDE A 10' MIN. WASHBASIN AND/OR WASHERS FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 6. 10' MIN. OF WASHBASIN AND/OR WASHERS SHALL BE PROVIDED FOR WASHING OF TRUCKS AND/OR EQUIPMENT.
 7. WASHBASIN AND/OR THE WASHERS SHALL BE MAINTAINED FOR PROPER OPERATION.
 8. WASHBASIN AND/OR THE WASHERS SHALL BE MAINTAINED FOR PROPER OPERATION.
 9. WASHBASIN AND/OR THE WASHERS SHALL BE MAINTAINED FOR PROPER OPERATION.
 10. WASHBASIN AND/OR THE WASHERS SHALL BE MAINTAINED FOR PROPER OPERATION.

(SB) DETAIL - SEDIMENT BARRIER (TYPE 'A')



- NOTES:
1. FABRIC SHALL MEET THE REQUIREMENTS OF FEDERAL SPECIFICATION 502 (SODIUM POLYACRYLATE) OF AT LEAST 50% CONCENTRATION AND 50% STRENGTH AT 28 DAYS OF CURE.
 2. THE FABRIC SHALL HAVE A MINIMUM STRENGTH OF 100 LBS PER YARD.

(FP) FABRIC DROP INLET



(CEP) DETAIL - CRUSHED STONE CONSTRUCTION EXIT

- NOTE:
1. ALL EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES FOR THE STATE OF ALABAMA.
 2. THE SILT FENCE SHALL BE REINFORCED WITH STAKED HAYBALES AT POINTS OF HEAVY Silt BUILDUP, HIGH WATER VELOCITIES, AND AT OTHER LOCATIONS AS DIRECTED.

(SB) DETAIL - SEDIMENT BARRIER (TYPE 'A')

NOTICE TO CONTRACTOR:
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS AND/OR EXISTING RECORD DRAWINGS ARE APPROXIMATE AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF UTILITIES AS SHOWN ON THESE PLANS WITH THE PROPOSED UTILITIES SHOWN ON THE PLANS.

- General Notes**
- Contractor and/or Developer shall notify the Jefferson County Department of Roads and Transportation (325-2322) at least 72 hours prior to any work being performed within the right-of-way. The Department shall be responsible and approve by the County Road and Transportation Department. This shall be in accordance with the County Road and Transportation Department.
 - Excavation and required county right-of-way and easement are shown on the construction plans. The contractor shall be responsible for obtaining all necessary permits for excavation. The contractor shall not be placed in the right-of-way or easements without proper approval from Jefferson County. Other than shown on approved plans, grading operations involving cutting or filling shall not be allowed within Jefferson County right-of-way and easements.
 - Utilities are shown on the drawings in an approximate location. The Contractor shall verify and mark all underground utilities prior to construction and use care in his operations to avoid them. The Contractor shall be responsible for all construction layout. Benchmark will be provided by the Contractor.
 - The Contractor shall be responsible for all construction layout. Benchmark will be provided by the Contractor.
 - PRECAUTION IN CONSTRUCTION issued by the AGC of America, Inc. and the SAFETY AND HEALTH Commission shall be followed at all times during construction. If problems are encountered during the construction, the Contractor shall be responsible for the cost of any rework. The Engineer is not notified that the Contractor shall have responsibility for the cost of any rework. Surveys have not been made on all tracts shown herein for the delineation of property lines.
 - Permitting and right-of-way shall be completed within strict accordance with Alabama Department of Transportation (ALDOT) specifications for construction.

- Striped Notes**
- All construction to be in accordance with Jefferson County Specifications.
 - Contractor and/or developer shall be responsible for construction and maintenance of erosion and sedimentation control during construction for protection of adjacent properties, roadways and waterways.
 - Contractor and/or developer are responsible for providing a building site free of drainage for public safety adjacent to construction site. The traffic control plan must be in accordance with Jefferson County Specifications.
 - All utilities within roadway shall be back filled with stone in accordance with Article 6 of the Jefferson County right-of-way, please have the Contractor that will perform the proposed construction verify the location of all utilities. The Contractor shall be responsible for the construction of all utilities shown on the drawings. The Contractor shall be responsible for the construction of all utilities shown on the drawings. The Contractor shall be responsible for the construction of all utilities shown on the drawings.
 - All drainage structures within an existing or proposed Jefferson County right-of-way shall be constructed in accordance with ALDOT specifications. This comment does not apply to proposed structures.

- EROSION CONTROL NOTES:**
- Measures shall be provided for the confinement of hazardous substances and any other materials which may pollute the MS4. Petroleum products, lubricants, paints and solvents shall be stored away from oil storm drains, ditches and gutters in water-tight containers. Disposal of these materials shall be in accordance with ALDM regulations. Contractors shall be responsible for preventing trash from the site to enter into the storm drain system. The Contractor shall be responsible for preventing trash from the site to enter into the storm drain system. The Contractor shall be responsible for preventing trash from the site to enter into the storm drain system.
 - All potential hazardous material shall be properly stored and may not be exposed to rain or sunlight. All containers are to be closed and stored or placed in a covered area. All excess material (10) days, at a minimum.
 - A copy of the accepted erosion and sedimentation control plan shall be on file at the job site. The plan shall be kept on-site and must be available for inspection by the Director or his/her designee. The plan shall be kept on-site and must be available for inspection by the Director or his/her designee. The plan shall be kept on-site and must be available for inspection by the Director or his/her designee.
 - When the land disturbing activity is finished and stable vegetation or other permanent controls have been established on all remaining exposed soil, the owner of the land where the work is being performed shall request a final inspection. The Department shall then inspect the site within 10 working days after receipt of the notice.

THE SCOPES OF SERVICE FROM THE SET SHALL BE PERFORMED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, THE COMMENCEMENT OF CONSTRUCTION.



01 SITE / GRADING PLAN
 SCALE: 1"=30'

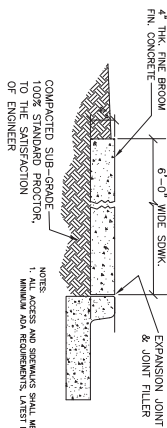
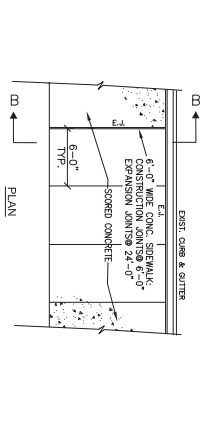
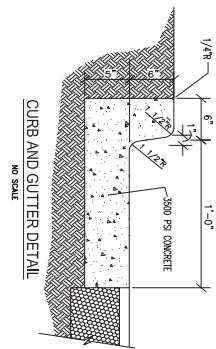
ITM-PHASE II
DOLLY RIDGE ROAD, VESTAVIA, ALABAMA

INSTALL:
 T.O.S. & T.H.K. CONIC.
 SURVEYOR

1220 RIVER ROAD
 BIRMINGHAM, AL
 JOHN M. HOLMES
 ARCHITECT

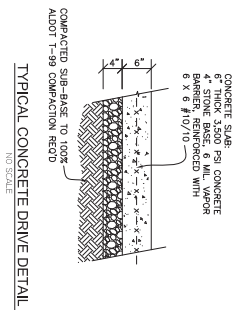
OWNER REVIEW
 PROGRESS 04-10
 1905

C3.0



TYPICAL 6'-0" WIDE CONCRETE SIDEWALK DETAILS

M.T.S.



ITM-PHASE II
DOLLY RIDGE ROAD, VESTAVIA, ALABAMA

JOHN M. HOLMES
ARCHITECT



1201 RIVER ROAD
BIRMINGHAM, AL
205-988-8888
www.jmharchitect.com

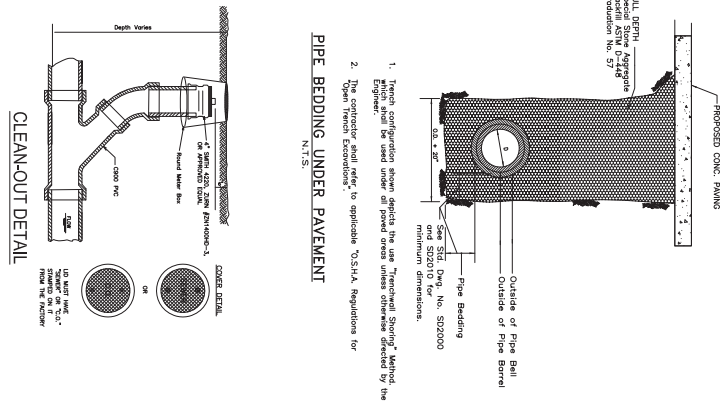
OWNER: RIVERVIEW
PROGRESS (2014) 9

DATE: 1905

PROJECT NO. C3.1

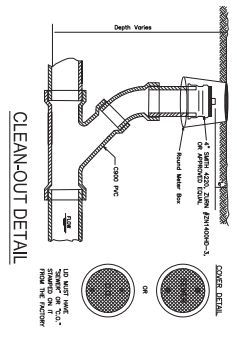
SCALE: 3/8" = 1'-0"

TYPICAL SANITARY SEWER DETAILS



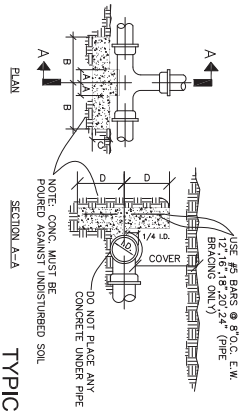
1. Fresh portland cement grade, the use of "Trenchball Shown" Method which shall be used under all paved areas unless otherwise directed by the Engineer.
2. The concrete and refer to applicable "O.S.H.A. Regulations for Open Trench Excavations."

PIPE BEDDING UNDER PAVEMENT
N.T.S.

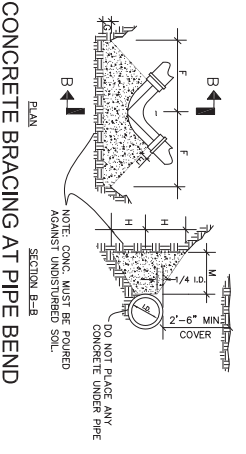


CLEAN-OUT DETAIL

TYPICAL TEE CONNECTION
CONCRETE BRACING FOR TEES



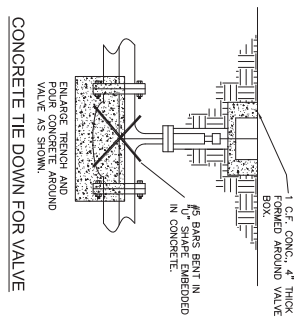
TYPICAL CONCRETE BRACING AT PIPE BEND
CONCRETE BRACING FOR 90° BEND



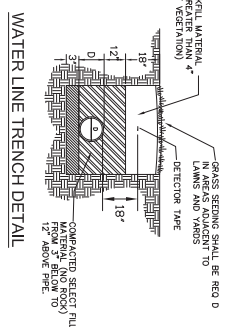
PIPE DIA.	A	B	C	D	MIN. COVER
2'-3", 4"	5"	5"	6"	6"	2'-6"
6"	8"	8"	6"	9"	2'-6"
8"	10"	10"	8"	12"	3'-0"
10"	12"	12"	10"	14"	3'-0"
12"	14"	14"	12"	16"	3'-0"
14"	16"	16"	14"	18"	3'-0"
16"	18"	18"	16"	20"	3'-0"
18"	20"	20"	18"	22"	3'-0"
20"	22"	22"	20"	24"	3'-0"
22"	24"	24"	22"	26"	3'-0"

PIPE DIA.	E	F	G	H	MIN. COVER
2'-3", 4"	4.5"	3.5"	12"	6"	2'-6"
6"	4.5"	6.5"	9"	6"	2'-6"
8"	4.5"	10"	3"	14"	3'-0"
10"	4.5"	13.5"	3"	16"	3'-0"
12"	6"	16.5"	18"	20"	3'-0"
14"	6"	18.5"	18"	21"	3'-0"
16"	6"	21.5"	22"	22"	3'-0"
18"	6"	23.5"	22"	23"	3'-0"
20"	6"	25.5"	22"	24"	3'-0"
22"	7"	27"	34"	34"	3'-0"

PIPE DIA.	F	G	H	MIN. COVER	F	M	MIN. COVER
2'-3", 4"	2"	13"	4"	2'-6"	2"	3"	2'-6"
6"	4"	10.5"	6"	2'-6"	4"	4"	2'-6"
8"	5"	12"	8"	3'-0"	5"	5"	3'-0"
10"	6"	12"	10"	3'-0"	6"	6"	3'-0"
12"	8"	12"	12"	3'-0"	8"	8"	3'-0"
14"	10.5"	19"	14"	5'-0"	12"	12"	5'-0"
16"	11.5"	19"	14"	5'-0"	12"	12"	5'-0"
18"	12"	25"	22"	5'-0"	12"	12"	5'-0"
20"	14"	25"	22"	5'-0"	12"	12"	5'-0"
22"	17"	30"	30"	5'-0"	15"	15"	5'-0"



CONCRETE TIE DOWN FOR VALVE



TYPICAL WATER DETAILS

C4.1

1905

OWNER: BROWNSVILLE WATER & SEWER DEPARTMENT
PROJECT NO.: KH 1905

DESIGNED BY: JOHN M. HOLMES ARCHITECT
DRAWN BY: JOHN M. HOLMES ARCHITECT
CHECKED BY: JOHN M. HOLMES ARCHITECT
DATE: 12/15/19

