

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
AGENDA
MARCH 5, 2020
6:00 P.M.**

Roll Call.

Approval of minutes – February 6, 2020

- (1) **D-0320-06** City of Vestavia Hills is requesting **Final Review of Materials** for the property located at **3241 Cahaba Heights Rd.** The purpose of this request is for a new landscape plan. The property is owned by City of Vestavia Hills and is zoned Vestavia Hills Inst-1.
- (2) **D-0320-07** Barbour Associates, LLC is requesting **Architectural Review and Landscape Review** for the property located at **601 Vestavia Parkway.** The purpose of this request is for a new building. The property is owned by Barbour Associates, LLC and is zoned Vestavia Hills O-2.
- (3) **D-0320-08** Stone Creek Dental is requesting **Architectural Review, Landscape Review, and Final Review of Materials** for the property located at **1990 Southwood Rd.** The purpose of this request is for a new building. The property is owned by Stone Creek Dental and is zoned Vestavia Hills O-1.

Time of Adjournment.

CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
MINUTES

FEBRUARY 6, 2020

The Vestavia Hills Landscape and Architectural Control Board met in a regular session on this date at 6:00 PM. The roll was called with the following:

MEMBERS PRESENT: Robert Thompson, Chairman
Rip Weaver
David Giddens
Jeff Slaton
Mae Coshatt
Chris Pugh

MEMBERS ABSENT: Joe Ellis

OTHER OFFICIALS PRESENT: Conrad Garrison, City Planner

APPROVAL OF MINUTES

The minutes for January 2, 2020 were presented for approval.

MOTION Motion to dispense with the reading of the minutes for January 2, 2020 was made by Mrs. Coshatt and 2nd was by Mr. Weaver. Motion as carried on a voice vote as follows:

Mr. Pugh – yes	Mr. Weaver – yes
Mr. Slaton– yes	Mrs. Coshatt– yes
Mr. Giddens – yes	Mr. Thompson – yes
Motion carries.	

Landscaping Review

D-0718-19 Richard Pennino is requesting **Landscape Review** for the property located at **2301 Old Columbiana Rd.** The purpose of this request is for a new landscape plan. The property is owned by Richard Pennino and is zoned Vestavia Hills B-2.

Mr. Garrison described the background of the request and stated it was for a plant swap for trees that have failed on the site.

Mr. Pennino was present and requested to replace the dying trees with Form Ligustrum.

The Board agreed.

MOTION Motion to approve Landscape Review for the property located at 2301 Old Columbiana Rd. was made by Mrs. Coshatt. Second was made by Mr. Pugh. Voice vote as follows:

Mr. Pugh – yes	Mr. Weaver – yes
Mr. Slaton– yes	Mrs. Coshatt– yes
Mr. Giddens – yes	Mr. Thompson – yes
Motion carries.	

Architectural Review and Final Review of Materials

D-0220-03 Blue Water Properties, LLC is requesting **Architectural Review and Final Review of Materials** for the property located at **3164 Cahaba Heights Rd.** The purpose of this request is for a new building. The property is owned by Blue Water Properties, LLC and is zoned Vestavia Hills B-3.

Mr. Garrison described the background of the request and stated it was for a new bike shop/café in Cahaba Heights. He explained that landscaping would not be presented at this time due to potential improvements on Cahaba Heights Rd. and Pipeline Rd.

Chris Reebels and Nathaniel Bartlett were present and explained the plan.

The Board agreed with the designs.

MOTION Motion to approve Architectural Review and Final Review of Materials for the property located at 3164 Cahaba Heights Rd. was made by Mr. Slaton. Second was made by Mr. Weaver. Voice vote as follows:

Mr. Pugh – yes	Mr. Weaver – yes
Mr. Slaton– yes	Mrs. Coshatt– yes
Mr. Giddens – yes	Mr. Thompson – yes
Motion carries.	

Architectural Review and Final Review of Materials

D-0220-04 Vestavia Mabrook, LLC is requesting **Architectural Review and Final Review of Materials** for the property located at **708 Montgomery Hwy.** The purpose of this request is for a renovation of an existing building. The property is owned by Vestavia Mabrook, LLC., Inc and is zoned Vestavia Hills B-1.

Mr. Garrison described the background of the request and stated it was for the old Rite-Aid building at City Center.

Danny Trotter was present and explained the plan.

The Board agreed but wanted three foster hollies added along the building.

MOTION Motion to approve Architectural Review and Final Review of Materials with the addition of Foster Hollies for the property located at 708 Montgomery Hwy. was made by Mr. Giddens. Second was made by Mr. Weaver. Voice vote as follows:

Mr. Pugh – yes	Mr. Weaver – yes
Mr. Slaton– yes	Mrs. Coshatt– yes
Mr. Giddens – yes	Mr. Thompson – yes

Motion carries.

Architectural Review and Final Review of Materials

D-0220-05 Kelly Morgan is requesting **Architectural Review and Final Review of Materials** for the property located at **3168 Cahaba Heights Rd.** The purpose of this request is for a renovation of an existing building. The property is owned by Kelly Morgan and is zoned Vestavia Hills B-3.

Mr. Garrison described the background of the request and stated it was for re-skinning of an old building.

David Blackmon was present and explained the plan.

The Board agreed.

MOTION Motion to approve Architectural Review and Final Review of Materials for the property located at 3168 Cahaba Heights Rd. was made by Mr. Giddens. Second was made by Mr. Weaver. Voice vote as follows:

Mr. Pugh – yes	Mr. Weaver – yes
Mr. Slaton– yes	Mrs. Coshatt– yes
Mr. Giddens – yes	Mr. Thompson – yes

Motion carries.

Conrad Garrison
City Planner

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
APPLICATION**

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: City of Vestavia Hills - Fire station #5
Address: 1032 Montgomery Hwy
Vestavia Hills, Al. 35216
Phone #: 205-978-0225 Other #: 205-978-0246
E-Mail: sphillips@vhal.org

Billing/Responsible Party (This Section Must Be Completed)

Name: City of Vestavia Hills
Address: 1032 Montgomery Hwy
Vestavias Hills, Al. 35216
Phone #: 20-978-0225 Other #: _____
E-Mail: sphillips@vhal.org

Representing Attorney/Other Agent

Name: _____
Address: _____

Phone #: _____ Other #: _____
E-Mail: _____

II. DESCRIPTION OF PROPERTY:

LOCATION: 3241 Cahaba Heights Rd, Vestavia hills, Al.
Street Address
Fire Station #5
Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST:

- | | | |
|----|-------------------------------------|---------------------------|
| 1. | <input checked="" type="checkbox"/> | Preliminary Review |
| 2. | <input type="checkbox"/> | Landscape Review |
| 3. | <input type="checkbox"/> | Architectural Review |
| 5. | <input type="checkbox"/> | Final Review of Materials |
| 6. | <input type="checkbox"/> | Other - Explain _____ |
-

IV. PROCESS:

- | | | |
|----|-------------------------------------|---|
| 1. | <input type="checkbox"/> | New Building |
| 2. | <input checked="" type="checkbox"/> | Renovation of Existing Building |
| 3. | <input type="checkbox"/> | New Landscape Plan |
| 4. | <input type="checkbox"/> | Renovation to Existing Landscaping Plan |
| 7. | <input type="checkbox"/> | Other - Explain _____ |

V. ZONING

Vestavia Hills Zoning for the subject property is _____.

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. ***This application must be signed by the property owner before a Notary and the original application shall be submitted (no copies allowed).***

Owner Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this _____ day of _____, 20_____.

Notary Public

My commission expires _____
day of _____, 20_____.

Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

- General: Provide three copies and one digital copy (pdf format) of all drawings or plans required below for review. Drawings must be to scale. These drawings should be turned in with the application. Drawings shall be folded to size 8 ½” by 11”.
1. Architectural Review
 - a. Site plan showing roadways, entrances, exits and parking.
 - b. Building elevations showing construction material, material colors, context, and protrusions. Color rendering is preferred. Roof design must be detailed.
 - c. Presentation by architect or owner with knowledge of compatibility with adjacent structures, city context, etc.
 2. Landscape Review
 - a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
 - b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
 - c. Parking lots: Provide calculations of total square footage and square footage designated for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
 - d. Irrigation plan for all landscaped areas.
 - e. Statement of maintenance policy and provisions.



**For Colors reference only.
Fire station 1 on Hwy. 31 by Chick-Fil-A**



✓ FEATURED IN SCENE

SW 6108
Latte
Locator Number: 204-C3

✓ FEATURED IN SCENE

SW 2838
Polished Mahogany

SW 6160
Best Bronze
Locator Number: 210-C7

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample.

Sherwin-Williams is not responsible for the content and photos shared by users of their color selection tools.

Lettering above the vehicle bays will be either Red or Bronze color



Colors shown for this station are very similar to current colors on Station 1 on Hwy. 31.

All of the Red brick will remain the same.



✓ FEATURED IN SCENE

SW 6108
Latte
Locator Number: 204-C3

✓ FEATURED IN SCENE

SW 2838
Polished Mahogany

SW 6160
Best Bronze
Locator Number: 210-C7



Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample.

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Windows/Doors/Trim = Bronze color
as well as roof utilities = less noticeable

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
APPLICATION**

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: Barbour Associates, LLC

Address: PO Box 18153 Huntsville, Alabama 35804-8153

Phone #: 205-201-7300 Other #: _____

E-Mail: cgj@chasecommercial.com

Billing/Responsible Party (This Section Must Be Completed)

Name: Barbour Associates, LLC

Address: PO Box 18153 Huntsville, Alabama 35804-8153

Phone #: 205 201-7300 Other #: _____

E-Mail: cgj@chasecommercial.com

Representing Attorney/Other Agent

Name: Goodwyn Mills & Cawood, Architect

Address: 2701 1st Ave. S.

Birmingham, AL 35233

Phone #: 256-656-4796 Other #: _____

E-Mail: kevin.gokmen@gmcnetwork.com

II. DESCRIPTION OF PROPERTY:

LOCATION: 601 Vestavia Parkway, Vestavia Hills, AL 35216

Street Address

Koger Executive Center, Lot 3, Block 0

Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST:

- | | | |
|----|-------------------------------------|---------------------------|
| 1. | <input type="checkbox"/> | Preliminary Review |
| 2. | <input checked="" type="checkbox"/> | Landscape Review |
| 3. | <input checked="" type="checkbox"/> | Architectural Review |
| 5. | <input type="checkbox"/> | Final Review of Materials |
| 6. | <input type="checkbox"/> | Other - Explain _____ |
-

IV. PROCESS:

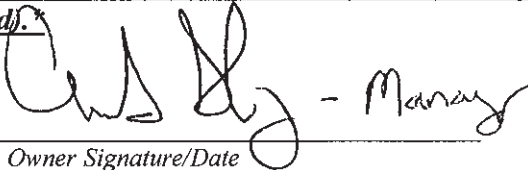
- | | | |
|----|-------------------------------------|---|
| 1. | <input type="checkbox"/> | New Building |
| 2. | <input checked="" type="checkbox"/> | Renovation of Existing Building |
| 3. | <input type="checkbox"/> | New Landscape Plan |
| 4. | <input type="checkbox"/> | Renovation to Existing Landscaping Plan |
| 7. | <input type="checkbox"/> | Other - Explain _____ |

V. ZONING

Vestavia Hills Zoning for the subject property is O-2.

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. **This application must be signed by the property owner before a Notary and the original application shall be submitted (no copies allowed).**

 - Mary

Owner Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this 10th day of Feb., 2020.


Notary Public

My commission expires July
day of 25th, 2023.

Alisha E. Fowler
Notary Public, Alabama State At Large
My Commission Expires July 25 2023

Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

- General: Provide three copies and one digital copy (pdf format) of all drawings or plans required below for review. Drawings must be to scale. These drawings should be turned in with the application. Drawings shall be folded to size 8 ½" by 11".
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 - a. Site plan showing roadways, entrances, exits and parking.
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 - c. Presentation by architect or owner with knowledge of compatibility with adjacent structures, city context, etc.
 2. Landscape Review
 - a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
 - b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
 - c. Parking lots: Provide calculations of total square footage and square footage designated for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
 - d. Irrigation plan for all landscaped areas.
 - e. Statement of maintenance policy and provisions.



2701 1st Avenue S
 Birmingham, AL 35233
 T 205.879.4462
 OMCNETWORK.COM

ISSUE DATE	FINAL SUBMISSION	CHECKED BY	DRAWN BY

GENERAL NOTES
 RENOVATIONS TO THE BARBOUR BUILDING - EXTERIOR ELEVATIONS AND CIRCULATION CORE
 VESTALIA HILLS, ALABAMA
 AHUM190008 - PHASE 1
 2-22-2020
 PROJECT NO. 000

