

Join us! In an effort to enhance meetings during the COVID-19 shutdown, the City Council invites you to join and/or participate in a variety of ways: Via computer Zoom meetings (no app is necessary), telephone, email and/or text! See details on page 3.

**Vestavia Hills
City Council Agenda
September 28, 2020
6:00 PM**

1. Call to Order
2. Roll Call
3. Invocation – Butch Williams, Vestavia Hills Senior Chaplain
4. Pledge Of Allegiance
5. Announcements, Candidates and Guest Recognition
6. Proclamation – Vestavia Hills Down Syndrome Day – October 1, 2020 and National Down Syndrome Month – October 2020
7. City Manager’s Report
8. Councilors’ Reports
9. Financial Reports – George Sawaya, Deputy Finance Director
10. Approval Of Minutes – September 14, 2020 (Work Session) and September 14, 2020 (Regular Meeting)

Old Business

11. Ordinance Number 2947 – Annexation – 90 Day Final – 2601 Fargo Drive, Lot 6, Block 2, Twin Branch Estates; South Sector; Tingting Dong, Owner (*public hearing*)
12. Ordinance Number 2948 – Rezoning – 2601 Fargo Drive, Lot 6, Block 2, Twin Branch Estates; South Sector; Rezone From Jefferson County R-1 To Vestavia Hills R-2; Compatible Zoning For Annexation; Tingting Dong, Owner (*public hearing*)
13. Ordinance Number 2949 – Annexation – 90 Day Final – 2520 Skyland Drive; Lot 11, Block 2, Dolly Ridge Estates; Keavy And Nathan Ladner, Owners (*public hearing*)
14. Ordinance Number 2950 – Rezoning - 2520 Skyland Drive; Lot 11, Block 2, Dolly Ridge Estates; Rezone From Jefferson County E-2 To Vestavia Hills R-1; Compatible Zoning For Annexation; Keavy And Nathan Ladner, Owners (*public hearing*)

15. Ordinance Number 2951 – Annexation – 90 Day Final – 3652 Altadena Drive, Lot 4, Altadena Acres; Edgar And Cathey Davis, Owners (*public hearing*)
16. Ordinance Number 2952 – Rezoning – 3652 Altadena Drive, Lot 4, Altadena Acres; Rezone From Jefferson County E-1 To Vestavia Hills E-2; Compatible Zoning For Annexation; Edgar And Cathey Davis, Owners (*public hearing*)
17. Ordinance Number 2953 – Annexation – 90 Day Final – 2495 Dolly Ridge Trail; Lot 2, Block 1, Dolly Ridge Estates, 1st Add; Patrick And Ellen Pantazis, Owners (*public hearing*)
18. Ordinance Number 2954 – Rezoning – 2495 Dolly Ridge Trail; Lot 2, Block 1, Dolly Ridge Estates, 1st Add; Rezone From Jefferson County E-2 To Vestavia Hills R-1; Compatible Zoning For Annexation; Patrick And Ellen Pantazis, Owners (*public hearing*)
19. Ordinance Number 2955 – Rezoning – 2768 Misty Lane, 2758 And 2764 Rocky Ridge Road; Rezone From Jefferson County E-2 To Vestavia Hills R-9, Planned Residential Subdivision; Prezoning Prior To Annexation For A Development Of 6 (Six) Single-Family Homes; Tamworth, LLC, Owners (*public hearing*)
20. Ordinance Number 2956 – Annexation – 90 Day Final - 2768 Misty Lane, 2758 And 2764 Rocky Ridge Road; Tamworth, LLC, Owners (*public hearing*)

New Business

21. Ordinance Number 2957 – An Ordinance Authorizing The Mayor And City Manager To Execute And Deliver A Memo Of Understanding With The Vestavia Hills Chamber Of Commerce
22. Ordinance Number 2958 – An Ordinance Authorizing The Mayor And City Manager To Execute And Deliver An Agreement With RiverTree Systems, Inc., For Auditing Services For The City Of Vestavia Hills

New Business (Requesting Unanimous Consent)

First Reading (No Action To Be Taken At This Meeting)

23. Motion for Adjournment
24. Citizens Comments
25. Executive Session

SPECIAL NOTICE CONCERNING CITY COUNCIL MEETINGS

Due to the COVID-19 “Stay at Home” Order issued by Gov. Ivey, the City Council work sessions and meetings are available via video-conference and teleconference. If you chose not to attend in person, you may still participate. Following are instructions for three options to participate remotely.

COMPUTER PARTICIPATION (*view/participate in real time*)

To participate in by videoconference, click <https://us02web.zoom.us/j/4555343275>. When the Zoom.us window opens in your browser, click “Allow” so that the page may open to a waiting room. The host will open the meeting and bring all into the meeting room at that time. All participants will be automatically muted upon entrance to the meeting. If you wish to speak during time(s) identified for public input, activate the “Raise Hand” feature and unmute yourself by toggling the mute button. When the Mayor recognizes you and gives you the floor, state your name and address for the record and then you may address the Council.

Using the icons on the Zoom screen, you can:

- Mute/unmute your microphone (far left)
- Turn on/off camera (“Start/Stop Video”)
- View Participants – opens a pop-out screen that includes the “Raise Hand” icon that you may use to raise a virtual hand
- Change your screen name displayed in the participant list and video window
- Toggle between “speaker” and “gallery” views – “Speaker view” shows the active speaker; “Gallery view” tiles all of the meeting participants

TELEPHONE PARTICIPATION (*view/participate in real time*)

To participate by telephone, dial 312.626.6799 and enter the meeting ID: 455 534 3275. All participants will be automatically muted upon entrance to the meeting. If you wish to speak during time(s) identified for public input, press *6 on your phone keypad to unmute yourself. Then state your name and wait for the Mayor to recognize you. When the Mayor recognizes you and gives you the floor, state your name and address for the record and then address the Council.

TEXT AND/OR EMAIL (*prior to the meeting or in real time*)

If you do not wish to join the meeting but would like to ask a question or make a statement regarding an item on the agenda, you may email the City Council directly at City.Council@vhal.org. You may also text your question/statement to City Council at 205.517.1370. Both of these options are available prior to and during each work session and meeting. Be sure to provide your name and address for the record and your comments will be recited to the City Council as the corresponding item is being addressed. Note: As a matter of record, your name and address are required. If identification is not provided, your comment/question will not be presented.

WHEREAS, Down syndrome is the most frequently occurring chromosomal disorder and is the leading cause of intellectual and developmental delay in the United States; and

WHEREAS, approximately one in every 691 children are born with Down syndrome, representing an estimated 5,000 births per year in the United States with approximately 85 of those annual births occurring in Alabama; and

WHEREAS, today through the efforts of parents, activists, advocacy organizations and self-advocates, people with Down syndrome are offered transition services and vocational training; have meaningful relationships and experience a life of inclusion and rewarding independence; and

WHEREAS, yet despite significant increases in lifespan and intellectual opportunities over the past decade, there is still much work to be done regarding the rights to equality, education, medical care, research, employment and support for people with Down syndrome; and

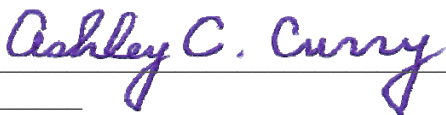
WHEREAS, all citizens are encouraged to work together to celebrate the lives of individuals with Down syndrome, recognize their accomplishments, promote awareness and remember to appreciate and regard every individual with dignity as a valued member of the community.

NOW, THEREFORE, I, Ashley C. Curry, by virtue of the authority vested in me as Mayor of the City of Vestavia Hills in the State of Alabama, do hereby proclaim October 1, 2020 as Down Syndrome Day and the month of October 2020 as

**NATIONAL DOWN SYNDROME
AWARENESS MONTH**

in the City of Vestavia Hills to support the initiatives of organizations working to ensure people with Down syndrome have adequate services, are valued by society and can lead fulfilling and productive lives in our community.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the Seal of the City of Vestavia Hills to be affixed this the 28th day of September 2020.



Ashley C. Curry
Mayor

CITY OF VESTAVIA HILLS

CITY COUNCIL

MINUTES

WORK SESSION

SEPTEMBER 14, 2020

The City Council of Vestavia Hills met in special work session on this date at 1:00 PM, following publication and posting pursuant to Alabama law. Due to the COVID-19 pandemic, in coordination with a Proclamation from Governor Ivey and pursuant to Orders from the Alabama State Health Officer, requiring social distancing along with limits of attendees, this meeting was held with a portion of Staff and general public/audience members attending via Zoom.com following publication pursuant to Alabama law. Mayor Curry was out of town on a family matter but participated via Zoom and passed the gavel to Mayor Pro-Tem Weaver who presided. The Mayor Pro-Tem called the work session to order and the City Clerk called the roll with the following:

MEMBERS PRESENT:

Mayor Ashley C. Curry*
Rusty Weaver, Mayor Pro-Tem
Kimberly Cook, Councilor**
Paul Head, Councilor*
George Pierce, Councilor**

OTHER OFFICIALS PRESENT:

Patrick H. Boone, City Attorney
Rebecca Leavings, City Clerk
Jason Hardin, Police Captain
Umang Patel, Court Director
Darrin Estes, IT Director
Ryan Farrell, Fire Marshal
Shawn Jackson, Asst. Fire Chief
Keith Blanton, Building Official
Taneisha Tucker, Library Official
Brian Davis, Public Services Director
Christopher Brady, City Engineer*
C.J. Elliot, Fire Inspector*
Cinnamon McCulley, Communications Specialist
Marvin Green, Fire Chief***

**present via Zoom or telephone*

***arrived at 1:08 PM*

****arrived at 2:00 PM*

The Mayor Pro-Tem called the work session to order and indicated that this work session is dedicated to the discussion of the City Manager's proposed FY2021 budget.