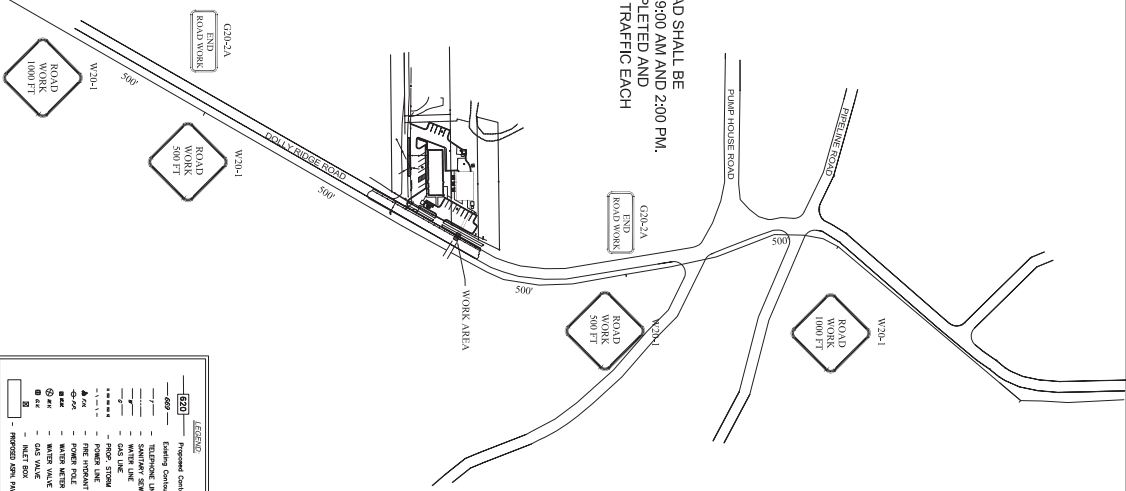
ITM-PHASE II
DOLLY RIDGE ROAD, VESTAVIA, ALABAMA

NOTES	
GD-2A	48" X 24"
GD-2A	48" X 24"
WD-2A	48" X 48"
WD-2A	48" X 48"

BY THE ENGINEER

Scale: 1" = 150'

NOTE:
ALL WORK WITHIN DOLLY RIDGE ROAD SHALL BE COMPLETED WITHIN THE HOURS OF 9:00 AM AND 2:00 PM. ALL CONSTRUCTION SHALL BE COMPLETED AND PAVEMENT REPLACED FOR SCHOOL TRAFFIC EACH SCHOOL DAY.

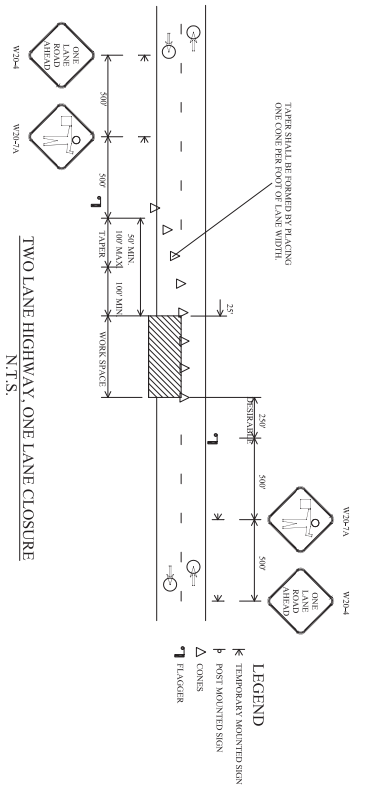


LEGEND	
	Proposed Centerline
	Existing Centerline
	TEMPORARY LANE
	TEMPORARY SHOULDER
	TEMPORARY PAVEMENT
	PROPOSED PAVEMENT
	PROPOSED LANE
	PROPOSED SHOULDER
	PROPOSED PAVEMENT
	PROPOSED LANE
	PROPOSED SHOULDER
	PROPOSED PAVEMENT

TRAFFIC CONTROL PLAN
SCALE: 1"=150'



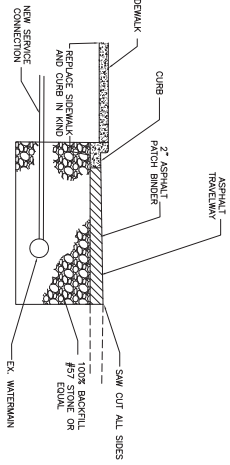
GENERAL NOTES
1. ALL ADVANCE WARNING SIGNS REQUIRED AT THE BEGINNING AND END OF PROJECT SHALL BE POST MOUNTED. ALL SIGNS REQUIRED FOR THE LANE CLOSURE SHALL BE TEMPORARILY MOUNTED.



NOTE TO CONTRACTOR:
CONTRACTOR SHALL VERIFY THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE TOWN'S UTILITY COMPANIES. CONTRACTOR SHALL VERIFY THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS NOT TO BE FIELD OR AS BEING EXACT OR COMPLETE. CONTRACTOR SHALL VERIFY THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS NOT TO BE FIELD OR AS BEING EXACT OR COMPLETE. CONTRACTOR SHALL VERIFY THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS NOT TO BE FIELD OR AS BEING EXACT OR COMPLETE. CONTRACTOR SHALL VERIFY THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS NOT TO BE FIELD OR AS BEING EXACT OR COMPLETE.

TRAFFIC CONTROL NOTES

- THE CONTRACTOR SHALL ESTABLISH AND MAINTAIN TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE LATEST EDITION AND REVISIONS OF THE MUTCD AND THE APPROVED TRAFFIC CONTROL PLAN FOR ALL CONSTRUCTION WITHIN WORK AREAS SHOWN AND DESCRIBED IN PART B.
- PERMANENT ROADWAY SIGNS OR TEMPORARY CONSTRUCTION SIGNS WHICH ARE NOT APPLICABLE OR INAPPROPRIATE FOR THE CURRENT CONDITION SHALL BE COVERED OR REMOVED.
- THE DIMENSIONS SHOWN OR DESCRIBED FOR LOCATING TRAFFIC CONTROL DEVICES SHALL BE ADJUSTED TO BEST FIT LOCAL CONDITIONS AND PROVIDE MAXIMUM VISIBILITY.
- IF TRAFFIC CONTROL DEVICES ARE NECESSARY FOR PROPER WARNING AND TRAFFIC CONTROL AFTER SUNSET, THEN AS A MINIMUM, TYPE "B" WARNING LIGHTS SHALL BE PLACED ON THE FIRST WARNING SIGN AND CANALYZING DRUM LIGHTS SHALL BE PLACED ON THE LAST WARNING SIGN.
- HAZARDOUS CONDITIONS ON OPEN ROADWAY SIGNS AS SHOWN IN PROPOSED AREAS SHALL BE PLACED ON THE RIGHT OF WAY AND UNLESS THE CONTRACTOR IS ON SITE AND WORKING, AND PROPER TRAFFIC CONTROL MEASURES ARE BEING TAKEN.
- THE CONTRACTOR SHALL KEEP OPEN ROADWAYS CLEAN AND FREE OF OBSTRUCTIONS AND DEBRIS.
- TRAFFIC CONTROL DEVICES SHALL MEET THE STANDARD EDITION OF THE INSTALLATION REQUIREMENTS SPECIFIED IN THE CURRENT EDITION OF THE ROADWAY AND DRIVEWAYS SHALL REMAIN OPEN DURING CONSTRUCTION.
- ALONG MINIMUM 20' RADIUS TO CANALYZE TRAFFIC INTO AND OUT OF INTERSECTING ROADS AND DRIVES WITHIN AREAS WHERE CANALYZING AND YIELD SIGNS SHALL BE PLACED AS NECESSARY FOR PROPER TRAFFIC CONTROL IN ACCORDANCE WITH THE MUTCD.



TYPICAL WATERLINE TRENCH DETAIL
N.T.S.

GENERAL NOTES	
1.	UTILITIES ARE SHOWN ON THE PLANS FOR INFORMATION ONLY. CONTRACTOR SHALL VERIFY THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS NOT TO BE FIELD OR AS BEING EXACT OR COMPLETE. CONTRACTOR SHALL VERIFY THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS NOT TO BE FIELD OR AS BEING EXACT OR COMPLETE.
2.	THE CONTRACTOR SHALL VERIFY THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS NOT TO BE FIELD OR AS BEING EXACT OR COMPLETE. CONTRACTOR SHALL VERIFY THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS NOT TO BE FIELD OR AS BEING EXACT OR COMPLETE.
3.	THE CONTRACTOR SHALL VERIFY THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS NOT TO BE FIELD OR AS BEING EXACT OR COMPLETE. CONTRACTOR SHALL VERIFY THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS NOT TO BE FIELD OR AS BEING EXACT OR COMPLETE.
4.	IN THE EVENT OF ANY DISCREPANCIES OR CONFLICTS IN THE DIMENSIONS OR LOCATIONS OF EXISTING UTILITIES SHOWN ON THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS NOT TO BE FIELD OR AS BEING EXACT OR COMPLETE.
5.	ALL DIMENSIONS SHOWN HEREIN FOR THE ESTIMATION OF QUANTITIES SHALL BE AS SHOWN ON THESE PLANS.