Best Management Practices Notes

- ALL BEST MANAGEMENT PRACTICES SHALL BE REQUIRED AND MAINTAINED BY THE CONTRACTOR THROUGH THE CONSTRUCTION PERIOD. ALL BEST MANAGEMENT PRACTICES SHALL BE REQUIRED TO REMAIN THROUGHOUT THE CONSTRUCTION PERIOD UNLESS OTHERWISE NOTED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND MAINTAINING ALL NECESSARY PERMITS AND STANDARDS FROM THE ALABAMA SOIL AND WATER CONSERVATION COMMISSION, THE ALABAMA POLLUTION CONTROL BOARD, THE ALABAMA DEPARTMENT OF ENVIRONMENTAL AFFAIRS, THE ALABAMA CHAPTER OF THE SOIL AND WATER CONSERVATION SOCIETY THROUGH THE COUNTY SOIL AND WATER CONSERVATION DISTRICT OFFICE, THE ALABAMA CHAPTER OF THE SOIL AND WATER CONSERVATION SOCIETY (http://www.socwaterconservation.org) AND THE ALABAMA CHAPTER OF THE NATIONAL POLLUTION CONTROL BOARD THROUGH THE COUNTY SOIL AND WATER CONSERVATION DISTRICT OFFICE IN EACH COUNTY.
- THE MAINTENANCE OF ALL BEST MANAGEMENT PRACTICES, SO AS TO BE AN EFFECTIVE BARRIER TO POLLUTANTS FROM THE CONSTRUCTION SITE, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR THROUGHOUT THE CONSTRUCTION PERIOD. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED AND MONITORED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR, REPLACEMENT, AND/OR SUPPLEMENTATION OF ANY CONTROL MEASURES SHOWING DEFICIENCIES. ALL BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- OTHER THAN LAND-CLEARING ACTIVITIES REQUIRED TO INSTALL THE APPROPRIATE BMP IN ACCORDANCE WITH THE ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL, AND STORM WATER MANAGEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ALL BMPs THROUGHOUT THE CONSTRUCTION PERIOD. ALL BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR, REPLACEMENT, AND/OR SUPPLEMENTATION OF ANY CONTROL MEASURES SHOWING DEFICIENCIES. ALL BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE WHICH CAN BE MAINTAINED WITHOUT THE NECESSITY OF EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL BEST MANAGEMENT PRACTICES THROUGHOUT THE CONSTRUCTION PERIOD. ALL BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR, REPLACEMENT, AND/OR SUPPLEMENTATION OF ANY CONTROL MEASURES SHOWING DEFICIENCIES. ALL BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- ALL HAZARDOUS SUBSTANCES USED FOR THIS PROJECT (PAINT, OIL, GREASE, AND OTHER RETAILER PRODUCTS) SHALL BE STORED IN ACCORDANCE WITH SPECIFICATIONS. THESE SUBSTANCES SHALL BE STORED IN A SECURE, ENCLOSED, AND LOCKED AREA. ALL HAZARDOUS SUBSTANCES SHALL BE STORED IN A SECURE, ENCLOSED, AND LOCKED AREA. ALL HAZARDOUS SUBSTANCES SHALL BE STORED IN A SECURE, ENCLOSED, AND LOCKED AREA. ALL HAZARDOUS SUBSTANCES SHALL BE STORED IN A SECURE, ENCLOSED, AND LOCKED AREA. ALL HAZARDOUS SUBSTANCES SHALL BE STORED IN A SECURE, ENCLOSED, AND LOCKED AREA.
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- DISTURBED AREA = 0.22 A.C. Acres
- APPROXIMATE START DATE: MARCH 2020 APPROXIMATE END DATE: MARCH 2021
- EXISTING SITE CONDITIONS: EXISTING OFFICE BUILDING WITH ASSOCIATED PARKING LOTS, UTILITIES, AND STORM WATER SYSTEM.
- CONTAINER STORAGE: ALL CONTAINERS SHALL BE PROPERLY LIDED AND STORED TO RAIN AND STORMWATER. ALL CONTAINERS SHALL BE STORED CLOSED OR IN COVER. ALL EXCESS OR WASTE MATERIAL SHALL BE STORED IN A CONTAINER. ALL CONTAINERS SHALL BE PROPERLY LIDED AND STORED TO RAIN AND STORMWATER. ALL CONTAINERS SHALL BE STORED CLOSED OR IN COVER. ALL EXCESS OR WASTE MATERIAL SHALL BE STORED IN A CONTAINER. ALL CONTAINERS SHALL BE PROPERLY LIDED AND STORED TO RAIN AND STORMWATER.
- STORM WATER MANAGEMENT: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL BEST MANAGEMENT PRACTICES THROUGHOUT THE CONSTRUCTION PERIOD. ALL BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR, REPLACEMENT, AND/OR SUPPLEMENTATION OF ANY CONTROL MEASURES SHOWING DEFICIENCIES. ALL BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
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General Notes

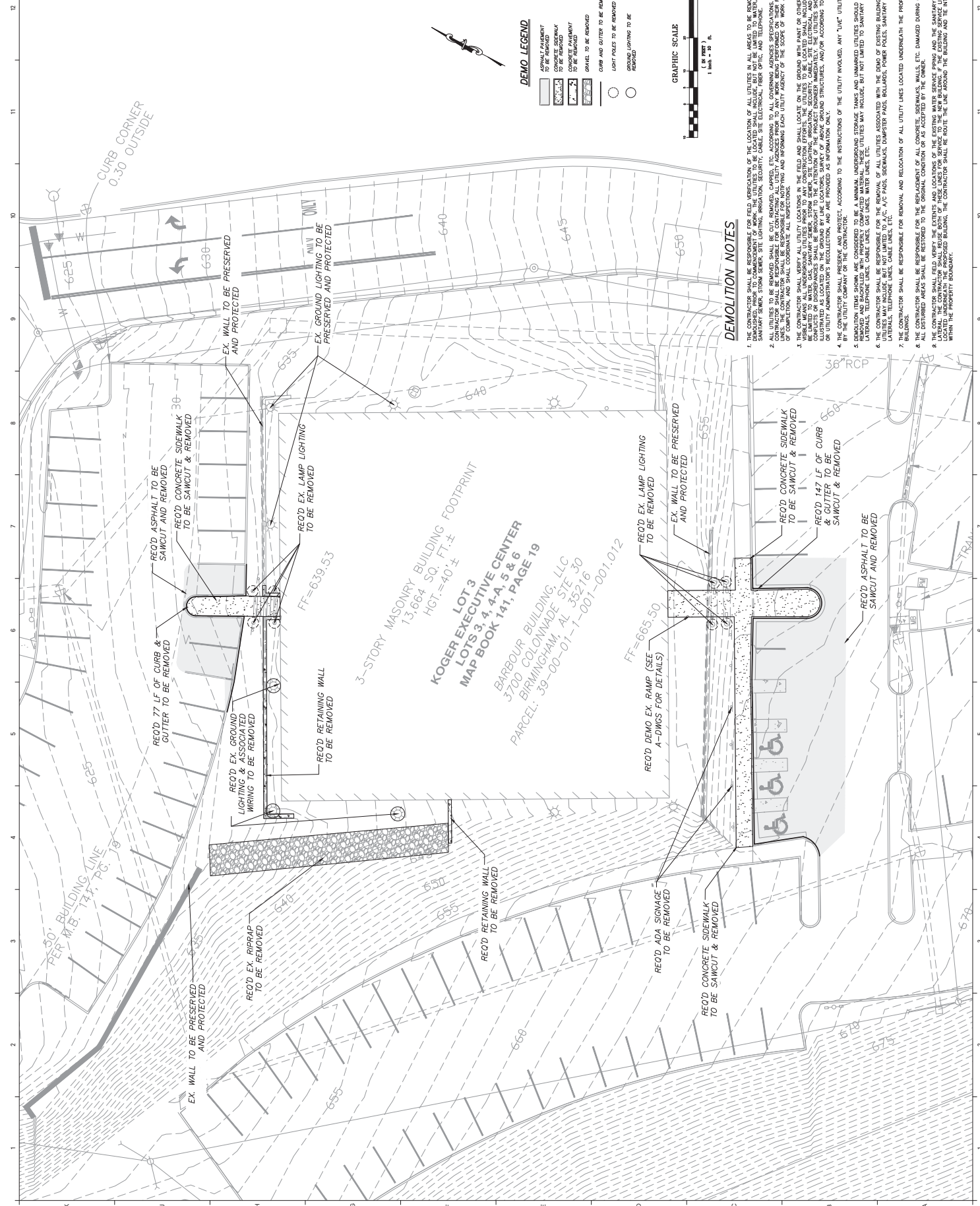
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND CONDITIONS OF ALL UTILITIES TO BE UTILIZED FOR CONSTRUCTION SHALL INCLUDE USES: STORM, SEWER, AND SANITARY SERVICES PRIOR TO PROCEEDING WITH CONSTRUCTION. ALL UTILITIES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ANY LOCATIONS OF UNDETECTED UTILITIES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL BEST MANAGEMENT PRACTICES THROUGHOUT THE CONSTRUCTION PERIOD. ALL BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR, REPLACEMENT, AND/OR SUPPLEMENTATION OF ANY CONTROL MEASURES SHOWING DEFICIENCIES. ALL BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
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Demolition Notes