DISCUSSIONS OF FY2021 BUDGETS

Mr. Downes reviewed a high-level scope of the budget focusing on the revenue side and stated that each Department Head will answer any questions. He stated there were some last minute changes because retirement and insurance costs are estimated until the actual information is received from the various entities. He showed the net change of an additional \$51,000 surplus to the General Fund Balance is now reflected in the newer budget. He indicated that, at the last second, the Sybil Temple identified at problem at the Temple that needed addressing. With COVID-19, they have not been able to raise funds. They identified a crack in the Temple that needed to be repaired at a cost of \$5,000 so they have requested assistance by adding a \$5,000 appropriation in the capital budget.

Mr. Downes explained dedicated funding to pay for certain expenditures including taxes dedicated to street paving, E-9-1-1 funding, courts, library state-aid, library donations, tag services, capital fund dedicated to a capital plan, Community Spaces fund.

Each Department Head explained the requested changes to each departmental budget.

Mr. Downes reminded the Council that an additional bid for Phase III Wald Park will be going out to finish up but there are issues with having multiple contractors on site.

Mr. Downes stated that they have been working daily with AmWaste. They have currently been working with Republic to see what they have been doing, how they have been working and suggestions for improvements for when they begin which would include smaller routes and 6 day a week services. He stated this would give the ability to address issues on Saturdays and allow smaller routes to allow the trucks to collect waste that's not inside the regular containers. He stated that letters will soon be going out to all addresses explaining the route cycle, the rules, reminders of good practices, etc.

CITIZEN COMMENTS

At 2:44 PM, Mrs. Cook made a motion to adjourn. The meeting adjourned at 2:45 PM.

Ashley C. Curry
Mayor

ATTESTED BY:

Rebecca Leavings
City Clerk

CITY OF VESTAVIA HILLS

CITY COUNCIL

MINUTES

SEPTEMBER 14, 2020

The City Council of Vestavia Hills met in regular session on this date at 6:00 PM, following publication and posting pursuant to Alabama law. Due to the COVID-19 pandemic, in coordination with a Proclamation from Governor Ivey and pursuant to Orders from the Alabama State Health Officer, requiring social distancing along with limits of attendees, this meeting was held with a portion of Staff and general public/audience members attending via Zoom.com following publication pursuant to Alabama law. Mayor Curry was out of town on a family matter but participated via Zoom and passed the gavel to Mayor Pro-Tem Weaver who presided. The Mayor Pro-Tem called the meeting to order and the City Clerk called the roll with the following:

MEMBERS PRESENT:

Mayor Ashley C. Curry*
Rusty Weaver, Mayor Pro-Tem (*presiding*)
Kimberly Cook, Councilor
Paul Head, Councilor
George Pierce, Councilor

OTHER OFFICIALS PRESENT:

Jeff Downes, City Manager
Patrick H. Boone, City Attorney
Rebecca Leavings, City Clerk
Danny Rary, Police Chief
Jason Hardin, Police Captain
Keith Blanton, Building Official
Brian Davis, Public Services Director
Shawn Jackson, Asst. Fire Chief
Melvin Turner, III, Finance Director
George Sawaya, Asst. Finance Director
Cinnamon McCulley, Communications Specialist
**present via Zoom or telephone*

Randall Jones, Vestavia Hills Chaplain, led the invocation followed by the Pledge of Allegiance.

ANNOUNCEMENTS, CANDIDATES, GUEST RECOGNITION

- Mr. Pierce welcomed to the meeting Chamber Board members Roger Steur and Kelly Botcher, both attending via Zoom.

- Mr. Pierce pointed out a t-shirt reflecting an effort by Rotary Club called “Hike the Hills.” He explained the efforts and encourage participation. He stated anyone can register by going to www.vestaviarotary.org . He encouraged everyone to participate.
- Mr. Head announced the regular Parks and Recreation Board meeting to be held tomorrow at 7 AM, offered via Zoom and in-person, in the Council Chambers.

PROCLAMATION

The Mayor Pro-Tem presented a Proclamation designating September 17-23, 2020, as “Constitution Week.” Mr. Downes read the proclamation aloud and the Mayor Pro-Tem presented it virtually via Zoom to Daughters of the Revolution members: Cindi Akins, Cahawba Chapter, Jessie Schniper, Princess Sehoy Chapter; and Emily Blount, General Sumter Chapter.

Ms. Akins thanked the Council for the Proclamation.

Mrs. Cook stated that the Constitution was adopted 232 years ago and is one of the most importation foundational documents in the world, and she feels it is important to retain and protect the liberties afforded to the American people in that document.

CITY MANAGER’S REPORT

- No report.

COUNCILOR REPORTS

- Mr. Pierce stated that he will be attending the Chamber luncheon via Zoom tomorrow with speaker, Dr. Todd Freeman, Vestavia City School Superintendent.
- Mr. Weaver stated that the Planning and Zoning Commission met last Thursday via Zoom and indicated that there were no rezoning requests, only plats approved at that meeting.
- Mr. Head announced the opening of the new pools over the Labor Day weekend. He stated the opening went off phenomenally and that there were so many great compliments from residents visiting.

APPROVAL OF MINUTES

The Mayor opened the floor for approval of the following minutes: August 17, 2020 (Work Session), August 24, 2020 (Regular Meeting), September 1, 2020 (Special Called Meeting).

MOTION Motion to approve the minutes, as amended, of the August 17, 2020 (Work Session), was by Mrs. Cook and second was by Mr. Pierce. Roll call vote as follows:

Mrs. Cook – yes
Mr. Pierce – yes
Mr. Weaver – abstained

Mr. Head – yes
Mayor Curry – yes
motion carried.

MOTION Motion to approve the minutes, as amended, of the August 24, 2020 (Regular Meeting), was by Mrs. Cook and seconded by Mr. Pierce. Roll call vote as follows:

Mrs. Cook – yes
Mr. Pierce – yes
Mr. Weaver – yes

Mr. Head – abstain
Mayor Curry – yes
motion carried.

MOTION Motion to approve the minutes, as amended, of the September 1, 2020 (Special Called Meeting) was by Mrs. Cook and seconded by Mr. Pierce. Roll call vote as follows:

Mrs. Cook – yes
Mr. Pierce – yes
Mr. Weaver – yes

Mr. Head – abstained
Mayor Curry – yes
motion carried.

OLD BUSINESS

ORDINANCE NUMBER 2945

Ordinance Number 2945 – An Ordinance Approving And Adopting The General Fund Budget, A Special Revenue Fund Budget, A Capital Project Fund Budget And An Infrastructure And Community Spaces Project Fund Budget For The City Of Vestavia Hills For The Period Beginning October 1, 2020 Until September 30, 2021 (public hearing)

Mr. Weaver indicated that these four items are together and, even though they will be voted upon individually, there will be only one public hearing.

MOTION Motion to approve Ordinance Number 2945 was by Mr. Pierce and second was by Mrs. Cook.

Mr. Downes stated that these items include the final 10% of this year's budget, the approval to expense certain expenses to this year's budget, approval of the FY2021 budgets and approvals for financing of certain capital assets for FY2021. He stated these were discussed in the work session earlier today. He explained amendments that were done since the first read which included final numbers for health insurance costs as well as retirement costs which improved the budget by approximately \$50,000. This also approves three months of hazard pay for employees at higher risk of exposure to COVID-19.

The Mayor Pro-Tem opened the floor for a public hearing for all four items. There being no one else to further address the Council, the Mayor Pro-Tem closed the public hearing and called for the question. Roll call vote as follows:

Mrs. Cook – yes	Mr. Head – yes
Mr. Pierce – yes	Mayor Curry – yes
Mr. Weaver – yes	motion carried.

ORDINANCE NUMBER 2944

Ordinance Number 2944 – An Ordinance Approving The Final 10% Of The FY 2020 Budgets For The City Of Vestavia Hills And Authorizing The City Manager To Expend An Amount For Certain Capital Expenditures To Be Expensed To The 2020 FY Budget (public hearing)

MOTION Motion to approve Ordinance Number 2944 was by Mr. Pierce and second was by Mrs. Cook.

There being no one else to further address the Council, the Mayor Pro-Tem closed the public hearing and called for the question. Roll call vote as follows:

Mrs. Cook – yes	Mr. Head – yes
Mr. Pierce – yes	Mayor Curry – yes
Mr. Weaver – yes	motion carried.

RESOLUTION NUMBER 5266

Resolution Number 5266 – A Resolution Approving Financing Terms For City Vehicles And/Or Equipment Through BB&T Bank (public hearing)

MOTION Motion to approve Resolution Number 5266 was by Mr. Pierce and second was by Mr. Head.

There being no one else to further address the Council, the Mayor Pro-Tem closed the public hearing and called for the question. Roll call vote as follows:

Mrs. Cook – yes	Mr. Head – yes
Mr. Pierce – yes	Mayor Curry – yes
Mr. Weaver – yes	motion carried.

RESOLUTION NUMBER 5267

Resolution Number 5267 – A Resolution Authorizing The City Manager To Grant Temporary Premium “Hazard” Pay To Essential Employees Continuing To Work During The COVID-19 Pandemic For A Period Of 3 Months (public hearing)

MOTION Motion to approve Resolution Number 5267 was by Mrs. Cook and second was by Mr. Head.