1231 RIVER ROAD
BIRMINGHAM, AL
35244-2804
334-980-4455
www.johnmholmes.com

JOHN M. HOLMES
ARCHITECT

OWNER REVIEW
DATE: 10/15/19
DESIGNER: JMH
CHECKER: JMH
DATE: 10/15/19

Typical Traffic Control Plan
Details

1905

CS.0

ITM-PHASE II
DOLLY RIDGE ROAD, VESTAVIA, ALABAMA

GENERAL TRAFFIC CONTROL PLAN NOTES

- DENOTES NOTES THAT APPLY TO THIS PROJECT
- 700** THE TRAFFIC CONTROL PLAN IS DEVELOPED IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PART 6, 2009 EDITION. THE TRAFFIC CONTROL DEVICES INDICATED REPRESENT CONDITIONS KNOWN DURING PLAN DEVELOPMENT. IN THE EVENT ACTUAL PHYSICAL CONDITIONS WARRANT ADDITIONAL TRAFFIC CONTROL DEVICES THEY SHALL BE INSTALLED IN CONFORMANCE WITH THE MUTCD. PART 6 AS DIRECTED BY THE ENGINEER. COST SHALL BE PAID FOR UNDER THE APPROPRIATE PAY ITEM.
- 701** ALL BLACK ON ORANGE CONSTRUCTION SIGNS SHALL BE FABRICATED USING TYPES IV OR VII FLUORESCENT ORANGE REFLECTIVE SHEETING MATERIAL FOR THE SIGN BACKGROUND.
- 702** DURING NON-WORKING HOURS NO EQUIPMENT OR MATERIAL SHALL BE PARKED OR STORED CLOSER THAN 30 FEET TO THE EDGE OF ANY ROADWAY CARRYING TRAFFIC. WHEN THIS IS NOT PRACTICAL, IT SHALL BE PLACED IN AN AREA DESIGNATED BY THE ENGINEER AND DELIMITED BY REFLECTORIZED DRUMS. THIS INCLUDES STORAGE OF TRAFFIC CONTROL DEVICES SUCH AS FLAGGERS, SIGN SUPPORTS, SIGNS, AND MATERIALS. SIGNS AND MATERIALS SHALL NOT BE IN USE DURING NON-WORKING HOURS TO BE DENIED BY THE CONTRACTOR WITHOUT COST TO THE ADOPT. (SEE SKETCH ON SHEET 16.)
- 703** WHERE THE LOCATION OF A REQUIRED SIGN FALLS IN A DRAINAGE, SPOUTAL, BRIDGE, ETC. OR OTHER UNDESIRABLE LOCATION THE TRAVELING PUBLIC, THE LOCATION SHALL BE ADJUSTED AS DIRECTED BY THE ENGINEER.
- 704** THE CONTRACTOR IS TO REMOVE, RELOCATE OR COVER DURING CONSTRUCTION AND THEN RESET OR SIGN AND DELIMITERS, AS DIRECTED BY THE ENGINEER. SIGNS REQUIRING REMOVAL SHALL BE STOCKPILED AS DIRECTED BY THE ENGINEER AND SHALL BECOME PROPERTY OF THE ADOPT. COST SHALL BE A SUBSIDIARY OBLIGATION OF ITEM 740B.
- 705** DURING ALL PHASES OF WORK, NON-APPLICABLE EXISTING STRIPING OR MARKINGS SHALL BE REMOVED AND APPROPRIATE PAVEMENT STRIPING OR MARKINGS SHALL BE PLACED AS EXPEDITIOUSLY AS PRACTICAL, BUT IN ALL CASES, SHALL BE IN PLACE BY NIGHTFALL ON ANY ROADWAY CARRYING TRAFFIC, EXCEPT ON SHORT TERM OPERATIONS WHERE IT IS DETERMINED BY THE ENGINEER THAT SUCH REMOVAL AND REPLACEMENT IS MORE HAZARDOUS THAN LEAVING EXISTING MARKINGS IN PLACE. COST OF ANY REMOVAL SHALL BE PAID FOR UNDER ITEM 700D OR AS A SUBSIDIARY OBLIGATION OF ITEM 701C.
- 706** OMITTED
- 707** THE CONTRACTOR SHALL PLACE ALL ADVANCE WARNING SIGNS BEFORE PROCEEDING WITH HIS WORK. SIGNS SHALL BE PLACED IN ORDER, IN THE DIRECTION OF TRAFFIC AND REMOVED IN REVERSE ORDER.
- 708** ALL VEHICLES, EQUIPMENT, PERSONNEL (EXCEPT FLAGGERS), AND THEIR ACTIVITIES, ARE RESTRICTED AT ALL TIMES TO ONE SIDE OF THE PAVEMENT UNLESS OTHERWISE AUTHORIZED BY THE ENGINEER.
- 709** THE CONTRACTOR SHALL MAINTAIN AT LEAST ONE ACCESS TO BUSINESSES AND RESIDENCES DURING ALL PHASES OF CONSTRUCTION.
- 710** CONSTRUCTION SIGNS MOUNTED ON TEMPORARY SUPPORTS SHALL BE MOUNTED AT A MINIMUM HEIGHT OF 5 FEET.
- 711** FLAGGERS SHALL BE PROPERLY ATTARED, EQUIPPED WITH STAFF MOUNTED STOP/SLOW PLATES IN FRONT OF EACH OTHER, OR HAVE DIRECT COMMUNICATION AT ALL TIMES. FLAGGER STATION LOCATION MAY BE VARIED FROM THOSE SHOWN BASED ON ROADWAY ALIGNMENT AND CONDITIONS AT THE TIME OF THE LANE CLOSURE.
- 712** FLAGGERS ARE TO BE USED WHEN DIRECTED BY THE ENGINEER. SIGNS SHALL BE PLACED AT THE APPROPRIATE TIME, AND SHALL BE COVERED OR REMOVED WHEN FLAGGERS ARE NOT ON DUTY AND DURING NON-WORKING HOURS.
- 713** FOR MOBILE OPERATIONS, THE TRAFFIC CONES MAY BE DELETED IF THE FLAGGERS ARE IN SIGHT OF EACH OTHER, OR IF A PILOT CONE IS USED ON A TWO LANE ROADWAY.
- 714** OMITTED
- 715** ALL CONTRACTOR'S EMPLOYEES' PERSONAL VEHICLES, AND CONTRACTOR'S EQUIPMENT NOT IN OPERATION, SHALL BE PARKED A MINIMUM OF THIRTY (30) FEET FROM THE TRAVELED WAY DURING WORKING HOURS, AS NOT TO CREATE A HAZARD.
- 716** THE TRAFFIC CONTROL PLAN IS NOT AN INCLUSIVE. THE TOP PROVIDES SEVERAL DETAILED DRAWINGS INDICATING THE TRAFFIC CONTROL NECESSARY FOR THE DIFFERENT CONSTRUCTION ACTIVITIES ANTICIPATED FOR THIS PROJECT. THE CONTRACTOR SHALL SELECT THE DETAILED DRAWING THAT BEST FITS THE ACTIVITY TO BE PERFORMED.
- 717** OMITTED
- 718** REQUIRED TEMPORARY ROUTE MARKER ASSEMBLIES THAT ARE TO BE LOCATED IN THE VICINITY OF EXISTING ROUTE MARKERS SHOULD BE PLACED ALONG SIDE OF THOSE AHEAD IN PLACE. SOME EXISTING ROUTE MARKERS MAY HAVE TO BE COVERED OR REMOVED, AS DIRECTED BY THE ENGINEER. COST SHALL BE A SUBSIDIARY OBLIGATION OF ITEM 740B.
- 719** OMITTED
- 720** ALL TRAFFIC CONTROL DEVICES THAT ARE NOT APPLICABLE AT ANY SPECIFIC TIME SHALL BE COVERED OR REMOVED AS DIRECTED BY THE ENGINEER.
- 721** OMITTED
- 722** OMITTED
- 723** THE CONTRACTOR SHALL MAKE PROVISIONS FOR THE SAFETY OF PEDESTRIAN TRAFFIC CROSSING THE WORK ZONE DURING CONSTRUCTION.
- 724** OMITTED
- 725** ALL SIGNS SHALL BE POST-MOUNTED IF THE WORK PERIOD EXCEEDS FOUR DAYS, EXCEPT FOR THOSE SIGNS WHICH ARE MOUNTED ON BARRICADES. FOR REPEATED DAY OPERATIONS, SIGNS MAY BE MOUNTED ON TEMPORARY SUPPORTS AND REMOVED AT THE COMPLETION OF THE DAY'S OPERATION.
- 726** OMITTED
- 727** DURING THE WORKING OR RESURFACING OF ANY ROADWAY CARRYING TRAFFIC, THE CONTRACTOR SHALL ADVISE THE MOTORISTS OF ANY EDGE OF PAVEMENT DROP-OFFS 3 INCHES OR GREATER BY PLACING SHOULDER DROP-OFF SIGNS EVERY 1/2 MILE BEGINNING PRIOR TO THE BEGINNING OF RESURFACING. REQUIRED SHOULDER WORK TO ELIMINATE THE DROP-OFFS SHALL BE PURSUED IN AN EXPEDITIOUS MANNER FOLLOWING THE WORKING AND/OR RESURFACING.
- 728** A DIFFERENCE IN ELEVATION OF APPROXIMATELY 2 INCHES OR LESS AT THE CENTERLINE MAY BE ALLOWED DURING NON-WORKING HOURS WITHOUT ADDITIONAL TRAFFIC CONTROL. SPECIAL CONDITIONS MAY EXIST WHERE PROTECTION SHOULD BE PROVIDED WHERE THE DIFFERENCE IS 2 INCHES OR LESS. SIGNS ON TEMPORARY SUPPORTS ARE TO BE REMOVED OR COVERED WHEN NO WORK IS BEING PERFORMED OR AT THE COMPLETION OF THE DAY'S OPERATION.
- 729** OMITTED
- 730** OMITTED
- 731** CHANNELIZING DRUMS SHOULD BE PLACED ON 10 FOOT INTERVALS IN PAULI.
- 732** CHANNELIZING DRUMS PLACED TO PROTECT COMPLETED WORK NOT OPEN TO TRAFFIC, SHOULD BE SPACED AT 50 FOOT INTERVALS.
- 733** CHANNELIZING DRUMS PLACED IN THE EXCAVATED AREA AHEAD OF PAVING OPERATIONS, SHOULD BE SPACED AT 50 FOOT INTERVALS.
- 734** CHANNELIZING DRUMS PLACED ON PAVEMENT DURING WORKING HOURS SHALL BE SHIFTED TO THE EDGE OF SHOULDER DURING NON-WORKING HOURS AND DURING PEAK PERIODS.
- 735** CHANNELIZING DRUMS SHOULD BE PLACED ON 25 FOOT INTERVALS THROUGHOUT ALL TAPPERS.
- 736** CHANNELIZING DEVICES SHALL EXTEND TO A POINT WHERE THEY ARE VISIBLE TO APPROACHING TRAFFIC.
- 737** OMITTED
- 738** THE DIMENSIONS SHOWN IN THE TRAFFIC CONTROL SUMMARY BOX ARE CONSIDERED TO BE THE MINIMUM REQUIREMENT FOR HANDLING TRAFFIC AT ANY GIVEN TIME DURING CONSTRUCTION.
- 739** LIGHTWEIGHT TYPE B WARNING LIGHTS (WEIGHING 3.3 POUNDS OR LESS) WITH DETACHABLE HEAVY DUTY MOUNTING BRACKETS SHALL BE USED ON TRUCKS AND EQUIPMENT. LIGHTWEIGHT TYPE B WARNING LIGHTS MAY BE USED ON DRUMS IN SPECIAL SITUATIONS AS SHOWN ON THE PLANS. TYPE B WARNING LIGHTS SHALL BE USED ON TRUCKS AND EQUIPMENT. LIGHTWEIGHT TYPE B WARNING LIGHTS (WEIGHING 3.3 POUNDS OR LESS) ANY HEAVYWEIGHT WARNING LIGHTS ON BARRICADES MUST BE CERTIFIED BY THE VENDOR AS TO CRASHWORTHINESS OF THE BARRICADE AND WARNING LIGHT COMBINATION.
- 740** FOR DIVIDED ROADWAYS, THE REQUIRED ADVANCE WARNING SIGNS SHALL BE POSTED ON BOTH THE RIGHT AND LEFT SIDE OF THE ROADWAY.
- 741** THE CONTRACTOR SHALL CLOSE THE LANE ADJACENT TO THE WORK AREA ANYTIME WORK OUTSIDE THE EXISTING TRAVEL LANES ENCOMPASSES WITHIN 2 FEET OF THE EXISTING EDGE OF PAVEMENT.
- 742** OMITTED
- 743** THE TRANSITION TAPER LENGTH (L) IS SHOWN IN TABLE 6C-4, AND THE BUFFER LENGTH IS SHOWN IN TABLE 6C-2 OF THE MUTCD, PART 6, 2009 EDITION.
- 744** UNOPEN LANE SIGNS SHALL BE COVERED OR REMOVED WHEN NO UNOPEN PAVEMENT CONDITIONS EXIST.
- 745** MOVING OPERATIONS SHALL BE CONFINED TO ONE LANE IN THE DIRECTION OF TRAFFIC.
- 746** OMITTED
- 747** R16-3 AND R16-3a SIGNS SHALL BE REQUIRED FOR EVERY PROJECT ON STATE ROUTES AND INTERSTATE HIGHWAYS. THEY SHALL BE POSTED AT THE BEGINNING AND END OF THE PROJECT. ADDITIONAL SIGNS SHALL BE REQUIRED AT MAXIMUM THREE MILE INTERVALS THROUGHOUT THE PROJECT LIMITS. ADDITIONAL R16-3 SIGNS SHALL BE REQUIRED WITH A W3-5b SIGN AND R2-1 SIGN WHENEVER A REDUCTION IN SPEED IS REQUIRED.
- 748** WHEN A CONSTRUCTION WORK ZONE SPEED LIMIT REDUCTION IS REQUIRED, THE CONTRACTOR SHALL COVER OR REMOVE THE R2-1 (REGULATORY) SPEED SIGNS) AND THE W3-5b (REDUCED SPEED AHEAD) SIGNS AT THE END OF THE WORK DAY UNLESS OTHERWISE DIRECTED BY THE ENGINEER. DURING REPLACEMENT OF GABRIAL AND/OR GABRIAL END ANCHORS, A REFLECTORIZED DRUM WITH A LIGHTWEIGHT TYPE B WARNING LIGHT (WEIGHING 3.3 POUNDS OR LESS) SHALL BE PLACED BEFORE THE END OF ANY EXPOSED GABRIAL. AT NIGHT WHERE THE GABRIAL END ANCHORS CANNOT BE REPLACED IN ONE DAY'S TIME.
- 749** CONSTRUCTION SIGNS MOUNTED ON A SINGLE OR DUAL SQUARE TUBULAR OR U-TUBULAR POST SHALL BE INSTALLED AS SHOWN ON SPECIAL DRAWING NOS. DSW-023D THROUGH DSW-023J. SINGLE OR DUAL 4 X 4 WOOD POSTS ARE OBSOLETE BREAKAWAY.
- 750** THE CONTRACTOR AND THE CONSTRUCTION ENGINEER SHALL DISCUSS AND PLAN FOR THE HANDLING OF TRAFFIC FOR ALL HOLIDAYS BEFORE ANY WORK BEGINS. THE CONTRACTOR SHALL NOTIFY THE DIVISION ENGINEER, THE FOLLOWING SHALL HOLD:
- 751** THE CONTRACTOR SHALL NOT HAVE A LANE CLOSURE DURING THE FOLLOWING PERIODS UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR ADOPT:
- FOR CHRISTMAS AND NEW YEARS DAY:
 - FROM 11:59 PM DECEMBER 23 THROUGH 11:59 PM JANUARY 2
 - FOR NATIONAL MEMORIAL DAY AND LABOR DAY:
 - FROM 12:00 NOON THE FRIDAY BEFORE THE HOLIDAY THROUGH 11:59 PM THE DAY OF THE HOLIDAY.
 - FOR INDEPENDENCE DAY (THE 4TH OF JULY):
 - FROM 12:00 NOON THE DAY BEFORE THE HOLIDAY THROUGH 11:59 PM THE DAY OF THE HOLIDAY.
 - FOR THANKSGIVING DAY:
 - FROM 12:00 NOON THE WEDNESDAY BEFORE THANKSGIVING DAY THROUGH 11:59 PM THE SUNDAY FOLLOWING THANKSGIVING DAY.
- ANY OTHER STATE HOLIDAYS WILL BE HANDLED AS APPROVED BY THE PROJECT ENGINEER.
- THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER AND LOCAL GOVERNMENT ON TRAFFIC AND/OR WORK RESTRICTIONS FOR LOCAL HOLIDAYS OR EVENTS NOT LISTED ON ADOPT'S LIST OF OFFICIAL STATE HOLIDAYS.