- ALL ON-SITE EXISTING UTILITIES NOT TO BE USED SHALL BE REMOVED. CONTRACTOR SHALL UTILITIES WITH APPROPRIATE UTILITY COMPANY FOR THE REMOVAL AND DISCONNECTION OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES IN ALL AREAS TO BE REMOVED OR DEMOLISHED PRIOR TO COMMENCEMENT OF WORK. THE UTILITIES TO BE LOCATED SHALL BE IDENTIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES IN ALL AREAS TO BE REMOVED OR DEMOLISHED PRIOR TO COMMENCEMENT OF WORK.
- ALL UTILITIES TO BE REMOVED SHALL BE CUT, REMOVED, CAPPED, ETC. ACCORDING TO ALL GOVERNING REGULATIONS AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES IN ALL AREAS TO BE REMOVED OR DEMOLISHED PRIOR TO COMMENCEMENT OF WORK. THE UTILITIES TO BE LOCATED SHALL BE IDENTIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES IN ALL AREAS TO BE REMOVED OR DEMOLISHED PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS IN THE FIELD AND SHALL LOCATE ON THE CONSTRUCTION SITE. ALL UTILITIES TO BE REMOVED SHALL BE IDENTIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES IN ALL AREAS TO BE REMOVED OR DEMOLISHED PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL PRESERVE AND PROTECT, ACCORDING TO THE INSTRUCTIONS OF THE UTILITY COMPANIES, ALL UTILITIES TO REMAIN ON THE CONSTRUCTION SITE.
- ALL EXCESS OR WASTE MATERIAL SHALL BE STORED IN A CONTAINER. ALL CONTAINERS SHALL BE PROPERLY LIDED AND STORED TO RAIN AND STORMWATER. ALL CONTAINERS SHALL BE STORED CLOSED OR IN COVER. ALL EXCESS OR WASTE MATERIAL SHALL BE STORED IN A CONTAINER.

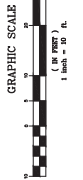
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RENOVATIONS TO THE BARBOUR BUILDING - EXTERIOR ELEVATIONS AND CIRCULATION CORE
 AHUN190008 - PHASE 1
 VICTORIA HILLS, ALABAMA
 ANNE ARUNDEL COUNTY, MARYLAND



DEMO LEGEND

[Symbol]	UTILITY FOOTPRINT
[Symbol]	CONCRETE SIDEWALK TO BE REMOVED
[Symbol]	ASPHALT TO BE REMOVED
[Symbol]	ASPHALT TO BE PRESERVED
[Symbol]	GRAVEL TO BE REMOVED
[Symbol]	GRAVEL TO BE PRESERVED
[Symbol]	LOW WALLS TO BE REMOVED
[Symbol]	LOW WALLS TO BE PRESERVED
[Symbol]	GROUND LIGHTING TO BE REMOVED
[Symbol]	GROUND LIGHTING TO BE PRESERVED



DEMOLITION NOTES

- 1 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF THE LOCATION OF ALL UTILITIES IN ALL AREAS TO BE DEMOLISHED OR DAMAGED PRIOR TO COMMENCEMENT OF WORK. THESE UTILITIES TO BE LOCATED SHALL INCLUDE, BUT NOT BE LIMITED TO WATER, GAS, SANITARY SEWER, STORM SEWER, SITE LIGHTING, IRRIGATION, SECURITY CABLES, SITE ELECTRICAL, FIBER OPTIC, AND TELEPHONE.
- 2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY AGENCIES PRIOR TO ANY WORK BEING PERFORMED ON THEIR RESPECTIVE PROPERTY. THIS NOTIFICATION SHALL BE IN WRITING AND SHALL INCLUDE ALL INFORMATION AND INSTRUCTIONS REQUIRED BY EACH UTILITY AGENCY TO PROTECT AND PRESERVE ALL UTILITIES TO REMAIN AND TO BE MAINTAINED THROUGHOUT THE COURSE OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS IN THE FIELD AND SHALL LOCATE ON THE GROUND WITH PLANT OR OTHER EARLY DETECTION METHODS. THESE UTILITIES SHALL BE IDENTIFIED BY UTILITY AGENCIES PRIOR TO ANY WORK BEING PERFORMED ON THEIR RESPECTIVE PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY AGENCIES PRIOR TO ANY WORK BEING PERFORMED ON THEIR RESPECTIVE PROPERTY. THESE UTILITIES SHALL BE IDENTIFIED BY UTILITY AGENCIES PRIOR TO ANY WORK BEING PERFORMED ON THEIR RESPECTIVE PROPERTY.
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- 7 THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND RELOCATION OF ALL UTILITIES LOCATED UNDERNEATH THE PROPOSED DEMOLITION AREAS. THESE UTILITIES SHALL BE IDENTIFIED BY UTILITY AGENCIES PRIOR TO ANY WORK BEING PERFORMED ON THEIR RESPECTIVE PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY AGENCIES PRIOR TO ANY WORK BEING PERFORMED ON THEIR RESPECTIVE PROPERTY. THESE UTILITIES SHALL BE IDENTIFIED BY UTILITY AGENCIES PRIOR TO ANY WORK BEING PERFORMED ON THEIR RESPECTIVE PROPERTY.
- 8 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIRMENT OF ALL CONCRETE, SIDEWALKS, WALLS, ETC. DAMAGED DURING CONSTRUCTION. ALL DAMAGED AREAS SHALL BE RESTORED TO THE ORIGINAL CONDITION OR AS ACCEPTED BY THE OWNER.
- 9 THE CONTRACTOR SHALL VERIFY THE EXTENTS AND LOCATIONS OF THE EXISTING WATER SERVICE PIPING AND THE SANITARY SEWER LOCATED UNDERNEATH THE PROPOSED BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ROUTING THE LINE AROUND THE BUILDING AND TIE INTO EXISTING PIPING UNDERNEATH THE PROPERTY BOUNDARY.

3-STOREY MASONRY BUILDING FOOTPRINT
 13,664 SQ. FT. ±
 HGT. = 40' ±
LOT 3
KOGER EXECUTIVE CENTER
 MAP BOOK 141, PAGE 19
 BARBOUR BUILDING, LLC
 3700 COLONNADE SITE 30
 BIRMINGHAM, AL 35216
 PARCEL: 39-00-01-1-001-001.012