Mrs. Cook stated that this item will be funded by the CARES Act.

There being no one else to further address the Council, the Mayor Pro-Tem closed the public hearing and called for the question. Roll call vote as follows:

Mrs. Cook – yes	Mr. Head – yes
Mr. Pierce – yes	Mayor Curry – yes
Mr. Weaver – yes	motion carried.

ORDINANCE NUMBER 2942

Ordinance Number 2942 – Conditional Use Approval – 1452 Montgomery Highway – An Ordinance Approving A Conditional Use For Installation Of A 6’ Shaded Security Fence To Be Installed Around The Perimeter Of The Property, Use Of Major Mechanical Repair Of Motor Vehicles And Short-Term Storage Of Motor Vehicles With Conditions. The Property Is Owned By CRM Enterprises, LLC And Is Zoned Vestavia Hills B-3 (Conditional Business District) (public hearing)

MOTION Motion to approve Ordinance Number 2942 was by Mr. Pierce, seconded by Mrs. Cook.

Mr. Weaver gave a report from the Planning and Zoning Commission on this conditional use application for installation of a 6’ perimeter fence at 1452 Montgomery Highway along with major mechanical use. This property had a rock slide a few years ago. He stated that, after much discussion, the request was approved with conditions. Those conditions include a 5’ landscape buffer either on the property or ALDOT ROW to be approved by the Design Review Board; a geotechnical report which has been submitted to the City; an annual geotechnical report on the area of the slide to show maintained stability; and implementation, to the degree possible, of the site plan presented, which shows the landscaping and closing of one access to Montgomery Highway.

Mr. Pierce asked if the fence has already been installed.

Mr. Weaver explained that the fence was erected without a permit and a citation was issued on the project. He stated that tonight’s decision will determine the fate of that citation.

Loring Jones III, attorney for the petitioner, stated that the fence installation was a mutual error. He stated that this fencing is purely for security and the fire department has been on the site training. He stated that this is the fence his client is proposing in the request.

Mr. Pierce asked about ALDOT’s approval on the landscaping.

Mr. Jones stated that they aren't sure about what they'll be able to do for landscaping as the fencing is just inside their property line, so there isn't much room to move. He stated that there were security concerns that the fence is intended to mitigate.

Mr. Pierce asked about the safety of City employees being on the site.

Mr. Jones stated that they do not own the slope behind, but that they hope to erect a "catch fence" to prevent any damage if the slope were to slide.

Mrs. Cook asked if there is anything the City can do to push along ALDOT's approval on the landscaping.

Mr. Jones stated that they need to determine what they feasibly can do regarding the landscaping as the fence is located at the property line and they are limited.

The Mayor asked again about the landscaping that was proposed between the highway and the fence.

Mr. Loring stated that has been addressed.

Mrs. Cook asked City staff to do everything possible to facilitate and encourage ALDOT approval of landscaping to improve the appearance of the property from Highway 31.

Mr. Jones stated they are limited as to what they can do on concrete.

Mrs. Cook stated that it appears there is curb and grass and not just concrete.

Mr. Weaver stated the design will be submitted to ALDOT and then, if approved, will turn to DRB for approval.

Mrs. Leavings stated this will have to come to ALDOT first. If not approved, the applicant will need to move the fence to allow the required 5' buffer .

The Mayor Pro-Tem opened the floor for a public hearing.

Eric and Tracy Brosch, Willoughby Road, stated that they approached the City Council for an 8' privacy fence previously and were denied because of aesthetics. She indicated that she doesn't see a difference between this and their fence except you have 35,000 vehicles passing this property daily. She stated it is unsightly and ALDOT will take a lot of time, so why not move the fencing back so that landscaping can be installed now.

Mr. Weaver stated that this is commercial property, and not residential property, and that is a major difference between the Brosch conditional use request and this one. He stated that they hope the ALDOT consideration will be forthcoming soon.

There being no one else to further address the Council, the Mayor Pro-Tem closed the public hearing and called for the question. Roll call vote as follows:

Mrs. Cook – yes	Mr. Head – yes
Mr. Pierce – yes	Mayor Curry – yes
Mr. Weaver – yes	motion carried.

NEW BUSINESS

CERTIFICATE OF ELECTION

Adoption Of Certificate Of Election – Paul Head

MOTION Motion to adopt the Certificate of Election for Paul Head was by Mrs. Cook and second was by Mr. Pierce.

There being no one else to further address the Council, the Mayor Pro-Tem called for the question. Roll call vote as follows:

Mrs. Cook – yes	Mr. Head – yes
Mr. Pierce – yes	Mayor Curry – yes
Mr. Weaver – yes	motion carried.

RESOLUTION NUMBER 5269

Resolution Number 5269 – A Resolution Declaring Certain Personal Property As Surplus And Directing The City Manager To Sell/Dispose/Donate Said Property

MOTION Motion to approve Resolution Number 5269 was by Mr. Pierce and seconded by Mr. Head.

Ryan Farrell, Asst. Fire Chief, stated that this request is an opportunity to partner with the Fire College on use of the current fire safety trailer, which is used intermittently during the year but is difficult to store indoors. This will allow the indoor storage of the trailer at the Fire College and the VHFD can arrange to use this trailer, when needed, and the trailer will also be used by other communities in the area who cannot afford this piece of equipment.

There being no one else to further address the Council, the Mayor Pro-Tem called for the question. Roll call vote as follows:

Mrs. Cook – yes	Mr. Head – yes
Mr. Pierce – yes	Mayor Curry – yes
Mr. Weaver – yes	motion carried.

RESOLUTION NUMBER 5270

Resolution Number 5270 – A Resolution Authorizing The City Manager To Execute And Deliver A Developer-Installed Extension Of Mains Agreement And Two (2) Copies Of A Letter Of Authorizing with the Birmingham Water Works Board Covering The Installation Of Water Mains And Appurtenances For The Crosshaven Drive And Green Valley Road Relocation Project

MOTION Motion to approve Resolution Number 5270 was by Mrs. Cook and second was by Mr. Pierce.

Mr. Downes stated that this is relocation of water mains in the Crosshaven Drive expansion project. He stated this was funded through the Tortorigi contract.

Mrs. Cook asked that Tortorigi make sure they keep the road in repair at the intersection of White Oak, Crosshaven and Green Valley Road as it is very rough.

There being no one else to further address the Council, the Mayor Pro-Tem called for the question. Roll call vote as follows:

Mrs. Cook – yes	Mr. Head – yes
Mr. Pierce – yes	Mayor Curry – yes
Mr. Weaver – yes	motion carried.

RESOLUTION NUMBER 5271

Resolution Number 5271 – A Resolution Approving An Alcohol License For Publix Alabama LLC D/B/A Publix Alabama LLC 1675 For The Off-Premise Sale Of Beer And Table Wine; Robert S. Balcerak, Jr, Kris Jonczyk And Merriann M. Metz, Executives (*public hearing*)

MOTION Motion to approve Resolution Number 5271 was by Mr. Pierce and second was by Mr. Head.

Mr. Downes stated that this is for the Publix in construction on Morgan Drive.

Mr. James Minor, District Manager for Publix Supermarkets, explained that this request is for the Publix opening soon on Morgan Drive for off-premise beer and wine. He stated their estimated opening is November 18.

Mr. Pierce asked about employee training.

Mr. Minor stated that they do extensive training with employees with ongoing training. They also have in-store auditing where cashiers are tested. Employees failing testing are suspended and retrained. A second fail requires termination.

Mr. Pierce asked about wine selection.

Mr. Minor stated that there will be a wider wine selection and craft beer as well at this particular location.

The Mayor Pro-Tem opened the floor for a public hearing. There being no one else to further address the Council, the Mayor Pro-Tem called for the question. Roll call vote as follows:

Mrs. Cook – yes	Mr. Head – yes
Mr. Pierce – yes	Mayor Curry – yes
Mr. Weaver – yes	motion carried.

RESOLUTION NUMBER 5273

Resolution Number 5273 – A Resolution Accepting A Bid For Mountainview Sidewalk Project And Authorizing The City Manager To Take All Actions Necessary To Secure Said Construction

MOTION Motion to approve Resolution Number 5273 was by Mrs. Cook and seconded by Mr. Pierce.

Mr. Downes stated that there were four bids submitted. Triple J Construction was determined to be the lower responsible bidder. He stated that this is within budget and he recommends approval.

Mr. Pierce asked about the other bids, as they were much higher and wanted to ensure it is the same quality.

Mr. Brady explained that the other bidder was a new bidder.

There being no one else to further address the Council, the Mayor Pro-Tem called for the question. Roll call vote as follows:

Mrs. Cook – yes	Mr. Head – yes
Mr. Pierce – yes	Mayor Curry – yes
Mr. Weaver – yes	motion carried.

NEW BUSINESS (UNANIMOUS CONSENT REQUESTED)

The Mayor Pro-Tem opened the floor for unanimous consent for the consideration and approval of Resolution Number 5272.

MOTION Motion for unanimous consent for the consideration and approval of Resolution Number 5272 was made by Mrs. Cook and second was by Mr. Pierce. Roll call vote as follows:

Mrs. Cook – yes	Mr. Head – yes
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Mr. Pierce – yes
Mr. Weaver – yes

Mayor Curry – yes
motion carried.

RESOLUTION NUMBER 5272

Resolution Number 5272 – A Resolution Authorizing The City Manager To Take All Actions Necessary To Repair The HVAC For The Library In The Forest (public hearing)

MOTION Motion to approve Resolution Number 5272 was by Mrs. Cook and second was by Mr. Head.