<p style="text-align: center;">ITM-PHASE II DOLLY RIDGE ROAD, VESTAVIA, ALABAMA</p>	<p>JOHN M. DODD LIVES ARCHITECTS</p> <p style="text-align: center;">■■■■■</p> <p>1230 RIVER ROAD BIRMINGHAM, AL 205-988-4200 jhd@jmdoddlives.com</p>	<p>OWNER REVIEW PROGRESS: PD-44-19</p> <p style="text-align: center;">Traffic Control Notes</p>	<p style="text-align: center;">DATE</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;">DATE</td> <td style="width: 25%;">DATE</td> <td style="width: 25%;">DATE</td> <td style="width: 25%;">DATE</td> </tr> <tr> <td style="text-align: center;">1905</td> <td style="text-align: center;"> </td> <td style="text-align: center;"> </td> <td style="text-align: center;"> </td> </tr> </table> <p style="text-align: center;">CS.1</p> <p style="text-align: center;">**</p>	DATE	DATE	DATE	DATE	1905			
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1905											

GENERAL TRAFFIC CONTROL PLAN NOTES

- DENOTES NOTES THAT APPLY TO THIS PROJECT
- 700 THE TRAFFIC CONTROL PLAN IS DEVELOPED IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PART 6, 2009 EDITION. THE TRAFFIC CONTROL DEVICES INDICATED REPRESENT CONDITIONS KNOWN DURING PLAN DEVELOPMENT. IN THE EVENT ACTUAL PHYSICAL CONDITIONS WARRANT ADDITIONAL TRAFFIC CONTROL DEVICES THEY SHALL BE INSTALLED IN CONFORMANCE WITH THE MUTCD. PART 6 AS DIRECTED BY THE ENGINEER. COST SHALL BE PAID FOR UNDER THE APPROPRIATE PAY ITEM.
- 701 ALL BLACK ON ORANGE CONSTRUCTION SIGNS SHALL BE FABRICATED USING TYPES IV OR VII FLUORESCENT ORANGE REFLECTIVE SHEETING MATERIAL FOR THE SIGN BACKGROUND.
- 702 DURING NON-WORKING HOURS NO EQUIPMENT OR MATERIAL SHALL BE PARKED OR STORED CLOSER THAN 30 FEET TO THE EDGE OF ANY ROADWAY CARRYING TRAFFIC. WHEN THIS IS NOT PRACTICAL, IT SHALL BE PLACED IN AN AREA DESIGNATED BY THE ENGINEER AND DELIMITED BY REFLECTORIZED DRUMS. THIS INCLUDES STORAGE OF TRAFFIC CONTROL DEVICES SUCH AS FLAGGERS' EQUIPMENT. EQUIPMENT SHALL BE REMOVED FROM THE ROADWAY AND STORED IN USE DURING NON-WORKING HOURS TO BE REMOVED BY THE CONTRACTOR WITHOUT COST TO THE ADOPT. (SEE SKETCH ON SHEET 16.)
- 703 WHERE THE LOCATION OF A REQUIRED SIGN FALLS IN A DRAINAGE, SEWERAL, BRIDGE, ETC. OR OTHER UNDESIRABLE LOCATION, THE TRAVELING PUBLIC, THE LOCATION SHALL BE ADJUSTED AS DIRECTED BY THE ENGINEER.
- 704 THE CONTRACTOR IS TO REMOVE, RELOCATE OR COVER DURING CONSTRUCTION AND THEN RESET OR SIGN AND DELIMITATIONS, AS DIRECTED BY THE ENGINEER. SIGNS REQUIRING REMOVAL SHALL BE STOCKPILED AS DIRECTED BY THE ENGINEER AND SHALL BECOME PROPERTY OF THE ADOPT. COST SHALL BE A SUBSIDIARY OBLIGATION OF ITEM 740B.
- 705 DURING ALL PHASES OF WORK, NON-APPLICABLE PAVEMENT STRIPING OR MARKINGS SHALL BE REMOVED AND APPROPRIATE PAVEMENT STRIPING OR MARKINGS SHALL BE PLACED AS EXPEDITIOUSLY AS PRACTICAL, BUT IN ALL CASES, SHALL BE IN PLACE BY NIGHTFALL ON ANY ROADWAY CARRYING TRAFFIC, EXCEPT ON SHORT TERM OPERATIONS WHERE IT IS DETERMINED BY THE ENGINEER THAT SUCH REMOVAL AND REPLACEMENT IS MORE HAZARDOUS THAN LEAVING EXISTING MARKINGS IN PLACE. COST OF ANY REMOVAL SHALL BE PAID FOR UNDER ITEM 700 OR AS A SUBSIDIARY OBLIGATION OF ITEM 701C.
- 706 OMITTED
- 707 THE CONTRACTOR SHALL PLACE ALL ADVANCE WARNING SIGNS BEFORE PROCEEDING WITH HIS WORK. SIGNS SHALL BE PLACED IN ORDER, IN THE DIRECTION OF TRAFFIC AND REMOVED IN REVERSE ORDER.
- 708 ALL VEHICLES, EQUIPMENT, PERSONNEL (EXCEPT FLAGGERS), AND THEIR ACTIVITIES, ARE RESTRICTED AT ALL TIMES TO ONE SIDE OF THE PAVEMENT UNLESS OTHERWISE AUTHORIZED BY THE ENGINEER.
- 709 THE CONTRACTOR SHALL MAINTAIN AT LEAST ONE ACCESS TO BUSINESSES AND RESIDENCES DURING ALL PHASES OF CONSTRUCTION.
- 710 CONSTRUCTION SIGNS MOUNTED ON TEMPORARY SUPPORTS SHALL BE MOUNTED AT A MINIMUM HEIGHT OF 5 FEET.
- 711 FLAGGERS SHALL BE PROPERLY ATTARED, EQUIPPED WITH STAFF MOUNTED STOP/SLOW PLANKS IN SIGHT OF EACH OTHER, OR HAVE DIRECT COMMUNICATION AT ALL TIMES. FLAGGER STATION LOCATION MAY BE VARIED FROM THOSE SHOWN BASED ON ROADWAY ALIGNMENT AND CONDITIONS AT THE TIME OF THE LANE CLOSURE.
- 712 FLAGGERS ARE TO BE USED WHEN DIRECTED BY THE ENGINEER. SIGNS SHALL BE PLACED AT THE APPROPRIATE TIME, AND SHALL BE COVERED OR REMOVED WHEN FLAGGERS ARE NOT ON DUTY AND DURING NON-WORKING HOURS.
- 713 FOR MOBILE OPERATIONS, THE TRAFFIC CONES MAY BE DELETED IF THE FLAGGERS ARE IN SIGHT OF EACH OTHER, OR IF A PLOTT OAK IS USED ON A TWO LANE ROADWAY.
- 714 OMITTED
- 715 ALL CONTRACTOR'S EMPLOYEES' PERSONAL VEHICLES, AND CONTRACTOR'S EQUIPMENT NOT IN OPERATION, SHALL BE PARKED A MINIMUM OF THIRTY (30) FEET FROM THE TRAVELED WAY DURING WORKING HOURS, AS NOT TO CREATE A HAZARD.
- 716 THE TRAFFIC CONTROL PLAN IS NOT ALL INCLUSIVE. THE TOP PROVIDES SEVERAL DETAILED DRAWINGS INDICATING THE TRAFFIC CONTROL NECESSARY FOR THE DIFFERENT CONSTRUCTION ACTIVITIES ANTICIPATED FOR THIS PROJECT. THE CONTRACTOR SHALL SELECT THE DETAILED DRAWING THAT BEST FITS THE ACTIVITY TO BE PERFORMED.
- 717 OMITTED
- 718 REQUIRED TEMPORARY ROUTE MARKER ASSEMBLIES THAT ARE TO BE LOCATED IN THE VICINITY OF EXISTING ROUTE MARKERS SHOULD BE PLACED ALONG SIDE OF THOSE AHEAD IN PLACE. SOME EXISTING ROUTE MARKERS MAY HAVE TO BE COVERED OR REMOVED, AS DIRECTED BY THE ENGINEER. COST SHALL BE A SUBSIDIARY OBLIGATION OF ITEM 740B.
- 719 OMITTED
- 720 ALL TRAFFIC CONTROL DEVICES THAT ARE NOT APPLICABLE AT ANY SPECIFIC TIME SHALL BE COVERED OR REMOVED AS DIRECTED BY THE ENGINEER.
- 721 OMITTED
- 722 OMITTED
- 723 THE CONTRACTOR SHALL MAKE PROVISIONS FOR THE SAFETY OF PEDESTRIAN TRAFFIC CROSSING THE WORK ZONE DURING CONSTRUCTION.
- 724 OMITTED
- 725 ALL SIGNS SHALL BE POST-MOUNTED IF THE WORK PERIOD EXCEEDS FOUR DAYS, EXCEPT FOR THOSE SIGNS WHICH ARE MOUNTED ON BARRICADES. FOR REPEATED DAY OPERATIONS, SIGNS MAY BE MOUNTED ON TEMPORARY SUPPORTS AND REMOVED AT THE COMPLETION OF THE DAY'S OPERATION.
- 726 OMITTED
- 727 DURING THE WORKING OR RESURFACING OF ANY ROADWAY CARRYING TRAFFIC, THE CONTRACTOR SHALL ADVISE THE MOTORISTS OF ANY EDGE OF PAVEMENT DROP-OFFS 3 INCHES OR GREATER BY PLACING SHOULDER DROP-OFF SIGNS EVERY 1/2 MILE BEGINNING PRIOR TO THE BEGINNING OF RESURFACING. REQUIRED SHOULDER WORK TO ELIMINATE THE DROP-OFFS SHALL BE PURSUED IN AN EXPEDITIOUS MANNER FOLLOWING THE WORKING AND/OR RESURFACING.
- 728 A DIFFERENCE IN ELEVATION OF APPROXIMATELY 2 INCHES OR LESS AT THE CENTERLINE MAY BE ALLOWED DURING NON-WORKING HOURS WITHOUT ADDITIONAL TRAFFIC CONTROL. SPECIAL CONDITIONS MAY EXIST WHERE PROTECTION SHOULD BE PROVIDED WHERE THE DIFFERENCE IS 2 INCHES OR LESS. SIGNS ON TEMPORARY SUPPORTS ARE TO BE REMOVED OR COVERED WHEN NO WORK IS BEING PERFORMED OR AT THE COMPLETION OF THE DAY'S OPERATION.
- 729 OMITTED
- 730 OMITTED
- 731 CHANNELIZING DRUMS SHOULD BE PLACED ON 10 FOOT INTERVALS IN PAULI.
- 732 CHANNELIZING DRUMS PLACED TO PROTECT COMPLETED WORK NOT OPEN TO TRAFFIC, SHOULD BE SPACED AT 50 FOOT INTERVALS.
- 733 CHANNELIZING DRUMS PLACED IN THE EXCAVATED AREA AHEAD OF PAVING OPERATIONS, SHOULD BE SPACED AT 50 FOOT INTERVALS.
- 734 CHANNELIZING DRUMS PLACED ON PAVEMENT DURING WORKING HOURS SHALL BE SHIFTED TO THE EDGE OF SHOULDER DURING NON-WORKING HOURS AND DURING PEAK PERIODS.
- 735 CHANNELIZING DRUMS SHOULD BE PLACED ON 25 FOOT INTERVALS THROUGHOUT ALL TAPPERS.
- 736 CHANNELIZING DEVICES SHALL EXTEND TO A POINT WHERE THEY ARE VISIBLE TO APPROACHING TRAFFIC.
- 737 OMITTED
- 738 THE DIMENSIONS SHOWN IN THE TRAFFIC CONTROL SUMMARY BOX ARE CONSIDERED TO BE THE MINIMUM REQUIREMENT FOR HANDLING TRAFFIC AT ANY GIVEN TIME DURING CONSTRUCTION. LIGHTWEIGHT TYPE B WARNING LIGHTS (WEIGHING 3.3 POUNDS OR LESS) WITH DETACHABLE HEADS MAY BE USED ON DRUMS IN SPECIAL SITUATIONS AS SHOWN ON THE PLANS. TYPE B WARNING LIGHTS SHALL BE USED ON DRUMS IN SPECIAL SITUATIONS AS SHOWN ON THE PLANS. TYPE B WARNING LIGHTS (WEIGHING 3.3 POUNDS OR LESS) SHALL BE USED ON DRUMS IN SPECIAL SITUATIONS AS SHOWN ON THE PLANS. ANY HEAVYWEIGHT WARNING LIGHTS ON BARRICADES MUST BE CERTIFIED BY THE VENDOR AS TO CRASHWORTHINESS OF THE BARRICADE AND WARNING LIGHT COMBINATION.
- 739 FOR DIVIDED ROADWAYS, THE REQUIRED ADVANCE WARNING SIGNS SHALL BE POSTED ON BOTH THE RIGHT AND LEFT SIDE OF THE ROADWAY.
- 740 THE CONTRACTOR SHALL CLOSE THE LANE ADJACENT TO THE WORK AREA ANYTIME WORK OUTSIDE THE EXISTING TRAVEL LANES ENCOMPASSES WITHIN 2 FEET OF THE EXISTING EDGE OF PAVEMENT.
- 741 OMITTED
- 742 THE TRANSITION TAPER LENGTH (L) IS SHOWN IN TABLE 6C-4, AND THE BUFFER LENGTH IS SHOWN IN TABLE 6C-2 OF THE MUTCD, PART 6, 2009 EDITION.
- 743 OMITTED
- 744 UNOPEN LANE SIGNS SHALL BE COVERED OR REMOVED WHEN NO UNOPEN PAVEMENT CONDITIONS EXIST.
- 745 MOVING OPERATIONS SHALL BE CONFINED TO ONE LANE IN THE DIRECTION OF TRAFFIC.
- 746 OMITTED
- 747
- 748 R16-3 AND R16-3a SIGNS SHALL BE REQUIRED FOR EVERY PROJECT ON STATE ROUTES AND INTERSTATE HIGHWAYS. THEY SHALL BE POSTED AT THE BEGINNING AND END OF THE PROJECT. ADDITIONAL SIGN SHALLS SHALL BE POSTED AT MAXIMUM THREE MILE INTERVALS THROUGHOUT THE PROJECT LIMITS. ADDITIONAL R16-3 SIGNS SHALL BE REQUIRED WITH A W3-5b SIGN AND R2-1 SIGN WHENEVER A REDUCTION IN SPEED IS REQUIRED.
- 749 WHEN A CONSTRUCTION WORK ZONE SPEED LIMIT REDUCTION IS REQUIRED, THE CONTRACTOR SHALL COVER OR REMOVE THE R2-1 (REGULATORY SPEED SIGNS) AND THE W3-5b (REDUCED SPEED AHEAD) SIGNS AT THE END OF THE WORK DAY UNLESS OTHERWISE DIRECTED BY THE ENGINEER. DURING REPLACEMENT OF GABARIAL AND/OR GABARIAL END ANCHORS, A REFLECTORIZED DRUM WITH A LIGHTWEIGHT TYPE B WARNING LIGHT (WEIGHING 3.3 POUNDS OR LESS) SHALL BE PLACED BEFORE THE END OF ANY EXPOSED GABARIAL AT NIGHT WHERE THE GABARIAL END ANCHOR CANNOT BE REPLACED IN ONE DAY'S TIME.
- 750 CONSTRUCTION SIGNS MOUNTED ON A SINGLE OR DUAL SQUARE TUBULAR OR U-TUBULAR POST SHALL BE INSTALLED AS SHOWN ON SPECIAL DRAWINGS NOS. DW-0002B THROUGH DW-0002J. SINGLE OR DUAL 4 X 4 WOOD POSTS ARE OBSOLETE DRAWINGS.
- 751 THE CONTRACTOR AND THE CONSTRUCTION ENGINEER SHALL DISCUSS AND PLAN FOR THE HANDLING OF TRAFFIC FOR ALL HOLIDAYS BEFORE ANY WORK BEGINS. THE CONTRACTOR SHALL NOTIFY THE DIVISION ENGINEER, THE FOLLOWING SHALL HOLD:
- 752 THE CONTRACTOR SHALL NOT HAVE A LANE CLOSURE DURING THE FOLLOWING PERIODS UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR ADOPT:
- FOR CHRISTMAS AND NEW YEARS DAY: FROM 11:59 PM DECEMBER 23 THROUGH 11:59 PM JANUARY 2.
 - FOR NATIONAL MEMORIAL DAY AND LABOR DAY: FROM 12:00 NOON THE FRIDAY BEFORE THE HOLIDAY THROUGH 11:59 PM THE DAY OF THE HOLIDAY.
 - FOR INDEPENDENCE DAY (THE 4TH OF JULY): FROM 12:00 NOON THE DAY BEFORE THE HOLIDAY THROUGH 11:59 PM THE DAY OF THE HOLIDAY.
 - FOR THANKSGIVING DAY: FROM 12:00 NOON THE WEDNESDAY BEFORE THANKSGIVING DAY THROUGH 11:59 PM THE SUNDAY FOLLOWING THANKSGIVING DAY.
- ANY OTHER STATE HOLIDAYS WILL BE HANDLED AS APPROVED BY THE PROJECT ENGINEER.
- THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER AND LOCAL GOVERNMENT ON TRAFFIC AND/OR WORK RESTRICTIONS FOR LOCAL HOLIDAYS OR EVENTS NOT LISTED ON ADOPT'S LIST OF OFFICIAL STATE HOLIDAYS.