CURB CORNER
 0.30 OUTSIDE

EX. WALL TO BE PRESERVED
 AND PROTECTED
 EX. GROUND LIGHTING TO BE
 PRESERVED AND PROTECTED

RECD ASPHALT TO BE
 SAWCUT AND REMOVED
 RECD CONCRETE SIDEWALK
 TO BE SAWCUT & REMOVED

RECD EX. GROUND
 LIGHTING & ASSOCIATED
 WIRING TO BE REMOVED

RECD EX. LAMP LIGHTING
 TO BE REMOVED

RECD RETAINING WALL
 TO BE REMOVED

RECD EX. LAMP LIGHTING
 TO BE REMOVED

EX. WALL TO BE PRESERVED
 AND PROTECTED

RECD CONCRETE SIDEWALK
 TO BE SAWCUT & REMOVED

RECD 147 LF OF CURB
 & GUTTER TO BE
 SAWCUT & REMOVED

RECD ASPHALT TO BE
 SAWCUT AND REMOVED

EX. WALL TO BE PRESERVED
 AND PROTECTED

RECD EX. RIPRAP
 TO BE REMOVED

RECD RETAINING WALL
 TO BE REMOVED

RECD ADA SIGNAGE
 TO BE REMOVED

RECD CONCRETE SIDEWALK
 TO BE SAWCUT & REMOVED



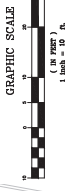
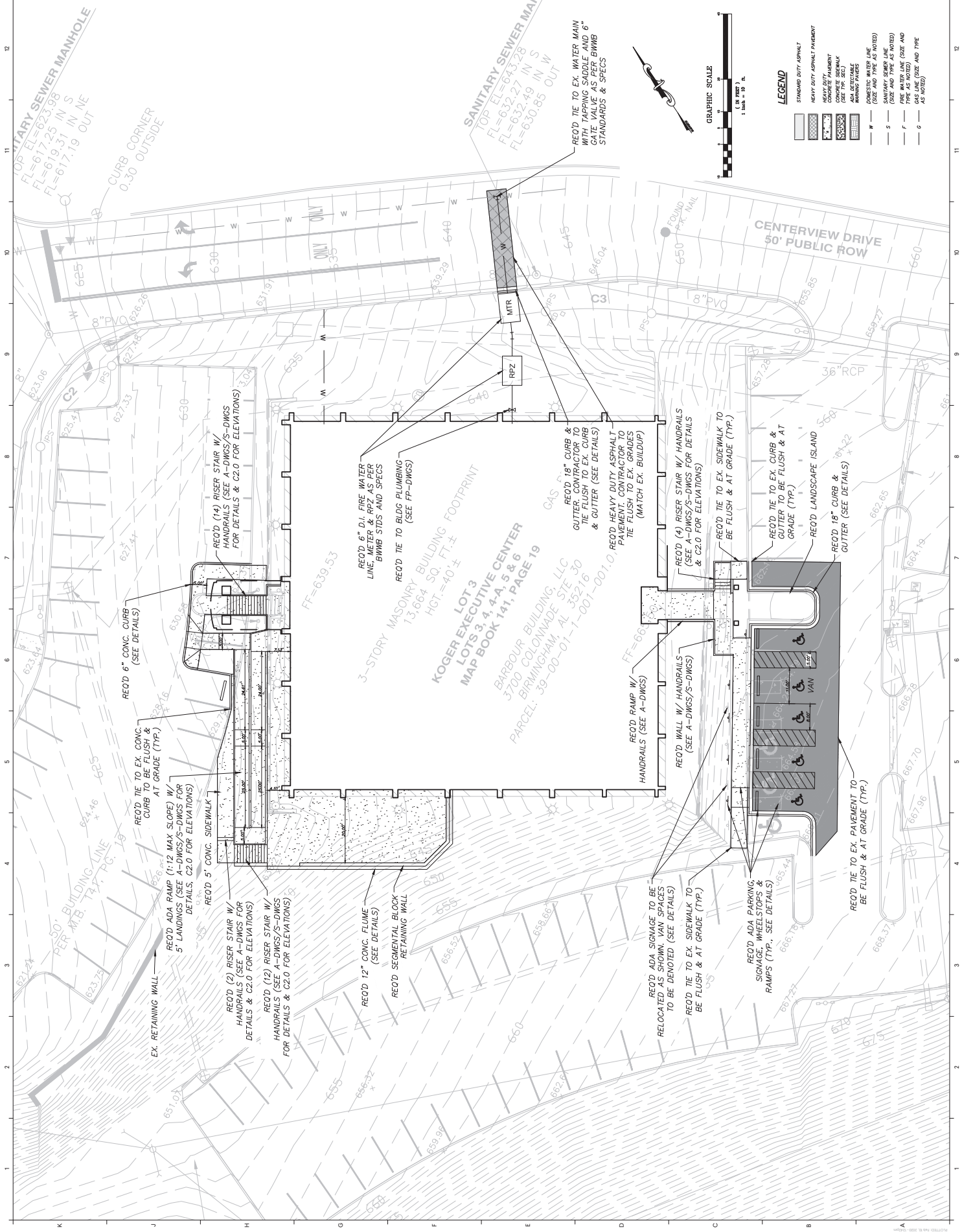
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GMCNETWORK.COM

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RENOVATIONS TO THE BARBOUR BUILDING - EXTERIOR ELEVATIONS AND CIRCULATION CORE
PHASE 1
AHHN190008 - PHASE 1



UTILITY PLAN & SITE LAYOUT
C1.0
DATE: 12-17-2020



LEGEND

[Symbol]	STANDARD DUTY ASPHALT
[Symbol]	HEAVY DUTY ASPHALT PAVEMENT
[Symbol]	CONCRETE PAVEMENT
[Symbol]	COMPLETE SIDEWALK
[Symbol]	ADA ACCESSIBLE SIDEWALK
[Symbol]	ADA ACCESSIBLE MOUNTING PAGES
[Symbol]	DOMESTIC WATER LINE (AS NOTED)
[Symbol]	SEWER LINE (AS NOTED)
[Symbol]	SANITARY SEWER LINE (SIZE AND TYPE AS NOTED)
[Symbol]	FIRE WATER LINE (SIZE AND TYPE AS NOTED)
[Symbol]	G (SIZE AND TYPE AS NOTED)



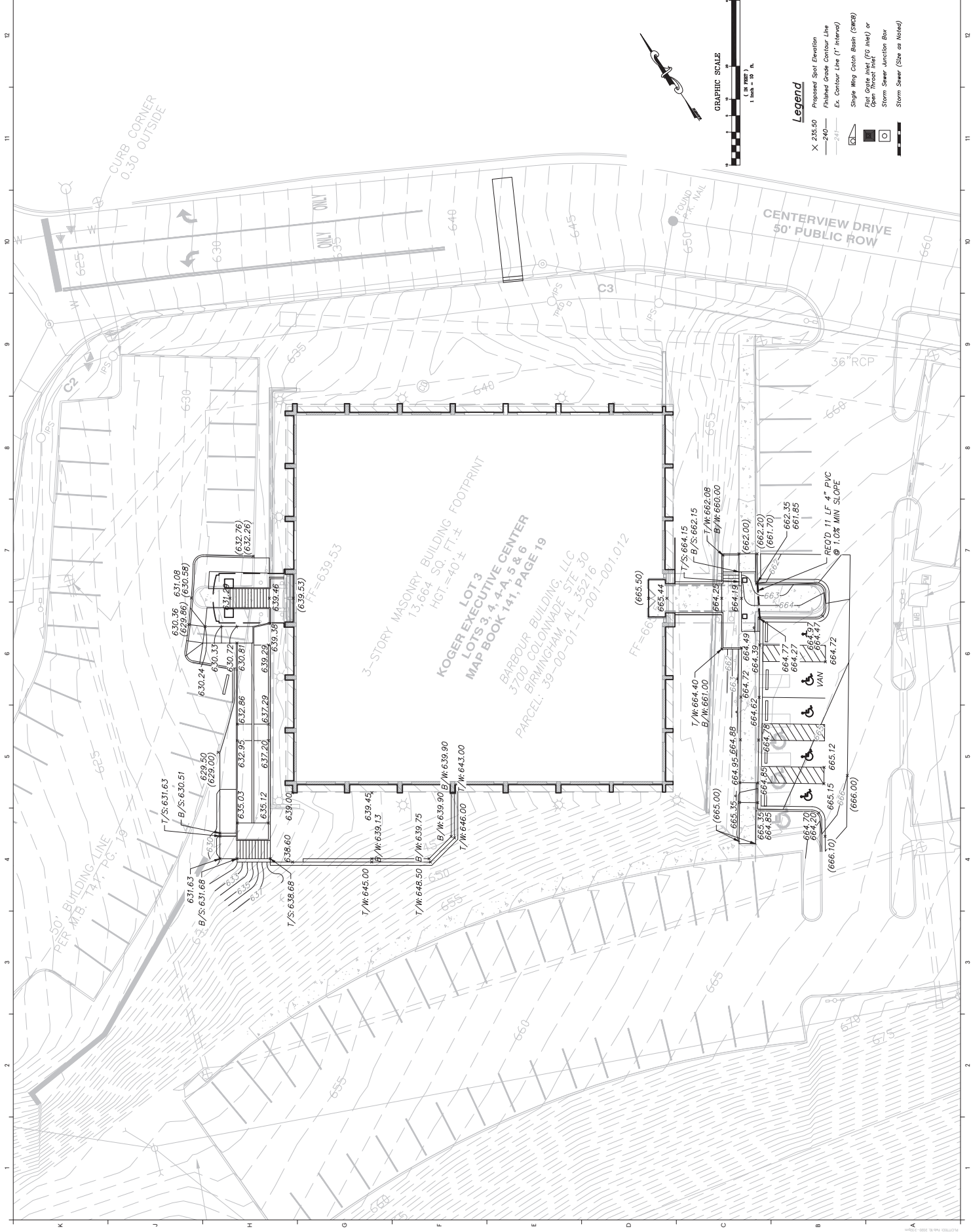
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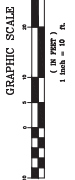
RENOVATIONS TO THE BARBOUR BUILDING - EXTERIOR ELEVATIONS AND CIRCULATION CORE
 VESTAL HILLS, ALABAMA
 AHUN190008 - PHASE 1