Mr. Downes stated that this repair is needed on the HVAC system at the Vestavia Hills Library in the Forest. He explained that this is not covered under the City’s maintenance contract and needs to be repaired by Trane, who is proprietary on the system.

The Mayor Pro-Tem opened the floor for a public hearing.

Mrs. Cook stated that the requested amount is \$6,372.00 and that the facility isn’t open currently open; however, the system must be operational to control humidity for the library materials and for employees who might be present in the facility.

Mr. Downes stated that the system has been manually operated until the control can be fixed.

There being no one else to further address the Council, the Mayor Pro-Tem called for the question. Roll call vote as follows:

Mrs. Cook – yes
Mr. Pierce – yes
Mr. Weaver – yes

Mr. Head – yes
Mayor Curry – yes
motion carried.

FIRST READING (NO ACTION TO BE TAKEN AT THIS MEETING)

- Ordinance Number 2947 – Annexation – 90 Day Final – 2601 Fargo Drive, Lot 6, Block 2, Twin Branch Estates; South Sector; Tingting Dong, Owner (public hearing)
- Ordinance Number 2948 – Rezoning – 2601 Fargo Drive, Lot 6, Block 2, Twin Branch Estates; South Sector; Rezone From Jefferson County R-1 To Vestavia Hills R-2; Compatible Zoning For Annexation; Tingting Dong, Owner (public hearing)
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- Ordinance Number 2956 – Annexation – 90 Day Final - 2768 Misty Lane, 2758 And 2764 Rocky Ridge Road; Tamworth, LLC, Owners (*public hearing*)

CITIZEN COMMENTS

Roger Steur asked when the Library will reopen.

Mrs. Tucker, Library Director, explained that the Library Board is looking at renovations that'll last until the first of November. These renovations, along with the COVID-19 concerns, warrant leaving the facility closed until these are completed.

David Harwell, 1803 Catala Road, congratulated Mr. Head for winning a second term on the City Council. He referred back to Item 6, Proclamation for Constitution Week, and stated that the Constitution is 232 years old and is one of the oldest in the world. He stated that he believes this is the only document that protects the people for the government and he felt as though the forefathers were geniuses to craft this document. He offered pocket constitutions for any one who wishes to have a copy.

At 6:47 PM, Mrs. Cook made a motion to adjourn. The meeting adjourned at 6:48 PM.

Ashley C. Curry
Mayor

ATTESTED BY:

Rebecca Leavings
City Clerk

ORDINANCE NUMBER 2947

**ANNEXING CERTAIN TERRITORY TO THE
CORPORATE LIMITS OF THE CITY OF VESTAVIA
HILLS, ALABAMA.**

WHEREAS, on the 28th day of May, 2020, a petition was presented to the City Council of the City of Vestavia Hills, Alabama, proposing the annexation of certain property to the City of Vestavia Hills, Alabama, under the provisions of Act 32 of the Special Session on the Alabama Legislature of 1964; and

WHEREAS, the City Council of the City of Vestavia Hills, at the time and place of its regular meeting on said date, made a determination that the matters contained in the Petition were true and that it was in the public interest that said property be annexed to the City of Vestavia Hills, Alabama.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Vestavia Hills, Alabama, as follows:

1. That the following property which was described in said petition be annexed to the City of Vestavia Hills, Alabama:

2601 Fargo Drive
Lot 6, Block 2, Twin Branch Estates, South Sector
Tingting Dong, Owner(s)

2. That this Annexation shall become effective upon the adoption and approval of this Ordinance in accordance with the provisions of law, after which the heretofore described property shall become a part of the City of Vestavia Hills, Alabama.

3. That the City Clerk be and is hereby directed to publish this Ordinance in accordance with the requirements of the law and to file a copy hereof with the Probate Judge of Jefferson County, Alabama.

ADOPTING and APPROVED this the 28th day of September, 2020.

Rusty Weaver
Mayor Pro-Tem

ATTESTED BY:

Rebecca Leavings
City Clerk

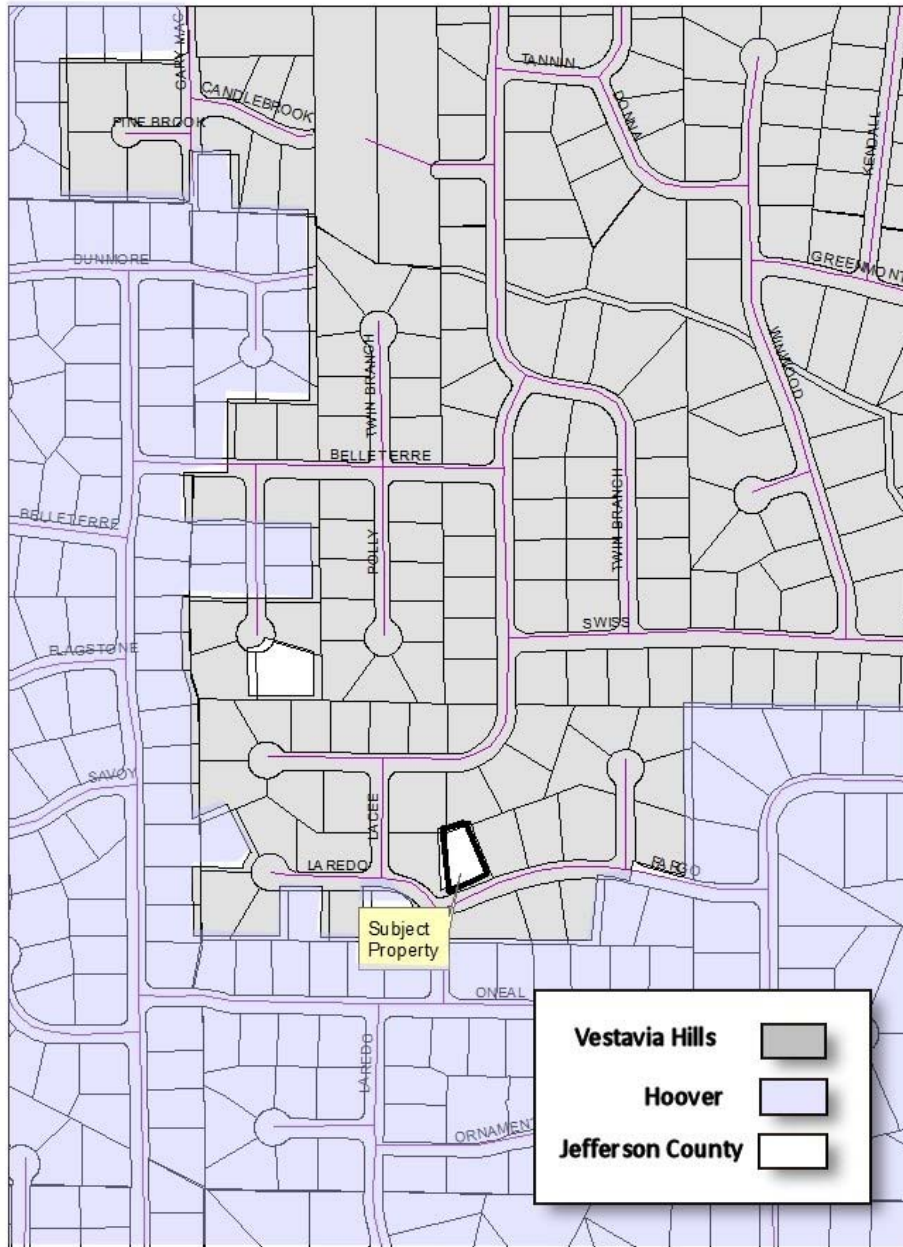
CERTIFICATION:

I, Rebecca Leavings, as City Clerk of the City of Vestavia Hills, Alabama, hereby certify that the above and foregoing copy of 1 (one) Ordinance # 2947 is a true and correct copy of such Ordinance that was duly adopted by the City Council of the City of Vestavia Hills on the 28th day of September, 2020, as same appears in the official records of said City.

Posted at Vestavia Hills Municipal Center, Vestavia Hills Library in the Forest, Vestavia Hills New Merkle House and Vestavia Hills Recreational Center this the _____ day of _____, 2020.

Rebecca Leavings
City Clerk

2601 Fargo Drive



PARCEL #: 39 00 02 3 011 016.000 OWNER: KIM JUNG SHICK & YONG HYUN KIM ADDRESS: 2601 FARGO DR VESTAVIA AL 35226-2308 LOCATION: 2601 FARGO DR BIRMINGHAM AL 35226	Exhibit - Ordinance No. 2947		
	[111-C0]	Baths: 3.0	H/C Sqft: 2,296
	18-055.0	Bed Rooms: 3	Land Sch: G1
	Land: 195,000	Imp: 150,600	Total: 345,600
	Acres: 0.000	Sales Info: 11/01/1997	\$155,000

<< Prev Next >> [1 / 0 Records] Processing ...