JOHN M. DOLLMERS
ARCHITECT

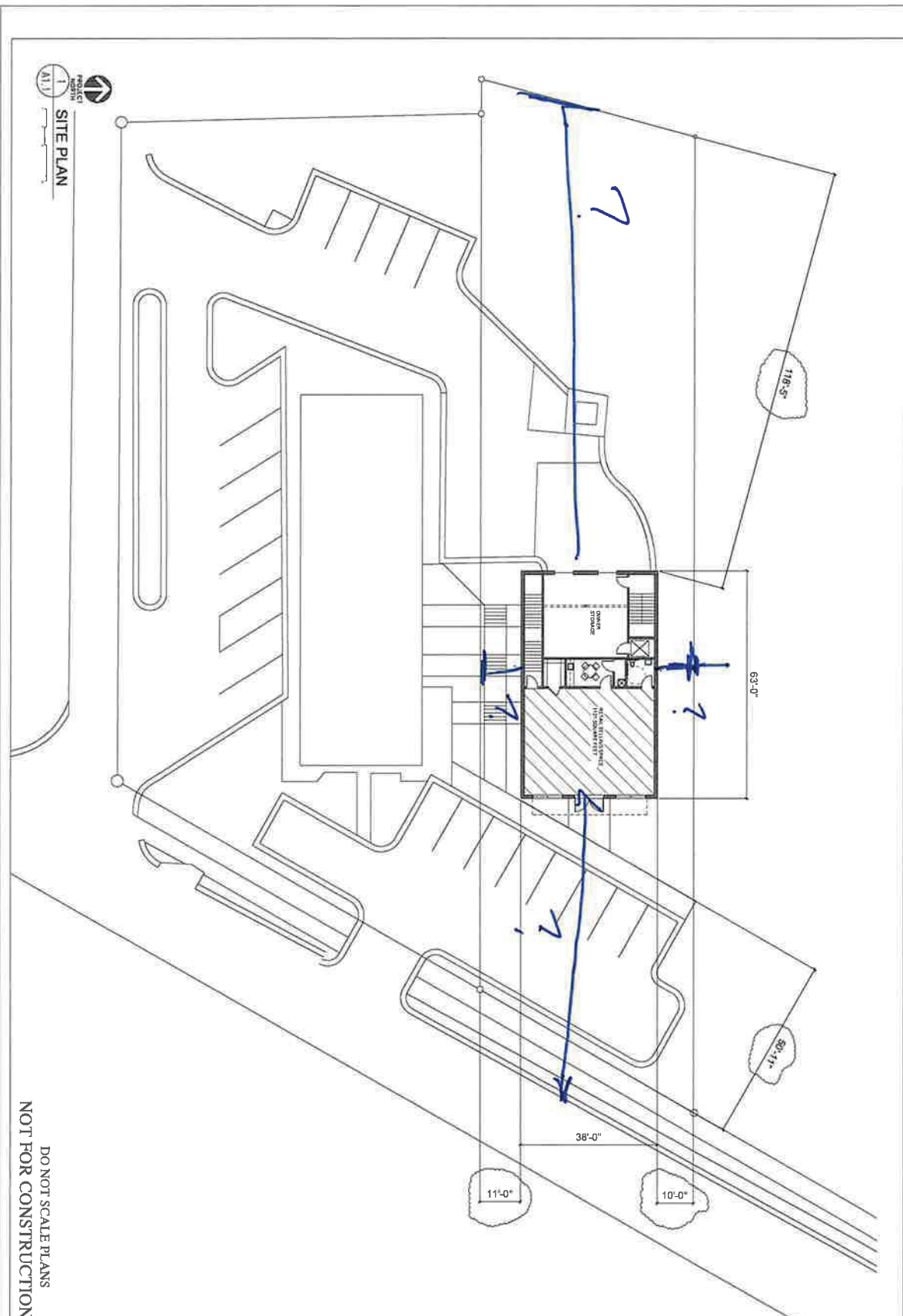
1230 RIVER ROAD
BIRMINGHAM, AL
205-988-1111
jmd@mcdolliers.com

Traffic Control
Notes

OWNER REVIEW
PROGRESS: PD-4-19

DATE	BY	REVISION
1905	KH	KH
C5.1	KH	**

ITM-PHASE II
DOLLY RIDGE ROAD, VESTAVIA, ALABAMA



PROJECT NO. 1905
 DATE: 01/11/11
 SHEET: A1.1A OF 01
 SITE PLAN

DO NOT SCALE PLANS
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PROJECT NO.	1905
DATE	01/11/11
SHEET	A1.1A OF 01
ZONING REQUEST	
REC-20-19	

1220 RIVER ROAD
 BIRMINGHAM, AL
 JOHN M. TOLMERS
 ARCHITECTS

ITM-PHASE II
 DOLLY RIDGE ROAD, VESTAVIA, ALABAMA





ITM-PHASE II
DOLLY RIDGE ROAD, VESTAVIA, ALABAMA

JOHN M. HOLMES
 ARCHITECT



1220 RIVER ROAD
 BIRMINGHAM, AL
 PHONE: 205.978.1111
 FAX: 205.978.1112
 WWW.JMH.Architect.com

SHEET TITLE

ZONING REQUEST
 (8-10-19)

DATE

PROJECT NO.

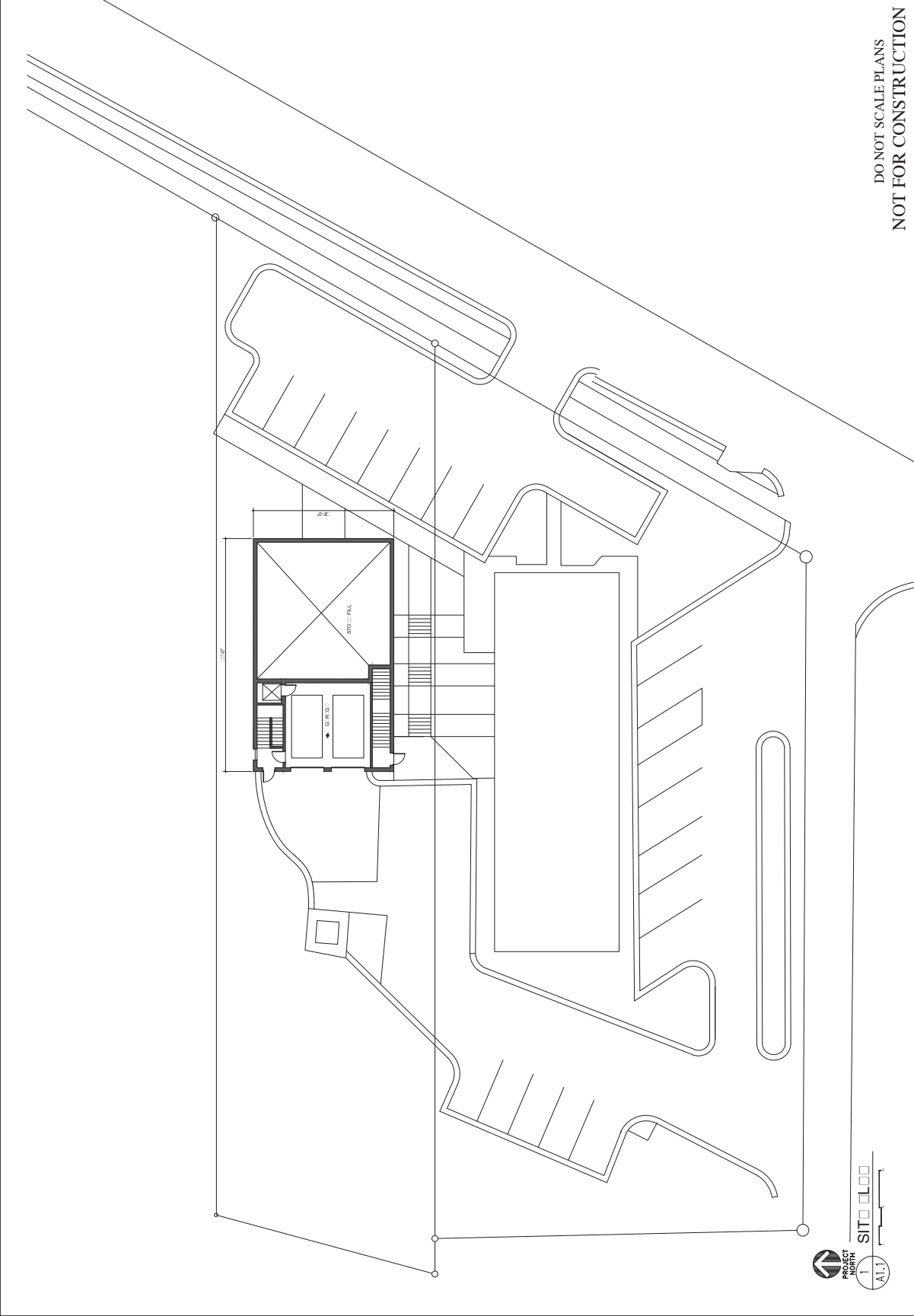
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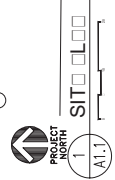
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ITM-PHASE II DOLLY RIDGE ROAD, VESTAVIA, ALABAMA