DRAINAGE AND GRADING PLAN
 C2.0
 SHEET OF 000
 7-12-2020



- Legend**
- X 235.50 Proposed Spot Elevation
 - 240 Finished Grade Contour Line
 - 241 Ex. Contour Line (1' Interval)
 - Single Wing Catch Basin (SWCB)
 - Full Catch Basin (FC Basin) or Storm Sewer Junction Box
 - Storm Sewer (Size as Noted)



3-STORY MASONRY BUILDING FOOTPRINT
 13,664 SQ. FT. ±
 HGT. = 40' ±
 LOT 3
 KOGER EXECUTIVE CENTER
 MAP BOOK 141, PAGE 19
 BARBOUR BUILDING, LLC
 3700 COLONNADE SITE 30
 BIRMINGHAM, AL 35216
 PARCEL: 39-00-01-1-001-001.012

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1 2 3 4 5 6 7 8 9 10 11 12



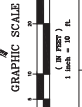
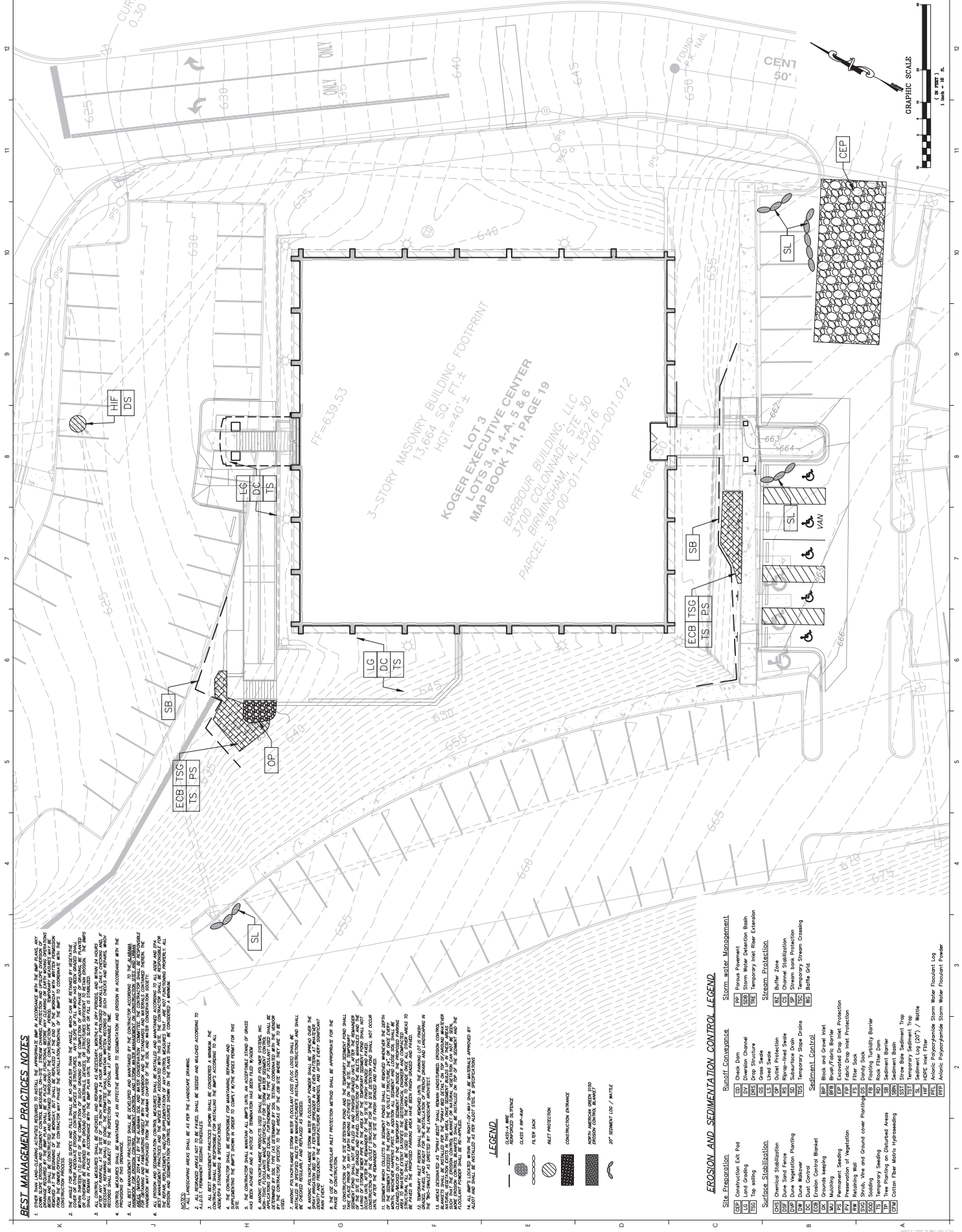
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RENOVATIONS TO THE BARBOUR BUILDING - EXTERIOR ELEVATIONS AND CIRCULATION CORE
VICTORIA HILLS, ALABAMA
AHUM190008 - PHASE 1



EROSION AND SEDIMENT CONTROL PLAN
C3.0
SHEET 000



BEST MANAGEMENT PRACTICES NOTES

1. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE.
2. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE.
3. ALL BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING ALL EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE.
5. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE.
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14. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE.

LEGEND

- GLASS WEED MAT
- CLASS A SW-60
- CLASS B SW-60
- CLASS C SW-60
- CLASS D SW-60
- CLASS E SW-60
- CLASS F SW-60
- CLASS G SW-60
- CLASS H SW-60
- CLASS I SW-60
- CLASS J SW-60
- CLASS K SW-60
- CLASS L SW-60
- CLASS M SW-60
- CLASS N SW-60
- CLASS O SW-60
- CLASS P SW-60
- CLASS Q SW-60
- CLASS R SW-60
- CLASS S SW-60
- CLASS T SW-60
- CLASS U SW-60
- CLASS V SW-60
- CLASS W SW-60
- CLASS X SW-60
- CLASS Y SW-60
- CLASS Z SW-60