Tax Year: 2019 Y

SUMMARY La,Ci BUILDINGS SALE PHOTOGRAPHS MAPS

SUMMARY

ASSESSMENT

PROPERTY CLASS: 3 OVER 65 CODE: X
 EXEMPT CODE: 5-5 DISABILITY CODE:
 MUN CODE: 02 COUNTY HS YEAR: 0
 SCHOOL DIST: EXM OVERRIDE AMT: \$0.00
 OVR ASD VALUE: \$0.00 TOTAL MILLAGE: 50.1

 CLASS USE:
 FOREST ACRES: 0 TAX SALE:
 PREV YEAR VALUE: \$251,300.00 BOE VALUE: 0

VALUE

LAND VALUE 10% \$195,000
 LAND VALUE 20% \$0
 CURRENT USE VALUE [DEACTIVATED] \$0

CLASS 2

CLASS 3
 BLDG 001 111 \$150,600

 TOTAL MARKET VALUE **[APPR. VALUE: \$345,600]:** \$345,600

Assesment Override:

MARKET VALUE:
 CU VALUE:
 PENALTY:
 ASSESSED VALUE:

TAX INFO

	CLASS	MUNCODE	ASSD.VALUE	TAX	EXEMPTION	TAX EXEMPTION	TOTAL TAX
STATE	3	2	\$34,560	\$224.64	\$34,560	\$224.64	\$0.00
COUNTY	3	2	\$34,560	\$466.56	\$34,560	\$466.56	\$0.00
SCHOOL	3	2	\$34,560	\$283.39	\$34,560	\$283.39	\$0.00
DIST SCHOOL	3	2	\$34,560	\$0.00	\$34,560	\$0.00	\$0.00
CITY	3	2	\$34,560	\$0.00	\$34,560	\$0.00	\$0.00
FOREST	3	2	\$0	\$0.00	\$0	\$0.00	\$0.00
SPC SCHOOL1	3	2	\$34,560	\$176.26	\$34,560	\$176.26	\$0.00
SPC SCHOOL2	3	2	\$34,560	\$580.61	\$34,560	\$580.61	\$0.00

ASSD. VALUE: \$34,560.00

\$1,731.46

GRAND TOTAL: \$0.00

FULLY PAID

DEEs

INSTRUMENT NUMBER

DATE

[9713-9982](#)

11/24/1997

PAYMENT INFO

PAY DATE	TAX YEAR	PAID BY	AMOUNT
	2019		\$0.00
	2018		\$0.00
	2017		\$0.00
	2016		\$0.00
	2015		\$0.00
1/5/2015	2014	-	\$955.00
12/31/2013	2013	KIM JUNG SHICK	\$1,040.17
11/16/2012	2012	BAC TAX SERVICES CORPORATION	\$1,039.68
20111208	2011	***	\$1,053.20
20101203	2010	***	\$1,053.20

Annexation Committee Petition Review

Property: 2601 Fargo Drive

Owners: Tingting Dong

Date: 5/04/20

1. The property in question is contiguous to the city limits.

Yes No Comments: _____

2. The land use of the petitioned property is compatible with land use in the area.

Yes No Comments: _____

3. The property being petitioned is noted in the September 2006 Annexation Policy Task Force Report as an area of interest to the city for annexation.

Yes No Comments Study did not include Tyler Rd area too few properties

4. Streets and drainage structures are in substantial compliance with city regulations and building codes, and in good condition at the time of the annexation.

Yes No Comments _____

5. Individual household has a Jefferson or Shelby County Tax Assessor minimum market value of \$345,600. Meets city criteria: Yes No

Comment: _____

6. This street has fewer than 100% of the individual properties within the limits of the city

Yes No All will be in city if Annexed
Number of total homes _____ Number in city _____

7. Fire dues pursuant to Act #604 of the State of Alabama, and any other assessments on the property shall be the responsibility of the property owner, and their payment proven to the city.

Agreed to by petitioner: Yes _____ No _____ Comment n/a

Property: 2601 Fargo Drive

8. A non-refundable administrative fee of \$100 has been paid to the city. Furthermore, voluntary contributions, including an application fee, of \$1728.00 will be paid to offset costs associated with the annexation. Yes No Comment _____

9. Property is free and clear of hazardous waste, debris and materials. Yes No Comment _____

10. Are there any concerns from city departments? Yes No Comments: _____

11. Information on children: Number in family 4; Plan to enroll in VH schools Yes No Comments: 2 kids age 11 + 6

Other Comments: _____

George Pierce
Chairman

CITY OF VESTAVIA HILLS
Department Review of Proposed Annexation
(To be completed by Official City Reviewers)

The following properties have requested to be annexed into the City. Please review this request and then forward your comments to the City Clerk as soon as is reasonably possible.

Location: 2601 Fargo Drive

Engineering; Public Services

Date: 3/20/2020 Initials: CBradley

2601 Fargo Drive – no concerns noted; roadway and valley gutter are in good condition; property is already within a City maintenance area.

Police Department:

Date: 3/18/20 Initials: ...c(JJ_- - -

Comments: No Problems

Fire Department:

Date: Dare b? Initials: ZJ:;;,rre/1

Comments: A/P v.a email

Board of Education:

Date: 3/18/2020 Initials: S Bendall

Comments: n/p via email

**City of Vestavia Hills
Tax Calculator
Homestead Properties**

Exhibit - Ordinance No. 2947

AD VALOREM TAX MILLAGE

<u>Millage Multiplier</u>	
0.02055	Ad valorem to City General Fund: 20.55mills
0.02875	City BOE portion: 28.75 mills
0.0151	District 20 School: 15.1mills
0.0082	Countywide School: 8.2mills
0.05205	Ad valorem to Schools (TOTAL): 52.05mills

ASSESSED VALUE

		Citizen Access Portal Descriptor	Notes
=	2601 Fargo Drive	Property Address	
==>	\$ 345,600	Appraised Value of Property	TOTAL MARKET VALUE
	10%	Assessment Homestead Rate	
	\$34,560.00	Assessed Value	ASSD.VALUE

AD VALOREM REVENUE

		Citizen Access Portal Descriptor	Notes
\$710.21	City portion of ad valorem	(Subset of CITY)	(20.55 mills rate)
\$993.60	BOE portion of ad valorem	(Subset of CITY)	(28.75 mills rate)
\$1,703.81	Total County remits to City for split with BOE	CITY	
\$521.86	SPC DIST1 BOE local rev (County gives directly to BOE)	SPCSCHOOL1	(15.1 mills rate)
\$283.39	Countywide School Tax to VH	SCHOOL	(8.2 mills rate)

TOTAL AD VALOREM REVENUE

\$710.21	Annexation Revenue to CITY	CITY (General Fund portion)	(20.55mills)
\$1,798.85	Annexation Revenue to BOE	SCHOOL+ SPC SCHOOL1 + CITY (BOE portion)	(8.2 mills+ 15.1 mills+ 28.75 mills)
\$2,509.06	TOTAL ANNEXATION REVENUE BENEFIT		

<u>Legend</u>
City Revenue
BOE Revenue

STATE OF ALABAMA

Jefferson COUNTY

**PETITION FOR ANNEXATION TO THE
CITY OF VESTAVIA HILLS, ALABAMA**

Date of Petition: 10/28/19

To the Honorable Mayor and City Council of the City of Vestavia Hills, Alabama:

We, the undersigned owners of the properties set out in red outline in Exhibit "A" attached hereto, which properties are contiguous to the City limits of the City of Vestavia Hills, Alabama, under the authority of Act No. 32 of the Special Session of the Alabama Legislature of 1964, do hereby petition the City of Vestavia Hills, Alabama, that the properties set out in red outline in Exhibit "A" attached, situated in _____ County, Alabama, be annexed to the City of Vestavia Hills, Alabama. The metes and bounds description of the boundary of the property of the undersigned proposed to be annexed is also set out on said Exhibit "A" and a map showing in red the property proposed for annexation by this petition is also attached and made a part hereof.

The undersigned petitioners do further petition that the Honorable Mayor and City Council of the City of Vestavia Hills, Alabama, set a date for the hearing of this petition and any objections in writing to the petition or protest, on a date certain and that no less than ninety (90) days before said date certain for said hearing on this petition, that a notice of said hearing along with this petition be published in a newspaper of general circulation in Jefferson County, Alabama.

We, the undersigned petitioners do also ask that the Honorable Mayor and City Council of the City of Vestavia Hills, Alabama, do all things necessary and requisite to comply with the terms of Act No. 32 of the Special Session of the Alabama Legislature of 1964.

(646)-660-0460

Ting041685@gmail.com

EXHIBIT "A"

LOT: 6

BLOCK: 2

SURVEY: South Sector

RECORDED IN MAP BOOK 85, PAGE 39 IN THE
PROBATE OFFICE OF Jefferson COUNTY, ALABAMA.

COUNTY ZONING: _____

COMPATIBLE CITY ZONING: _____

LEGAL DESCRIPTION (METES AND BOUNDS):

IN WITNESS WHEREOF, the undersigned have hereunto set their hands and seals, or caused these presents to be executed by their duly authorized representatives, with full authority.

SIGNATURE(S)

DESCRIPTION OF PROPERTY

Tingting Dong Lot 6 Block 2 Survey South Sector
 _____ Lot _____ Block _____ Survey _____
 _____ Lot _____ Block _____ Survey _____

(Use reverse side hereof for additional signatures and property descriptions, if needed).

STATE OF ALABAMA

_____ **COUNTY**

_____ being duly sworn says: I am one of the persons who signed the above petition, and I certify that said petition contains the signatures of all the owners of the described property.

Tingting Dong

Signature of Certifier

Subscribed and sworn before me this the 27th day of October, 2019.