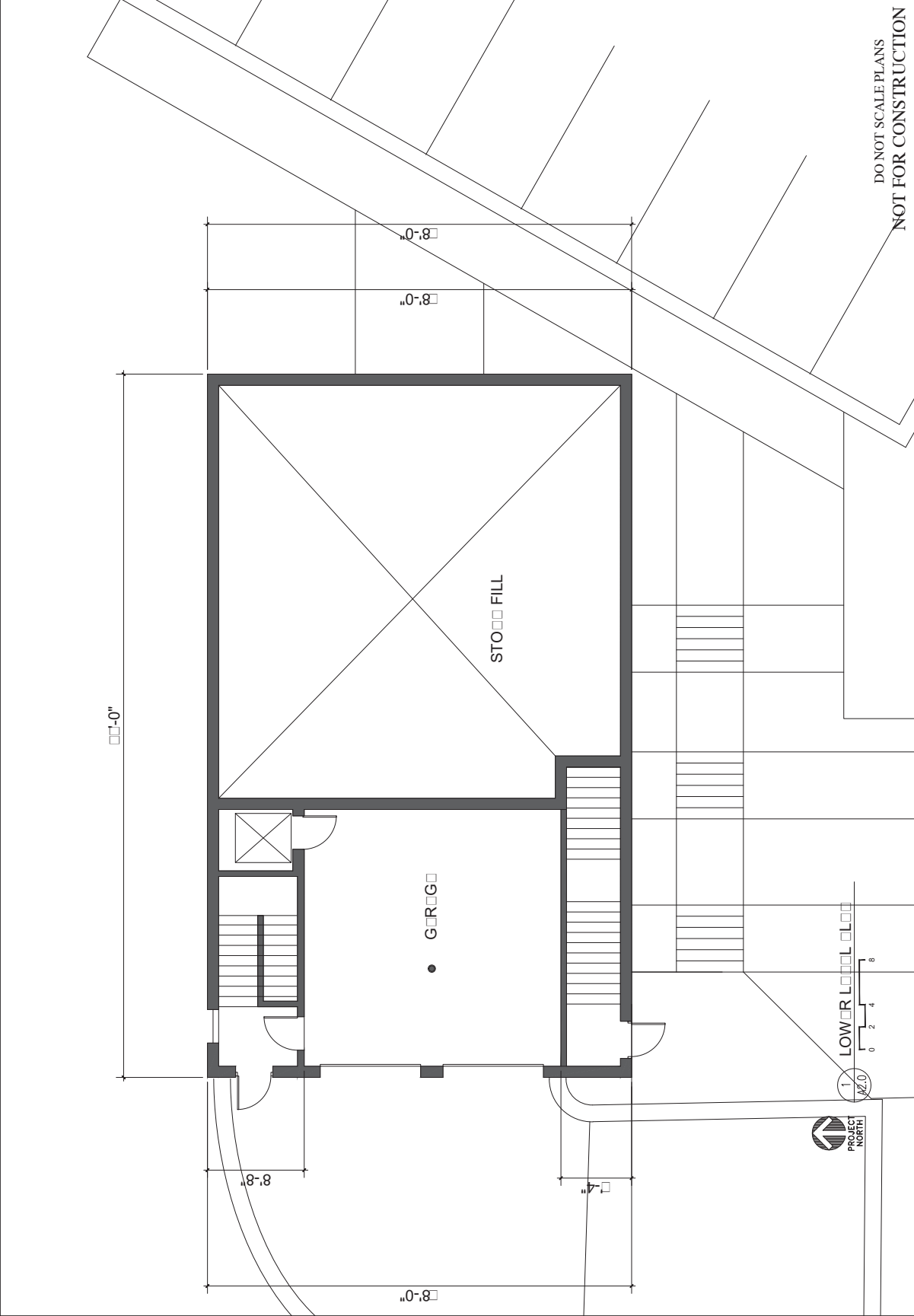
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BIRMINGHAM, AL
PROJECT NO. 1905

ZONING REQUEST
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1 LOWER LEVEL





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JOHN M. HOLMES
 ARCHITECT

1220 RIVER ROAD
 BIRMINGHAM, AL
 PHONE: 205.978.1111
 FAX: 205.978.1112
 WWW.JMHARCHITECTS.COM

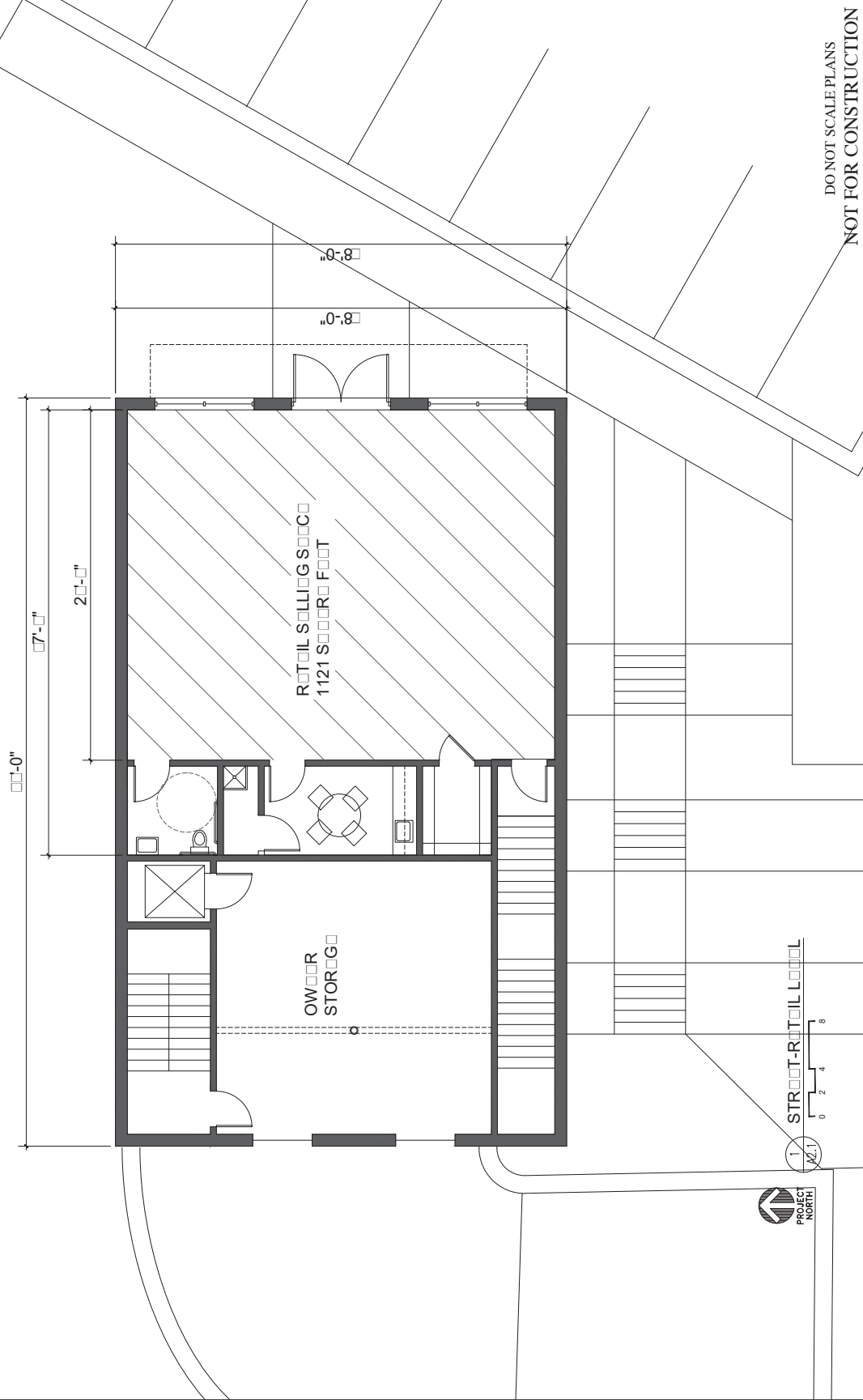
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DATE: 10/19/10

PROJECT NO: 1905

SHEET NO: 03

A2.1 OF 08



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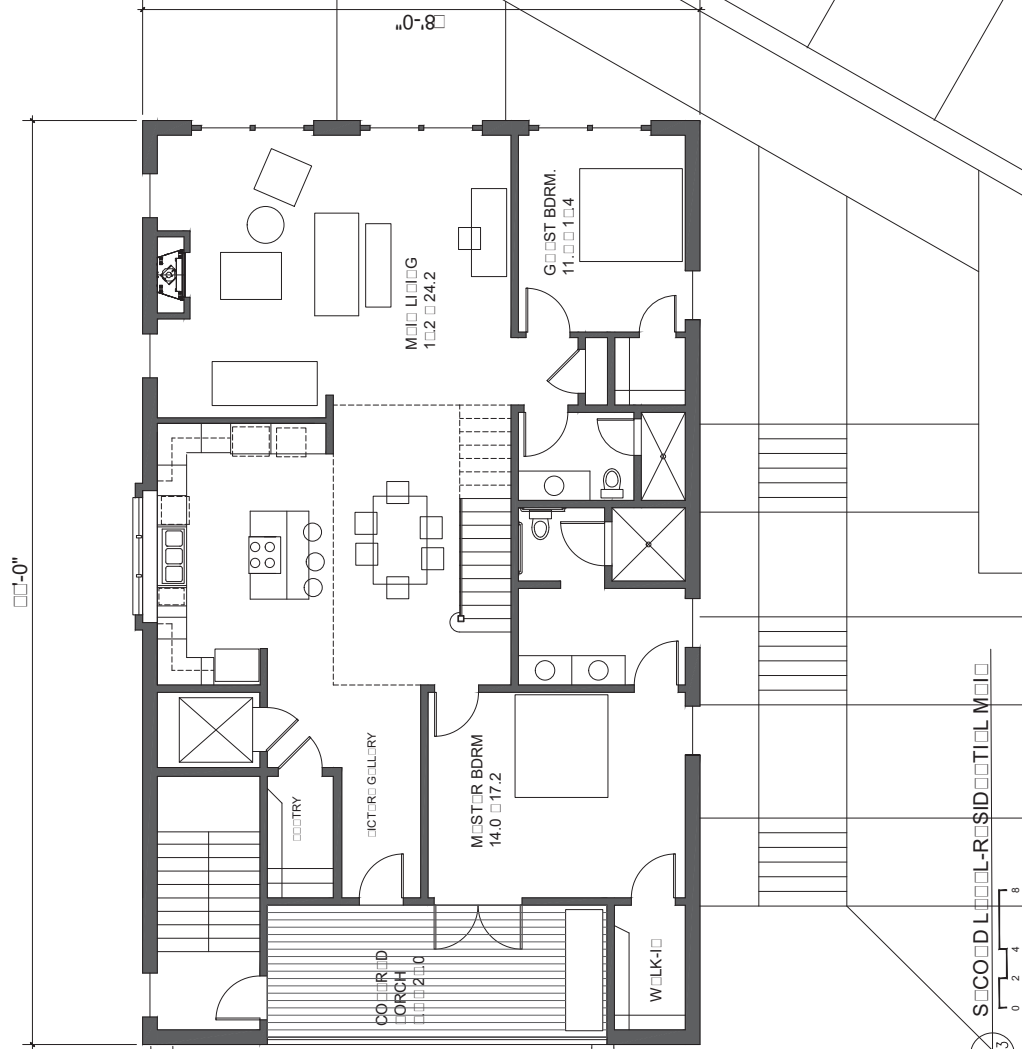
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 BIRMINGHAM, AL
 PHONE: 205.978.1111
 FAX: 205.978.1112
 WWW.JMHARCHITECTS.COM

ZONING REQUEST
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DATE: 10/19
 DRAWN: JMH
 CHECKED: JMH
 APPROVED: JMH

PROJECT NO:
 1905

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 A2.2 OF 08



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1 SECOND LOR SID TIL M





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 BIRMINGHAM, AL
 PHONE: 205.978.1111
 FAX: 205.978.1112
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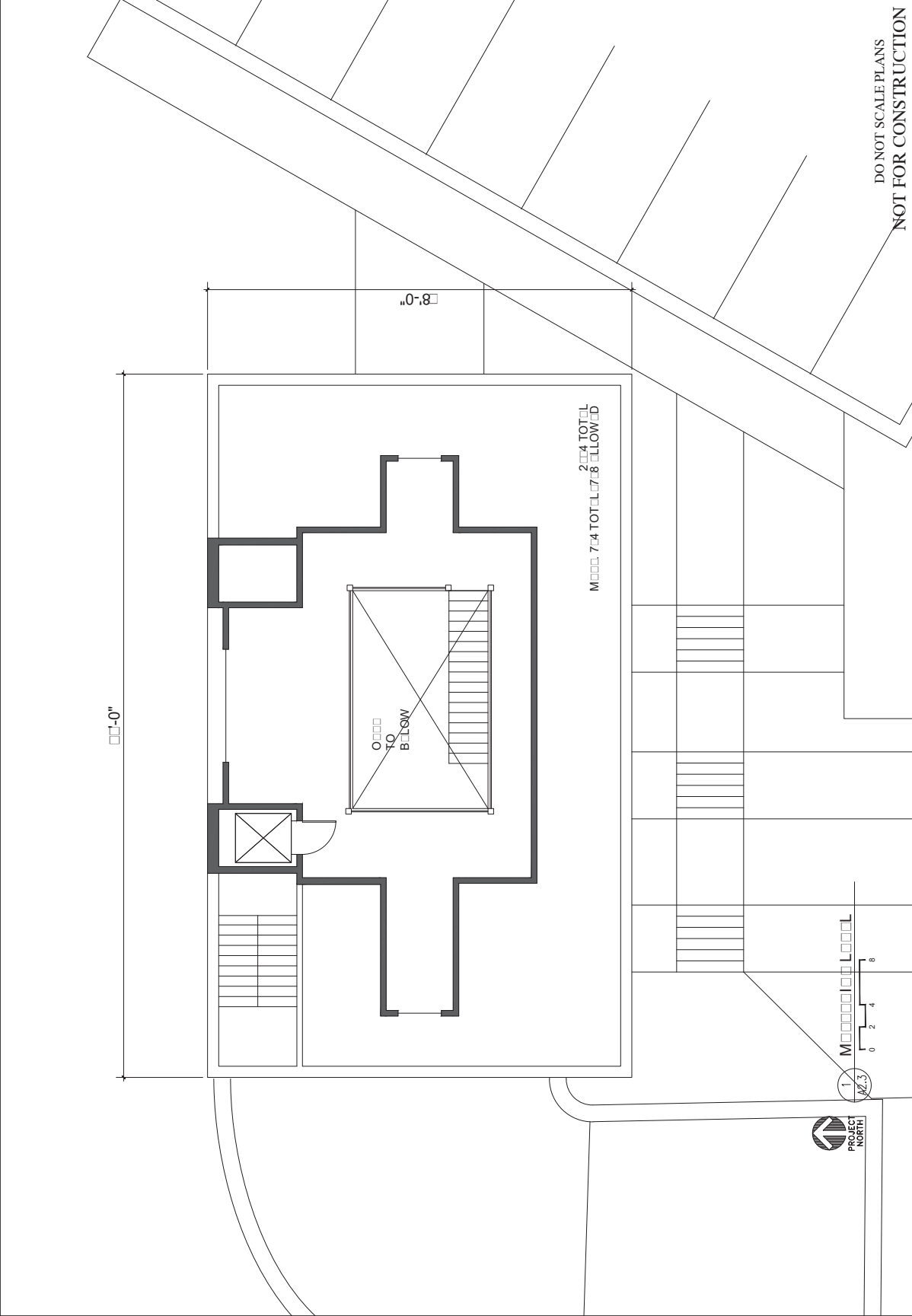
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ZONING REQUEST
 (8-10-19)