EROSION AND SEDIMENTATION CONTROL LEGEND

- Site Preparation
 - CP1 Construction Exit Pad
 - CP2 Land Grading
 - CP3 Top soiling
- Surface Stabilization
 - CS1 Chemical Stabilization
 - CS2 Dune Soil Fence
 - CS3 Straw Mulch
 - CS4 Straw, Hay, and Ground cover Planting
 - CS5 Sodding
 - CS6 Erosion Control Blanket
 - CS7 Erosion Control Matting
 - CS8 Permanent Seeding
 - CS9 Preservation of Vegetation
 - CS10 Shrub, Vine, and Ground cover Planting
 - CS11 Temporary Seeding
 - CS12 Temporary Seeding
 - CS13 Cotton Flower Matting Hydroseeding
- Runoff Conveyance
 - CV1 Check Dam
 - CV2 Inversion Channel
 - CV3 Drop Structure
 - CV4 Energy Dissipator
 - CV5 Undersill
 - CV6 Outlet Protection
 - CV7 Riprap-lined Swale
 - CV8 Temporary Slope Slope
 - CV9 Temporary Stream Crossing
- Sediment Control
 - SB1 Rock and Gravel Filter
 - SB2 Brush/Fabric Barrier
 - SB3 Encouraged Drop Inlet Protection
 - SB4 Fabric Drop Inlet Protection
 - SB5 Rock Filter Dam
 - SB6 Sediment Basin
 - SB7 Straw Bale Sediment Trap
 - SB8 Temporary Sediment Trap
 - SB9 MDC Inlet Filter
 - SB10 MDC Inlet Filter
 - SB11 Anionic Polyacrylamide Storm Water Flocculant Log
- Storm Water Management
 - SP1 Porous Pavement
 - SP2 Storm Water Detention Basin
 - SP3 Temporary Inlet River Extension
- Slopes Protection
 - SE1 Buffer Zone
 - SE2 Channel Stabilization
 - SE3 Temporary Stream Crossing
 - SE4 Baffle Grid

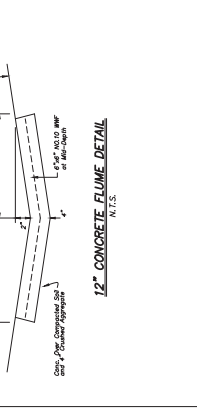
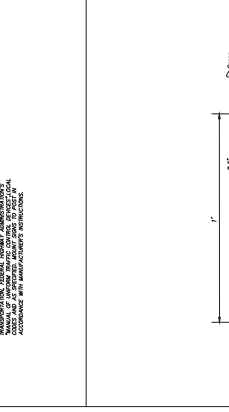
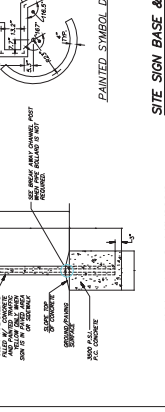
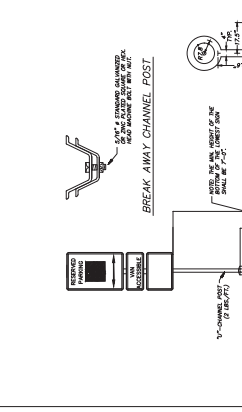
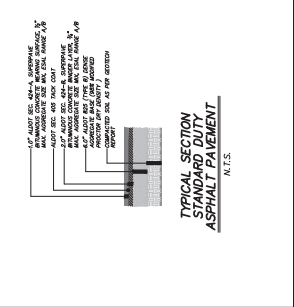
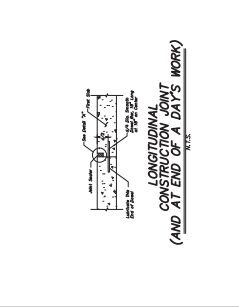
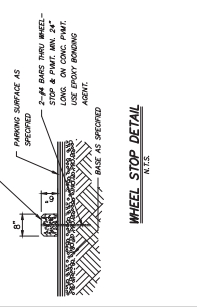
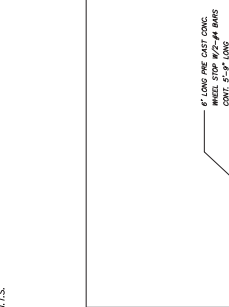
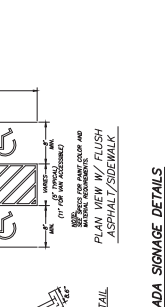
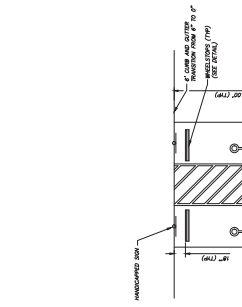
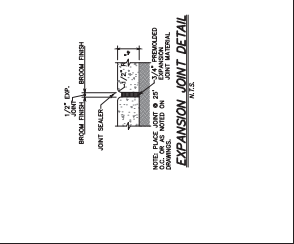
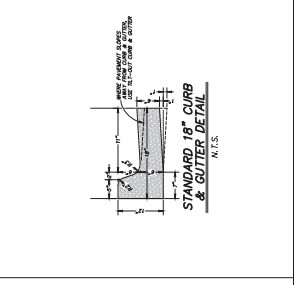
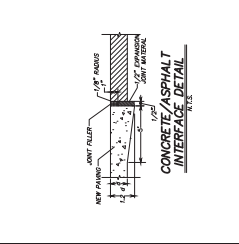
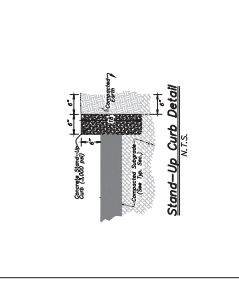
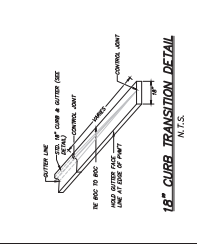
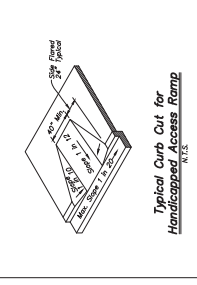
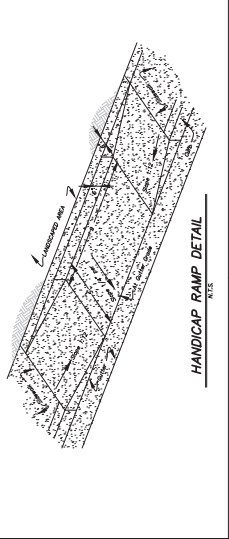
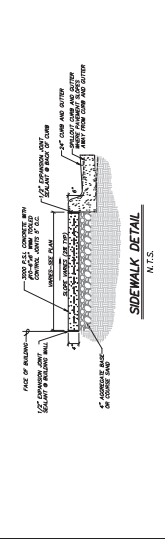
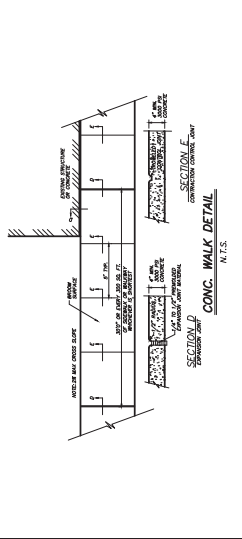
3-STORY MASONRY BUILDING FOOTPRINT
13,664 SQ. FT. ±
HGT. = 40' ±
LOT 3
KOGER EXECUTIVE CENTER
MAP BOOK 141, PAGE 19
BARBOUR BUILDING, LLC
37,000 COLONNADE SITE 30
BIRMINGHAM, AL 35216
PARCEL: 39-00-01-1-001-001.012

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ISSUE DATE	FINAL SUBMISSION 02.12.2020
CHECKED BY:	ESB
DRAWN BY:	ESB

RENOVATIONS TO THE BARBOUR
BUILDING - EXTERIOR ELEVATIONS
AND CIRCULATION CORE
VISTA HILLS, ALABAMA
AHUN190008 - PHASE 1



1	2	3	4	5	6	7	8	9	10	11	12
K	J	I	H	G	F	E	D	C	B	A	



7 Town Center Drive, Suite 201
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FINAL SUBMISSION	03/27/2020
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CHECKED BY:	KMG