[Signature]

Notary Public

My commission expires: 7/03/2023

EXHIBIT "B"

VESTAVIA HILLS BOARD OF EDUCATION

**1204 Montgomery Highway
Vestavia Hills AL 35216**

(To be completed by the City)

Date of Annexation Petition _____ Action Taken: Grant _____
Deny _____

Resolution: Date: _____ Number: _____
Overnight Ordinance: Date: _____ Number: _____
90 Day Final Ordinance: Date: _____ Number: _____

(To be completed by Homeowner)

Name(s) of Homeowner(s): Tingting Dong

Address: 2601 Fargo Dr

City: _____ State: AL Zip: 35226

Information on Children:

**Plan to Enroll In
Vestavia Hills School?**

	Name(s)	Age	School Grade	Yes	No
1.	Jassie Lin	11	7	✓	
2.	Jayden Chen	6	1	✓	
3.					
4.					
5.					
6.					

Approximate date for enrolling students in Vestavia Hills City Schools if above response is "yes": _____

ORDINANCE NUMBER 2948

AN ORDINANCE TO FURTHER AMEND THE ZONING ORDINANCE AND THE ZONING MAP OF THE CITY OF VESTAVIA HILLS, ALABAMA, ADOPTED SEPTEMBER 16, 1985, AND AS LAST AMENDED SO AS TO CHANGE THE CLASS OF DISTRICT ZONING OF PROPERTY FROM JEFFERSON COUNTY R-1 TO VESTAVIA HILLS R-2

BE IT ORDAINED by the City Council of the City of Vestavia Hills, Alabama, as follows: That the Zoning Ordinance and Zoning Map of the City of Vestavia Hills, Alabama, adopted September 16, 1985, and as last amended so as to change the class of district zoning of the following described property from Jefferson County R-1 (medium density residential district) to Vestavia Hills R-2 (medium density residential district):

2601 Fargo Drive
Lot 6, Block 2, Twin Branch Estates, South Sector
Tingting Dong, Owner(s)

APPROVED and ADOPTED this the 28th day of September, 2020.

Rusty Weaver
Mayor Pro-Tem

ATTESTED BY:

Rebecca Leavings
City Clerk

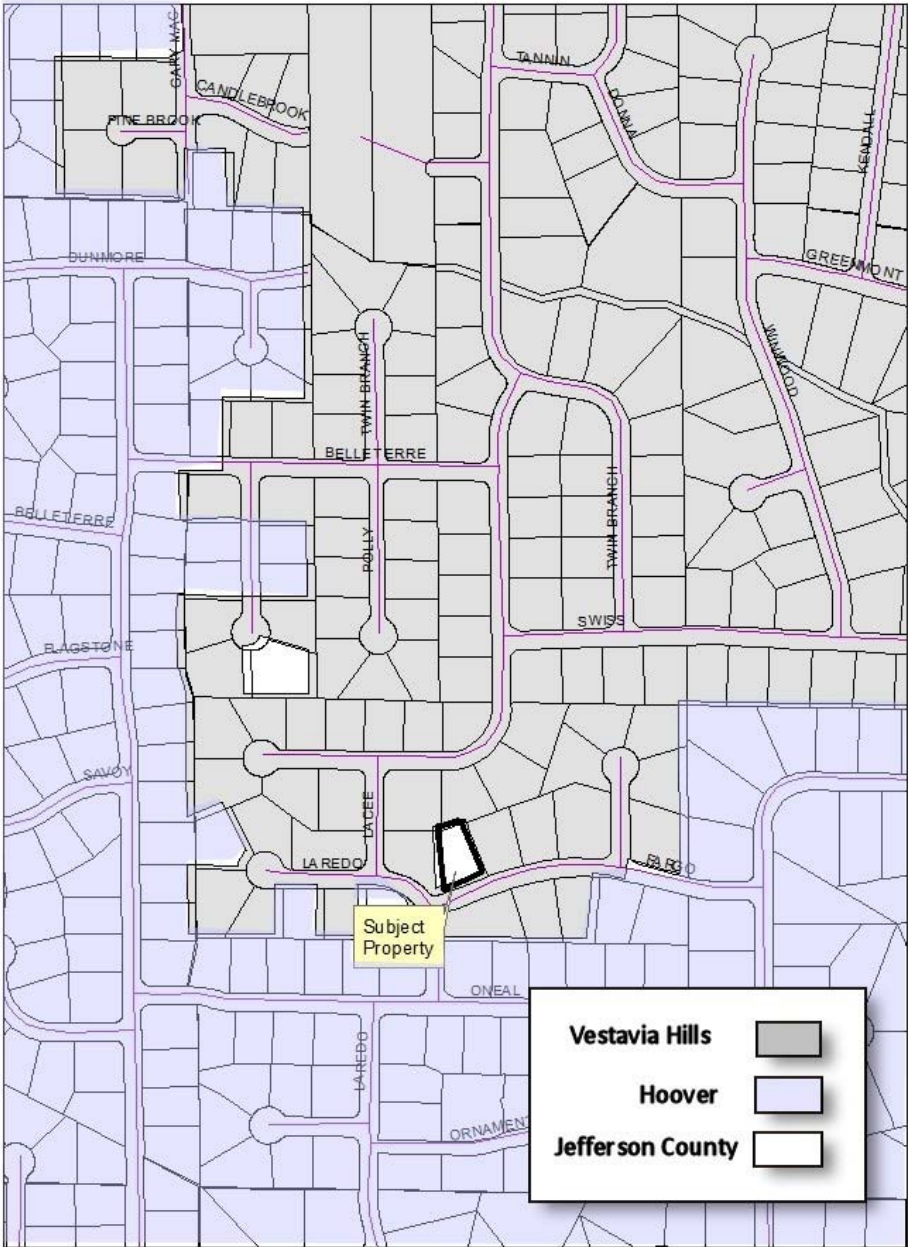
CERTIFICATION:

I, Rebecca Leavings, as City Clerk of the City of Vestavia Hills, Alabama, hereby certify that the above and foregoing copy of 1 (one) Ordinance # 2948 is a true and correct copy of such 28th day of September, 2020, as same appears in the official records of said City.

Posted at Vestavia Hills City Hall, Vestavia Hills Library in the Forest, New Merkle House and Vestavia Hills Recreational Center this the _____ day of _____, 2020.

Rebecca Leavings
City Clerk

2601 Fargo Drive



CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: **JANUARY 9, 2020**

- **CASE: P-0820-20**
- **REQUESTED ACTION:** Rezoning JC R-1 to Vestavia Hills R-2
- **ADDRESS/LOCATION:** 2601 Fargo Dr.
- **APPLICANT/OWNER:** Tingting Dong
- **GENERAL DISCUSSION:** This is a compatible rezoning of annexed property on Fargo Dr. from JC R-1 to VH-R-2. Property was annexed overnight by Ordinance 2881 on 11/13/19.
- **VESTAVIA HILLS COMPREHENSIVE PLAN:** The request is consistent with the plan for low density residential.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation
 2. **City Engineer Review:** I have reviewed the application and I have no issues with this request.
 3. **City Fire Marshal Review:** I have reviewed the application and I have no issues with this request.
 4. **Building Safety Review:** I have reviewed the application and I have no issues with this request.

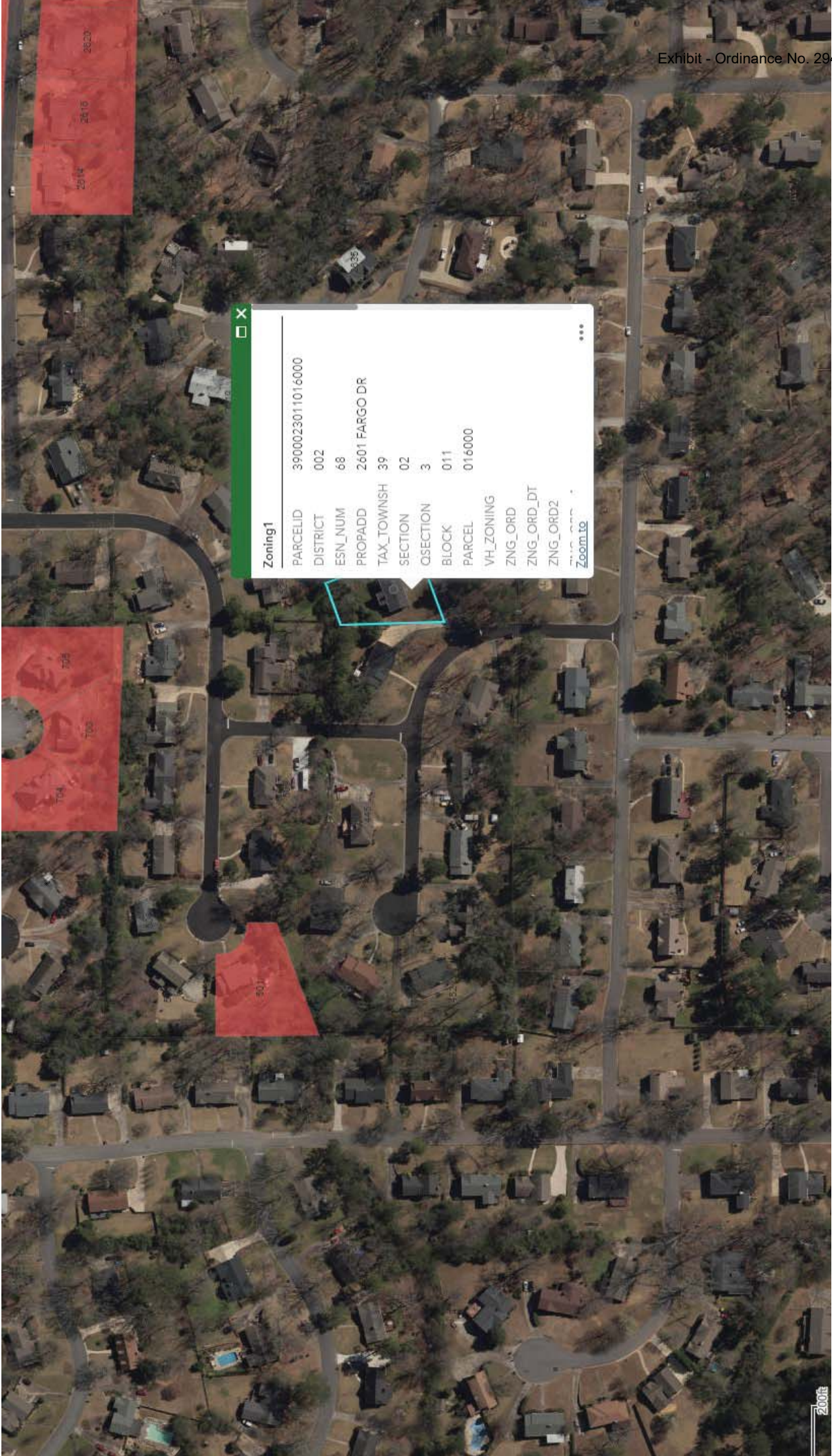
MOTION Mr. Weaver made a motion to recommend Rezoning from JC R-1 to Vestavia Hills R-2 for the property located At 2601 Fargo Dr. Second was by Mr. Sykes. Motion was carried on a roll call; vote as follows:

Mr. Maloof– yes

Mr. Romeo – yes

Mr. Ferrell – yes
Ms. Cobb – yes
Mr. Weaver – yes
Motion carried.

Mr. Sykes– yes
Mr. Vercher – yes
Mrs. Barnes – yes



Zoning1

PARCELID	3900023011016000
DISTRICT	002
ESN_NUM	68
PROPADD	2601 FARGO DR
TAX_TOWNSH	39
SECTION	02
QSECTION	3
BLOCK	011
PARCEL	016000
VH_ZONING	
ZNG_ORD	
ZNG_ORD_DT	
ZNG_ORD2	

Zoom to

200ft

ORDINANCE NUMBER 2949

**ANNEXING CERTAIN TERRITORY TO THE
CORPORATE LIMITS OF THE CITY OF VESTAVIA
HILLS, ALABAMA.**

WHEREAS, on the 28th day of May, 2020, a petition was presented to the City Council of the City of Vestavia Hills, Alabama, proposing the annexation of certain property to the City of Vestavia Hills, Alabama, under the provisions of Act 32 of the Special Session on the Alabama Legislature of 1964; and

WHEREAS, the City Council of the City of Vestavia Hills, at the time and place of its regular meeting on said date, made a determination that the matters contained in the Petition were true and that it was in the public interest that said property be annexed to the City of Vestavia Hills, Alabama.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Vestavia Hills, Alabama, as follows:

1. That the following property which was described in said petition be annexed to the City of Vestavia Hills, Alabama:

2520 Skyland Drive
Lot 11, Blk 2, Dolly Ridge Est.
Keavy and Nathan Ladner, Owner(s)

2. That this Annexation shall become effective upon the adoption and approval of this Ordinance in accordance with the provisions of law, after which the heretofore described property shall become a part of the City of Vestavia Hills, Alabama.

3. That the City Clerk be and is hereby directed to publish this Ordinance in accordance with the requirements of the law and to file a copy hereof with the Probate Judge of Jefferson County, Alabama.

ADOPTING and APPROVED this the 28th day of September, 2020.

Rusty Weaver
Mayor Pro- Tem

ATTESTED BY:

Rebecca Leavings
City Clerk

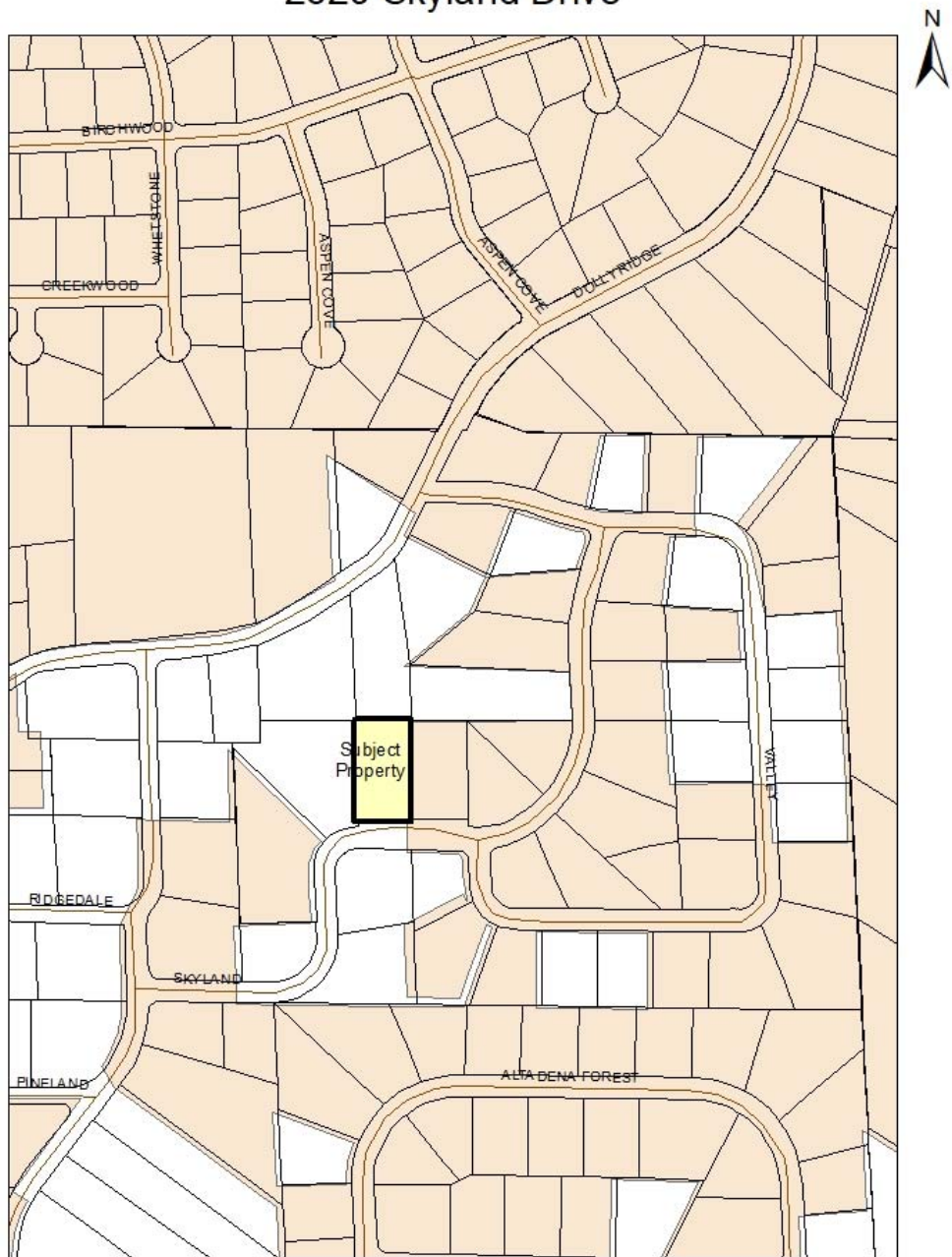
CERTIFICATION:

I, Rebecca Leavings, as City Clerk of the City of Vestavia Hills, Alabama, hereby certify that the above and foregoing copy of 1 (one) Ordinance # 2949 is a true and correct copy of such Ordinance that was duly adopted by the City Council of the City of Vestavia Hills on the 28th day of September, 2020, as same appears in the official records of said City.


Posted at Vestavia Hills Municipal Center, Vestavia Hills Library in the Forest, Vestavia Hills New Merkle House and Vestavia Hills Recreational Center this the _____ day of _____, 2020.

Rebecca Leavings
City Clerk

2520 Skyland Drive



Legend

 Vestavia_Hills_City_Limits

PARCEL #: 28 00 32 4 005 012.001 OWNER: QUIGLEY KEAVY S ADDRESS: 2520 SKYLAND DR VESTAVIA AL 35243-4605 LOCATION: 2520 SKYLAND DR BHAM AL 35243	Exhibit - Ordinance No. 2949		
	[111-C-]	Baths: 2.0	H/C Sqft: 1,794
	18-034.0	Bed Rooms: 3	Land Sch: G1
	Land: 154,000	Imp: 107,800	Total: 261,800
	Acres: 0.000	Sales Info: 02/01/2009	\$213,500

<< Prev Next >> [1 / 0 Records] Processing...