DATE	REVISION	BY

PROJECT NO.
1905

SHEET NO.
A2.3 OF **08**



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 M O O O 7'-4" TOTAL ALLOWED
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ITM-PHASE II DOLLY RIDGE ROAD, VESTAVIA, ALABAMA

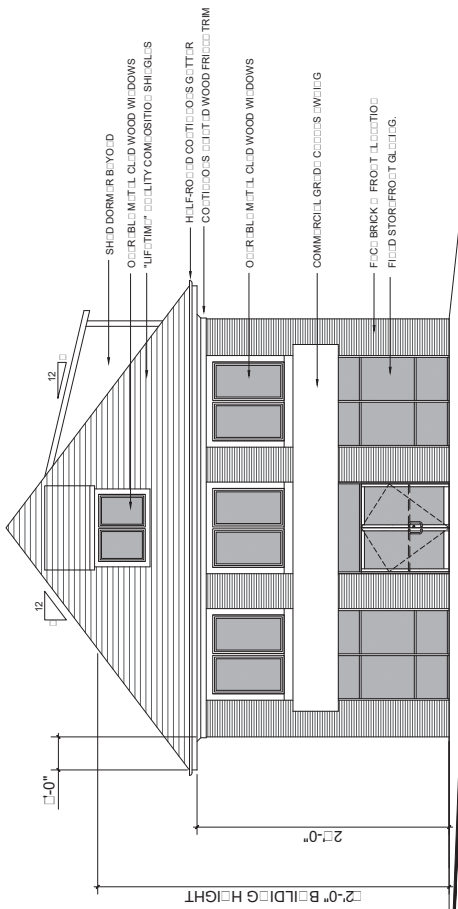
JOHN N. HOLMES
ARCHITECT

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BIRMINGHAM, AL
PROJECT NO. 1905

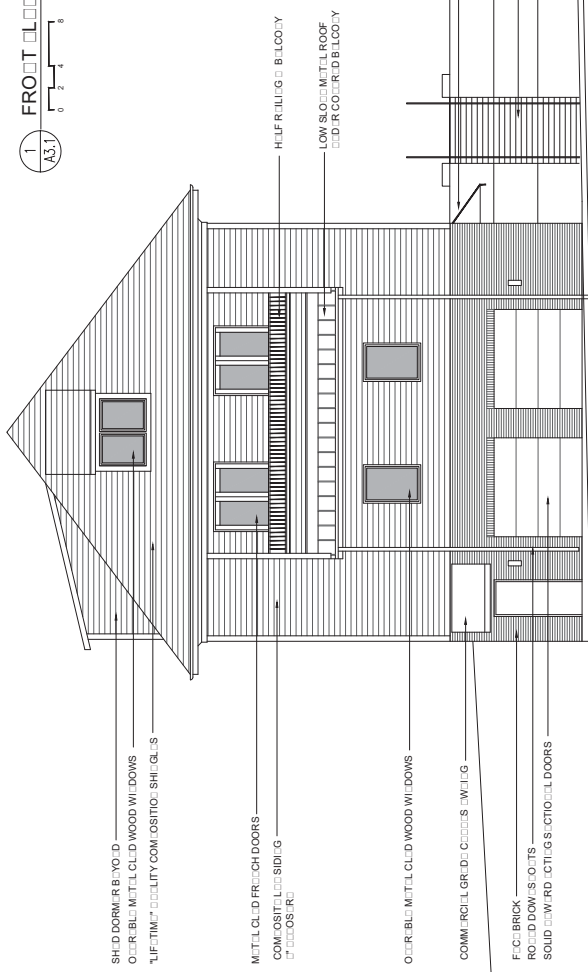
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R-1 (0-19)

DATE: 06/08

SHEET TITLE: A3.1 OF 08



1 FRONT ELEVATION DOLLY RIDGE
A3.1



2 REAR ELEVATION
A3.1

DO NOT SCALE PLANS
NOT FOR CONSTRUCTION



ITM-PHASE II DOLLY RIDGE ROAD, VESTAVIA, ALABAMA

JOHN N. HOLMES
ARCHITECT

1220 RIVER ROAD
BIRMINGHAM, AL
35202-1000
PHONE: 205-978-1100
FAX: 205-978-1101
WWW.JNHOLMESARCHITECT.COM

ZONING REQUEST
(8-10-19)

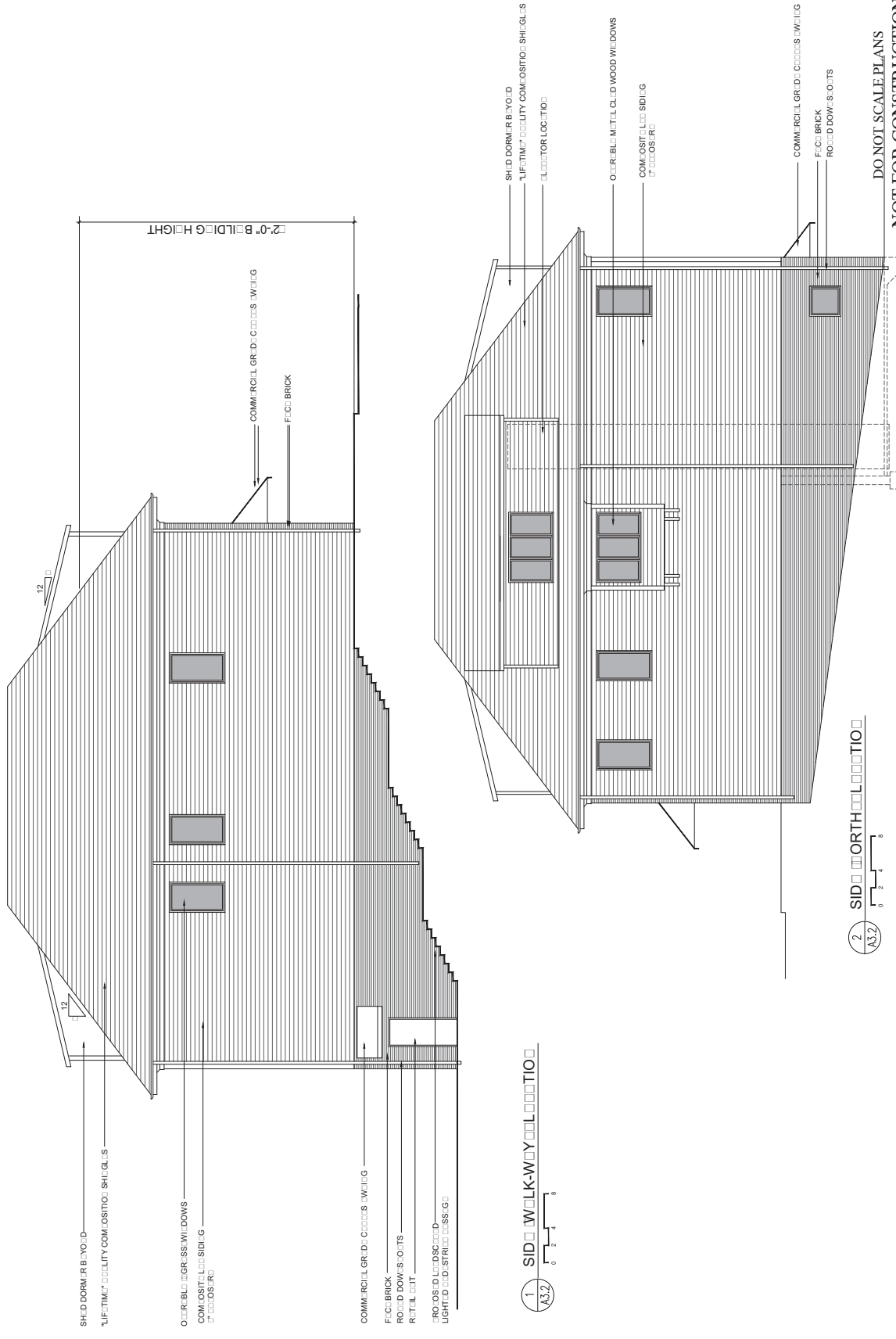
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PROJECT NO: 1905

DATE: 10/19/19



2 SIDE NORTH

DO NOT SCALE PLANS
NOT FOR CONSTRUCTION



ITM-PHASE II
DOLLY RIDGE ROAD, VESTAVIA, ALABAMA

JOHN M. HOLMES
ARCHITECT



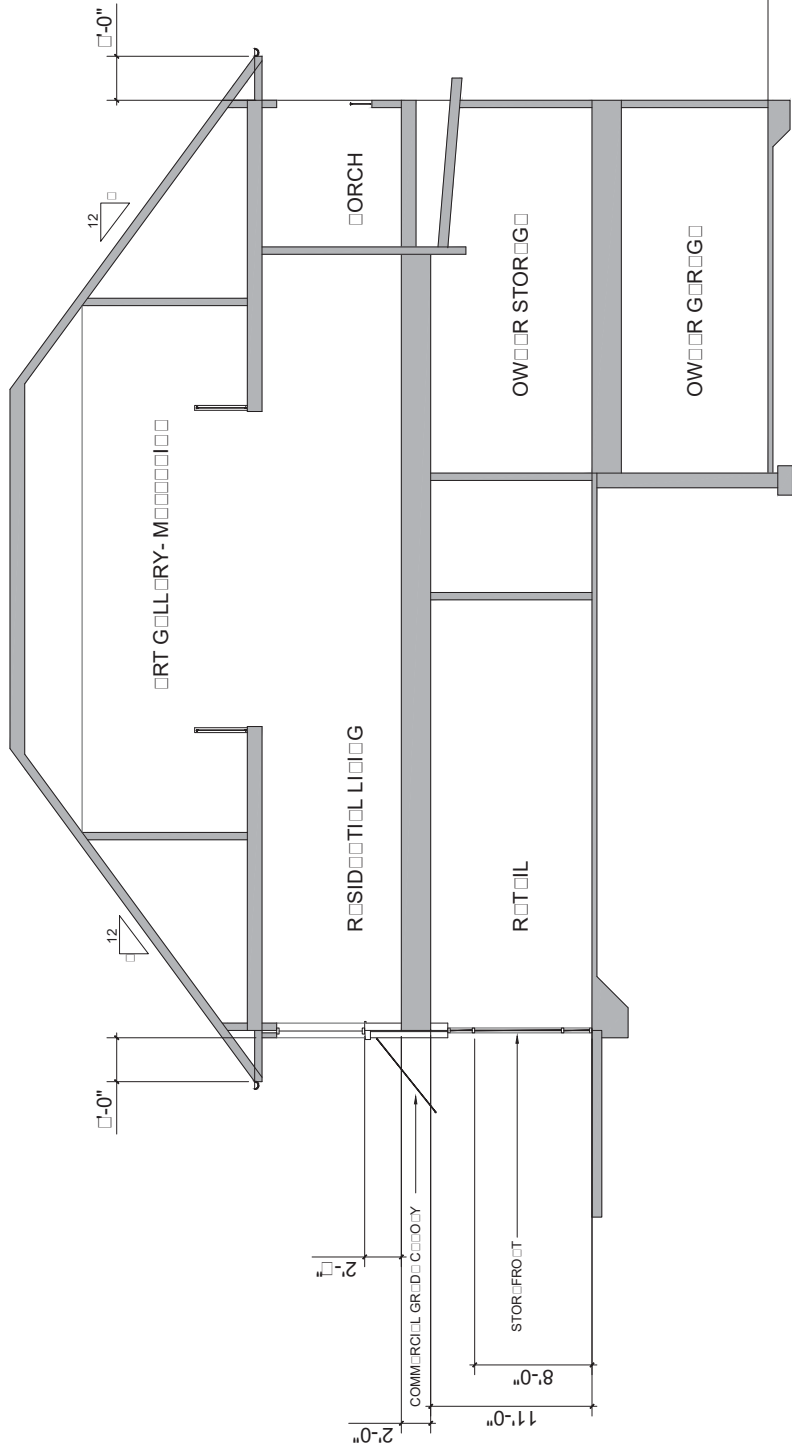
1220 RIVER ROAD
BIRMINGHAM, AL
PROJECT NO. 1905
SHEET TITLE

ZONING REQUEST
(8-10-19)

DATE
DRAWN: JMH
CHECKED: JMH
APPROVED: JMH

PROJECT NO.
1905

SHEET NO.
A4.1 OF **08**



1
A4.1
SCHMATIC BUILDING SECTION

DO NOT SCALE PLANS
NOT FOR CONSTRUCTION



ITM-PHASE II DOLLY RIDGE ROAD, VESTAVIA, ALABAMA

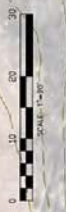
JOHN M. HOLMES
ARCHITECT
1230 RIVER ROAD
BIRMINGHAM, AL
35203-390-655
PH: 205.985.7978
WWW.JMHARCHITECT.COM

PROJECT NO.	1905
DATE	11/15/19
SCALE	1" = 10'
PROJECT	LANDSCAPE PLAN
DATE	11/15/19
SCALE	1" = 10'
PROJECT	LANDSCAPE PLAN



LEGEND

- Proposed Concrete paving
- Proposed Tree
- Proposed Containers
- Existing Vegetation



01 LANDSCAPE PLAN

SCALE: 1"=10'

Prepared by and when recorded return to:

Sarah P. Thomson
Leitman, Siegal & Payne, P.C.
420 North 20th Street, Suite 2000
Birmingham, Alabama 35203

STATE OF ALABAMA

COUNTY OF JEFFERSON

DECLARATION OF RESTRICTIVE COVENANTS

KNOW ALL PERSONS BY THESE PRESENTS, that:

WHEREAS, the undersigned, Timothy B. Higgins, is the owner of that certain real property located in Jefferson County, Alabama, more particularly described in Exhibit "A" attached hereto and by this reference incorporated herein (the "Property");

WHEREAS, the Property is currently classified as a mixed-use property as defined by the City of Vestavia Hills, Alabama Code of Ordinances; and

WHEREAS, the undersigned desires to subject said Property to the conditions, limitations, and restrictions hereinafter set forth.