AHUN190008 - PHASE 1

WESTVA HILLS, ALABAMA
 A WALKING WOODS COMMUNITY



RENOVATIONS TO THE BARBOUR
 BUILDING - EXTERIOR ELEVATIONS AND
 CIRCULATION CORE

THIRD FLOOR RCP
 A-2.02



- REFLECTED CEILING**
- DO NOT SCALE DRAWINGS. OBSERVATIONS, MATERIALS, AND SYMBOL LEGENDS AND TYPICAL MOUNTING HEIGHTS, UNLESS NOTED OTHERWISE LOCATE HINGE SIDE OF DOOR.
 - DO NOT SCALE DRAWINGS. OBSERVATIONS, MATERIALS, AND SYMBOL LEGENDS AND TYPICAL MOUNTING HEIGHTS, UNLESS NOTED OTHERWISE LOCATE HINGE SIDE OF DOOR.
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SYMBOL LEGEND

EXISTING TO REMAIN	NEW WORK
LAY-IN CEILING GRID COORDINATE WITH FINISHES FOR SIZE	RECESSED CAN LIGHT FIXTURE
GYPSUM BOARD CEILING	RECESSED WALL WASH FIXTURE
ACCESS PANEL	SURFACE OR PENDANT MOUNTED LIGHT FIXTURE
RECESSED LIGHT FIXTURE	WALL MOUNTED LIGHT FIXTURE
SURFACE MOUNTED LIGHT FIXTURE	DIRT SIGN
FLUORESCENT LIGHT FIXTURE	SUPPLY AIR
RECESSED STRIP WALL WASH FIXTURE	RETURN AIR
	EXHAUST

LEGEND

EXISTING CONSTRUCTION TO REMAIN	NEW CONSTRUCTION TO REMAIN
TYPICAL NEW PARTITION NOT IN SCOPE OF WORK	

D10 THIRD FLOOR REFLECTED CEILING PLAN
 SCALE: 1/8" = 1'-0"

D4 ROOF PLAN
 SCALE: 1/8" = 1'-0"



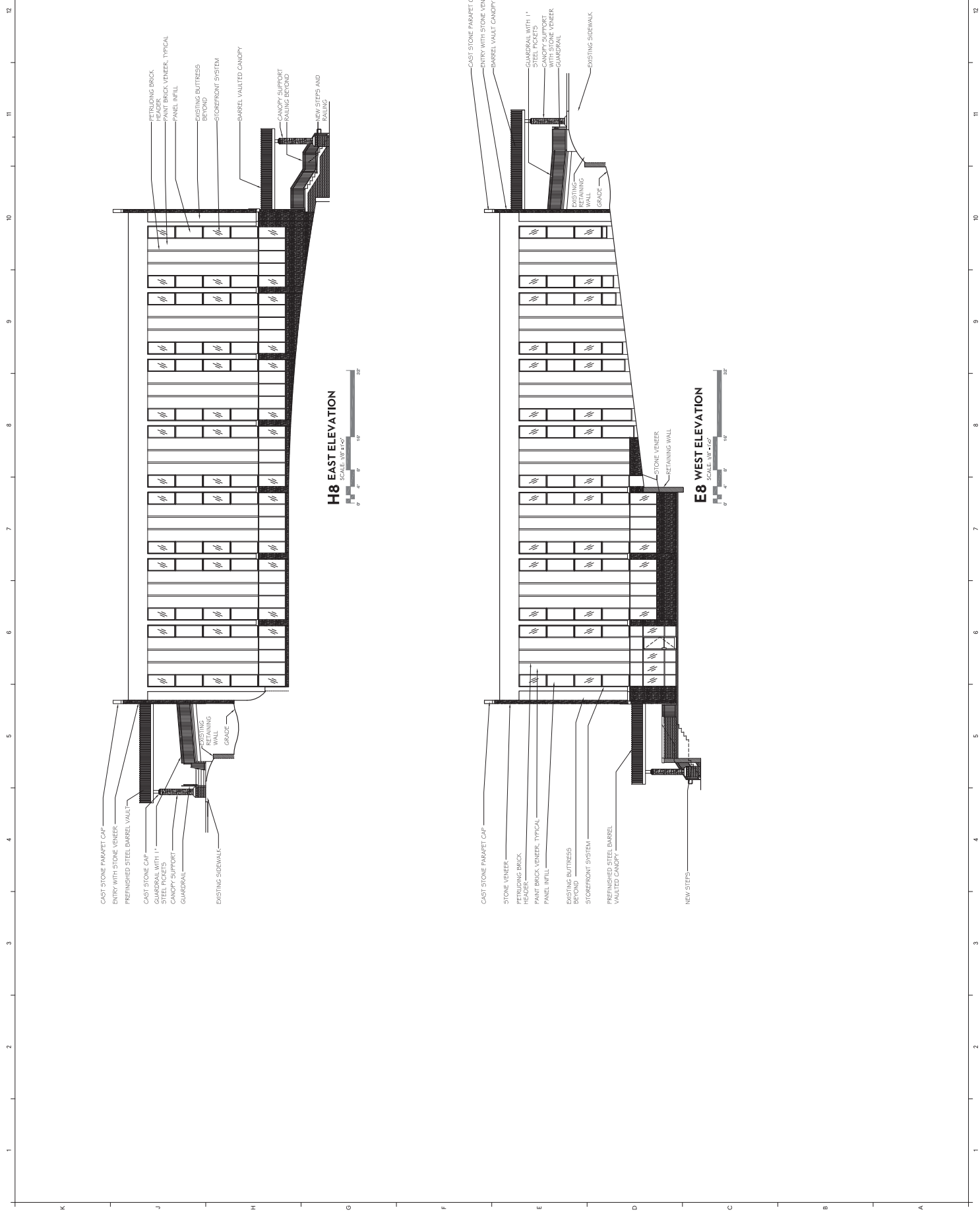


RENOVATIONS TO THE BARBOUR
BUILDING - EXTERIOR ELEVATIONS AND
CIRCULATION CORE
WESTVIA HILLS, ALABAMA
651 STEVENSON AVENUE
ANNONCEMENT, ALABAMA

AHUN190008 - PHASE 1

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H8 EAST ELEVATION



E8 WEST ELEVATION



CAST STONE PARAPET CAP
ENTRY WITH STONE VENEER
REFINISHED STEEL BARREL VAULT
CAST STONE CAP
GUARDRAIL WITH 1\"
STEEL PICKETS
CANOPY SUPPORT
GUARDRAIL
EXISTING SIDEWALK
RETAINING WALL
GRADE

EXISTING BRICK
PAINT BRICK VENEER, TYPICAL
PANEL INFILL
EXISTING BUTTRESS
BEYOND
STOREFRONT SYSTEM
BARREL VAULTED CANOPY
CANOPY SUPPORT
ROLLING BEYOND
NEW STEPS AND
RAILING

CAST STONE PARAPET CAP
ENTRY WITH STONE VENEER
BARREL VAULT CANOPY
GUARDRAIL WITH 1\"
STEEL PICKETS
CANOPY SUPPORT
WITH STONE VENEER
GUARDRAIL
EXISTING SIDEWALK
EXISTING
RAILING WALL
GRADE

CAST STONE PARAPET CAP
STONE VENEER
EXISTING BRICK
HEADERS
PAINT BRICK VENEER, TYPICAL
PANEL INFILL
EXISTING BUTTRESS
BEYOND
STOREFRONT SYSTEM
REFINISHED STEEL BARREL
VAULTED CANOPY
NEW STEPS

STONE VENEER
RETAINING WALL