NOW, THEREFORE, the undersigned does hereby expressly adopt the following restrictive covenants, conditions, and limitations for said Property, to-wit:

1. For as long as there is a residential dwelling on the Property, the residential dwelling on the Property shall be used or occupied exclusively as one (1) single-family dwelling.
2. The residential dwelling on the Property shall not be rented as an apartment.

[signature on the following page]

IN WITNESS WHEREOF, Timothy B. Higgins has caused this Declaration of Restrictive Covenants to be executed on this _____ day of _____, 2019.

TIMOTHY B. HIGGINS

STATE OF ALABAMA
COUNTY OF JEFFERSON

I, the undersigned, a Notary Public in and for said County in said State, hereby certify that TIMOTHY B. HIGGINS, whose name is signed to the foregoing instrument, and who is known to me, acknowledged before me on this day that, being informed of the contents thereof, he executed the same voluntarily on the day the same bears date.

Given under my hand and official seal this _____ day of _____, 2019.

Notary Public
My Commission Expires: _____

EXHIBIT "A"

A parcel of land situated in the Southeast one-quarter of the Northwest one-quarter of Section 22, Township 18 South, Range 2 West Jefferson County, Alabama, said parcel being a part of lot 8, Block B-1, according to the map of New Merkle Heights as recorded in Map Book 16, page 20 as recorded in the Office of the Judge of Probate Jefferson County, Alabama and being more particularly described as follows:

Begin at the Southwest corner of said lot 8 and run in a Northeasterly direction along the West line thereof for a distance of 61.00 feet to a set 5/8" capped rebar; thence leaving said West line, turn an interior angle of 105 degrees 10 minutes 08 seconds to the left and run in an Easterly direction for a distance of 269.87 feet to a found 5/8" capped rebar stamped (JAM) on the Northwestern-most right of way of Dolly Ridge Road (50' right of way); thence turn an interior angle of 59 degrees 54 minutes 23 seconds to the left and run in a Southwesterly direction along said right of way for a distance of 68.36 feet to a set 5/8" capped rebar, said point being the Southeast corner of said lot 8; thence leaving said right of way, turn an interior angle of 120 degrees 01 minutes 55 seconds to the left and run in a Westerly direction along the South line of said lot 8 for a distance of 251.55 feet to the POINT OF BEGINNING.

Subject Parcel

Cahaba Heights

Vestavia Hills | Alabama



Concepts

The project is a multi-phase, multi-story residential development in the heart of Cahaba Heights, Alabama. It is a prime location for a new residential development, offering a mix of housing options and amenities. The project is designed to be a vibrant, walkable community that integrates with the surrounding neighborhood.

Cahaba Heights is a vibrant, walkable community that integrates with the surrounding neighborhood. The project is designed to be a vibrant, walkable community that integrates with the surrounding neighborhood.

Great attention to detail is a key element of the project. The design team has worked closely with the client to ensure that every aspect of the development meets the highest standards of quality and craftsmanship.

Integrated landscaping and green spaces are a central focus of the project. The design team has incorporated a variety of plant species and tree types to create a lush, green environment that enhances the overall quality of life for residents.

The project is designed to be a vibrant, walkable community that integrates with the surrounding neighborhood. The design team has worked closely with the client to ensure that every aspect of the development meets the highest standards of quality and craftsmanship.

Accessible and inclusive design is a key element of the project. The design team has worked closely with the client to ensure that every aspect of the development meets the highest standards of quality and craftsmanship.

Sustainable and green building practices are a central focus of the project. The design team has incorporated a variety of sustainable materials and construction techniques to reduce the project's carbon footprint and create a more environmentally friendly living environment.

Quality and craftsmanship are a key element of the project. The design team has worked closely with the client to ensure that every aspect of the development meets the highest standards of quality and craftsmanship.

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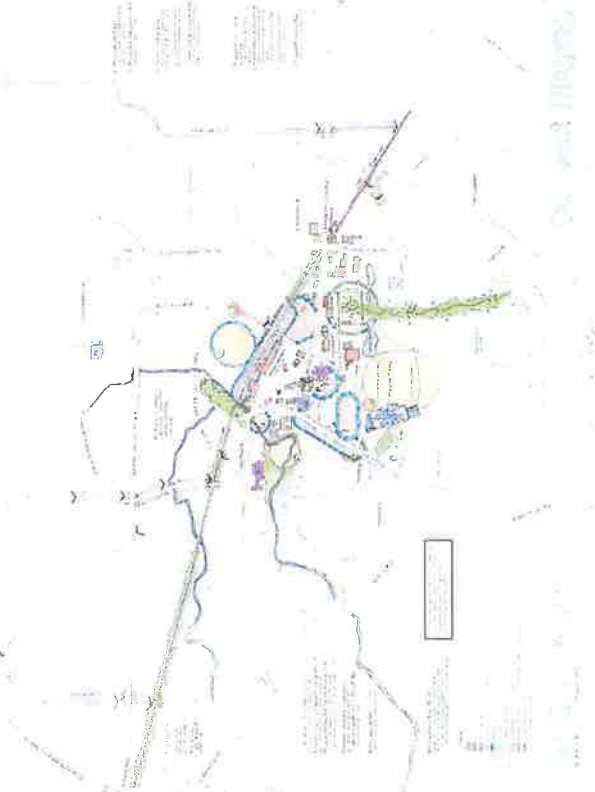
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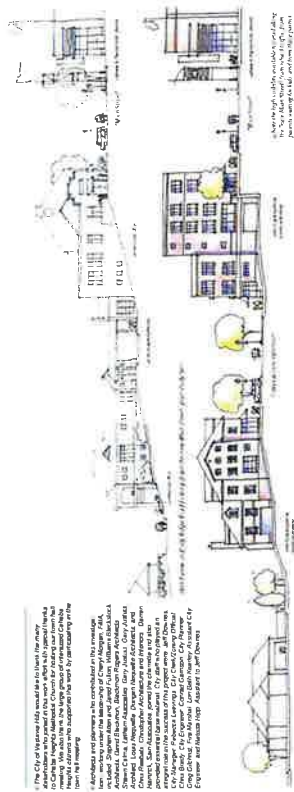


Location

The project is located in the heart of Cahaba Heights, Alabama, a vibrant, walkable community that integrates with the surrounding neighborhood. The site is a prime location for a new residential development, offering a mix of housing options and amenities.

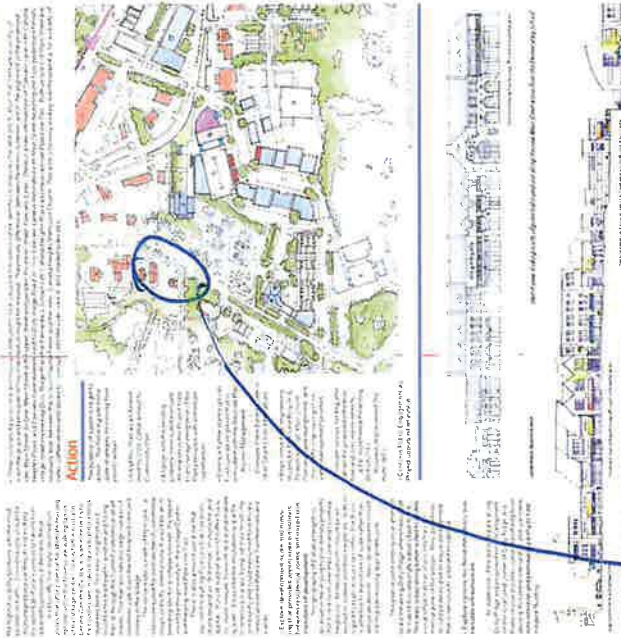
History of this project

The project has a rich history, starting with the initial conceptualization and planning stages. The design team has worked closely with the client to ensure that every aspect of the development meets the highest standards of quality and craftsmanship.

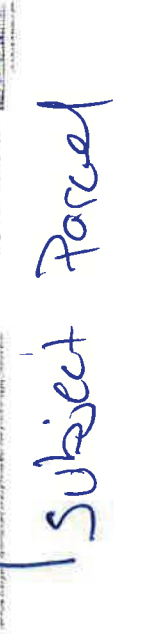


Goals & Principles
The project is designed to be a vibrant, walkable community that integrates with the surrounding neighborhood. The design team has worked closely with the client to ensure that every aspect of the development meets the highest standards of quality and craftsmanship.

Assets & Opportunities
The project offers a variety of assets and opportunities, including a mix of housing options, amenities, and a vibrant, walkable community that integrates with the surrounding neighborhood.

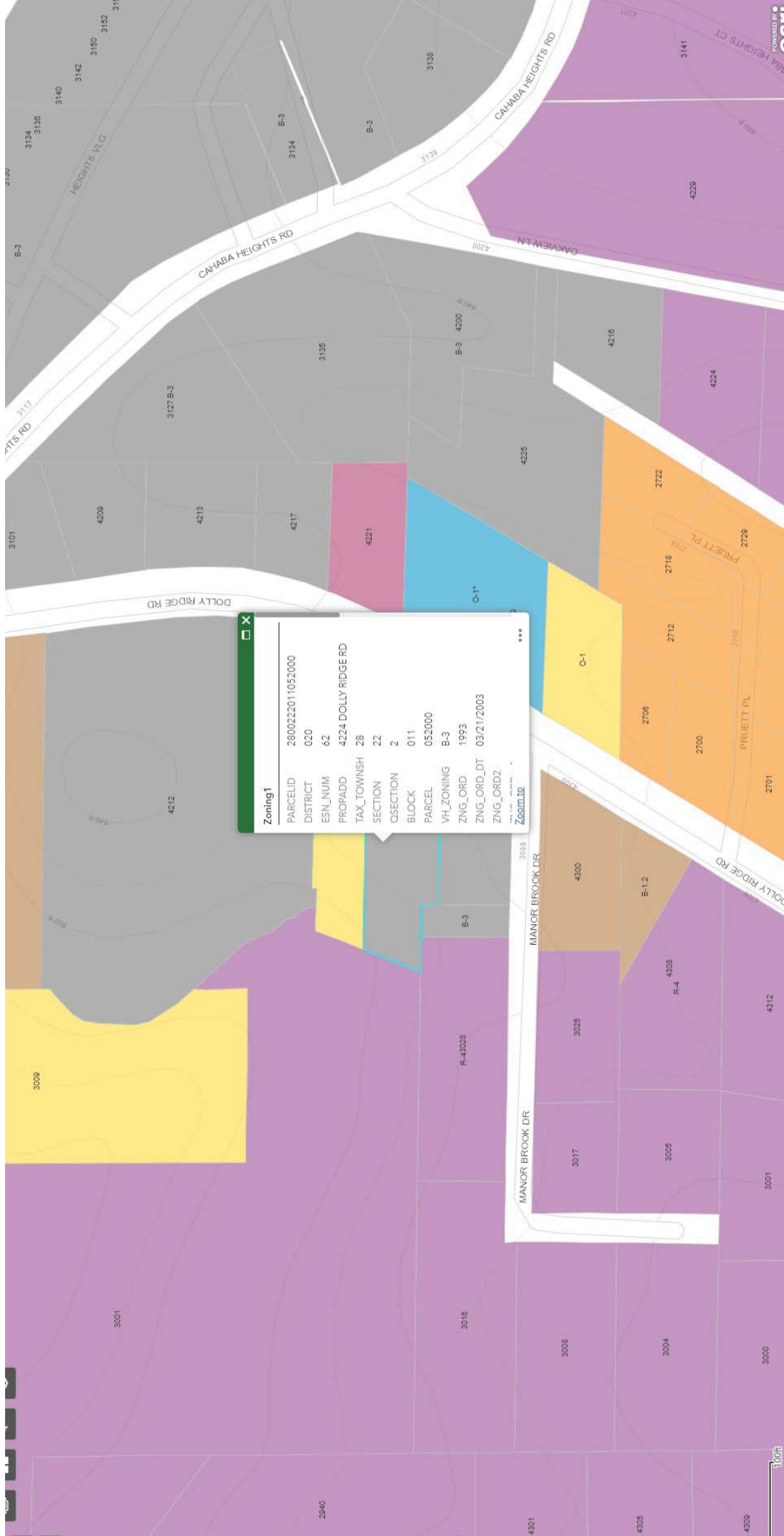


ACIION
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Subject Parcel



Zoning1

PARCELID	2800222011052000
DISTRICT	020
ESN_NUM	62
PROPADD	4224 DOLLY RIDGE RD
TAX_TOWNSH	28
SECTION	22
OSECTION	2
BLOCK	011
PARCEL	052000
VFL_ZONING	B-3
ZNG_ORD	1993
ZNG_ORD_DT	03/21/2003
ZNG_ORD2	

Zoom: 10