Tax Year : 2019 ▼

SUMMARY LAND BUILDINGS SALES PHOTOGRAPHS MAPS

SUMMARY

ASSESSMENT		VALUE	
PROPERTY CLASS: 3	OVER 65 CODE:	LAND VALUE 10%	\$0
EXEMPT CODE:	DISABILITY CODE:	LAND VALUE 20%	\$0
MUN CODE:	HS YEAR: 0	CURRENT USE VALUE [DEACTIVATED]	\$0
SCHOOL DIST:	EXM OVERRIDE AMT: \$0.00		
OVR ASD VALUE: \$0.00	TOTAL MILLAGE: 8.2		
CLASS USE:		<u>CLASS 2</u>	
FOREST ACRES: 0	TAX SALE:	BLDG 001 111	\$114,600
PREV YEAR VALUE: \$261,800.00	BOE VALUE: 0	BLDG 001 111	\$114,600
		BLDG 001 111	\$111,500
		BLDG 001 111	\$105,500
		OTHER BLDG	\$191,000
		<u>CLASS 3</u>	
		BLDG 001 111	\$107,800
		BLDG 001 111	\$107,800
		BLDG 001 111	\$137,600
		BLDG 001 111	\$130,600
		OTHER BLDG	\$914,600
		TOTAL MARKET VALUE [APPR. VALUE: \$0]:	\$2,035,600

TAX INFO

CLASS	MUNCODE	ASSD. VALUE TAX	EXEMPTION	TAX EXEMPTION	TOTAL TAX
		ASSD. VALUE: \$0.00			
					\$0.00
					GRAND TOTAL: \$0.00

DEEDS

INSTRUMENT NUMBER	DATE	PAYMENT INFO			
		PAY DATE	TAX YEAR	PAID BY	AMOUNT
200902-25964	02/26/2009	12/10/2019	2019	CORELOGIC	\$1,263.62
200664-11018	07/21/2006	12/7/2018	2018	CORELOGIC INC	\$1,071.23
9406-9654	05/26/1994	11/17/2017	2017	CORE LOGIC INC	\$1,036.16
		11/21/2016	2016	CORELOGIC	\$956.00
		10/1/2015	2015	SERVICELINK TITLE COMPANY OF AL, LLC	\$956.00
		12/2/2014	2014	CORELOGIC INC	\$944.98
		11/8/2013	2013	BAC TAX SERVICES CORPORATION	\$944.98
		11/16/2012	2012	BAC TAX SERVICES CORPORATION	\$944.98
		20111212	2011	***	\$956.00
		20101207	2010	***	\$1,005.61
		20091205	2009	***	\$1,005.61
		20081115	2008	***	\$1,021.65
		20071123	2007	***	\$1,128.35
		20061207	2006	***	\$1,796.56
		20051229	2005	***	\$1,736.44
		20041229	2004	***	\$1,661.29

Annexation Committee Petition Review

Property: 2520 Skyland Drive

Owners: Keavy Ladner

Date: 5/04/20

1. The property in question is contiguous to the city limits.
 Yes No Comments: _____

2. The land use of the petitioned property is compatible with land use in the area.
 Yes No Comments: _____

3. The property being petitioned is noted in the September 2006 Annexation Policy Task Force Report as an area of interest to the city for annexation.
 Yes No Comments _____

4. Streets and drainage structures are in substantial compliance with city regulations and building codes, and in good condition at the time of the annexation.
 Yes No Comments no gutter

5. Individual household has a Jefferson or Shelby County Tax Assessor minimum market value of \$261,800. Meets city criteria: Yes No
 Comment: slightly low

6. This street has fewer than 100% of the individual properties within the limits of the city
 Yes No Number of total homes 24 Number in city 17

7. Fire dues pursuant to Act #604 of the State of Alabama, and any other assessments on the property shall be the responsibility of the property owner, and their payment proven to the city.
 Agreed to by petitioner: Yes No Comment _____

Property: 2520 Skyland Drive

8. A non-refundable administrative fee of \$100 has been paid to the city. Furthermore, voluntary contributions, including an application fee, of \$1739 will be paid to offset costs associated with the annexation. Yes No Comment _____

9. Property is ~~free~~ and clear of hazardous waste, debris and materials. Yes No Comment _____

10. Are there any concerns from city departments? Yes No Comments: _____

11. Information on children: Number in family 5; Plan to enroll in VH schools Yes No Comments: Age 12 - not in UN school; Age 3y + Age 4mths Yes in UN.

Other Comments: _____

George Pierce
Chairman

CITY OF VESTAVIA HILLS
Department Review of Proposed Annexation
(To be completed by Official City Reviewers)

The following properties have requested to be annexed into the City. Please review this request and then forward your comments to the City Clerk as soon as is reasonably possible.

Location: 2520 Skyland Drive

Engineering; Public Services

Date: 3/20/2020 Initials: CBerry

2520 Skyland Drive -- no significant concerns noted; roadway is narrow and has no gutter. This area will continue to be a split maintenance responsibility with Jefferson County.

Police Department:

Date: 3/18/2020 Initials: AM

Comments: No problem

Fire Department:

Date: 3/20/2020 Initials: R Farrell

Comments: N/P via email

Board of Education:

Date: 3/18/2020 Initials: J Bendale

Comments: N/P via email

**City of Vestavia Hills
Tax Calculator
Homestead Properties**

Exhibit - Ordinance No. 2949

AD VALOREM TAX MILLAGE

<u>Millage Multiplier</u>		
0.02055	Ad valorem to City General Fund:	20.55 mills
0.02875	City BOE portion:	28.75 mills
0.0151	District 20 School:	15.1 mills
0.0082	Countywide School:	8.2 mills
0.05205	Ad valorem to Schools (TOTAL):	52.05 mills

ASSESSED VALUE

			Citizen Access Portal Descriptor	Notes
====>	2520 Skyland Drive	Property Address		
====>	\$ 261,800	Appraised Value of Property	TOTAL MARKET VALUE	
	10%	Assessment Homestead Rate		
	\$26,180.00	Assessed Value	ASSD. VALUE	

AD VALOREM REVENUE

			Citizen Access Portal Descriptor	Notes
\$538.00	City portion of ad valorem		(Subset of CITY)	(20.55 mills rate)
\$752.68	BOE portion of ad valorem		(Subset of CITY)	(28.75 mills rate)
\$1,290.67	Total County remits to City for split with BOE		CITY	
\$395.32	SPC DIST1 BOE local rev (County gives directly to BOE)		SPC SCHOOL1	(15.1 mills rate)
\$214.68	Countywide School Tax to VH		SCHOOL	(8.2 mills rate)

TOTAL AD VALOREM REVENUE

\$538.00	Annexation Revenue to CITY	CITY (General Fund portion)	(20.55 mills)
\$1,362.67	Annexation Revenue to BOE	SCHOOL + SPC SCHOOL1 + CITY (BOE portion)	(8.2 mills + 15.1 mills + 28.75 mills)
\$1,900.67	TOTAL ANNEXATION REVENUE BENEFIT		

<u>Legend</u>
City Revenue
BOE Revenue

STATE OF ALABAMA

Jefferson COUNTY

**PETITION FOR ANNEXATION TO THE
CITY OF VESTAVIA HILLS, ALABAMA**

Date of Petition: 2/4/2020

To the Honorable Mayor and City Council of the City of Vestavia Hills, Alabama:

We, the undersigned owners of the properties set out in red outline in Exhibit "A" attached hereto, which properties are contiguous to the City limits of the City of Vestavia Hills, Alabama, under the authority of Act No. 32 of the Special Session of the Alabama Legislature of 1964, do hereby petition the City of Vestavia Hills, Alabama, that the properties set out in red outline in Exhibit "A" attached, situated in *Jefferson* County, Alabama, be annexed to the City of Vestavia Hills, Alabama. The metes and bounds description of the boundary of the property of the undersigned proposed to be annexed is also set out on said Exhibit "A" and a map showing in red the property proposed for annexation by this petition is also attached and made a part hereof.

The undersigned petitioners do further petition that the Honorable Mayor and City Council of the City of Vestavia Hills, Alabama, set a date for the hearing of this petition and any objections in writing to the petition or protest, on a date certain and that no less than ninety (90) days before said date certain for said hearing on this petition, that a notice of said hearing along with this petition be published in a newspaper of general circulation in Jefferson County, Alabama.

We, the undersigned petitioners do also ask that the Honorable Mayor and City Council of the City of Vestavia Hills, Alabama, do all things necessary and requisite to comply with the terms of Act No. 32 of the Special Session of the Alabama Legislature of 1964.

KEAVY LADNER
kquigley@southernco.com
423-612-3734

EXHIBIT "A"

LOT: 11

BLOCK: 2

SURVEY: *Dolly Ridge Ests map book 47, page 66*

RECORDED IN MAP BOOK 47, PAGE 66 IN THE PROBATE OFFICE OF *Jefferson*
COUNTY, ALABAMA.

COUNTY ZONING: *E-2*

COMPATIBLE CITY ZONING: *R-1*

LEGAL DESCRIPTION (METES AND BOUNDS):

Lot 11 Block 2 Dolly Ridge Estates - Second Addition

Note - attached 2009 survey also mentions Jefferson County Map Book 76, Page 82 and Map Book 42, Page 80.

IN WITNESS WHEREOF, the undersigned have hereunto set their hands and seals, or caused these presents to be executed by their duly authorized representatives, with full authority.

SIGNATURE(S)

DESCRIPTION OF PROPERTY

Mark Ford Lot 11 Block 2 Survey Dolly Ridge Ests map book 47, page 66

[Signature] Lot 11 Block 2 Survey Dolly Ridge Ests map book 47, page 66

Lot ___ Block ___ Survey _____

(Use reverse side hereof for additional signatures and property descriptions, if needed).

STATE OF ALABAMA

Jefferson COUNTY KEAVY LADNER

[Signature] ~~Staci Houtz Curtis~~ being duly sworn says: I am one of the persons who signed the above petition, and I certify that said petition contains the signatures of all the owners of the described property.

[Signature]
Signature of Certifier

Subscribed and sworn before me this the 4 day of February, 2020.

[Signature]
Notary Public

My Commission Expires
October 31, 2022

My commission expires: _____

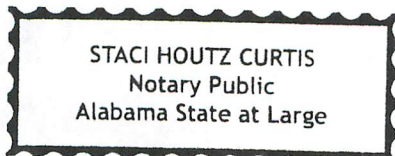
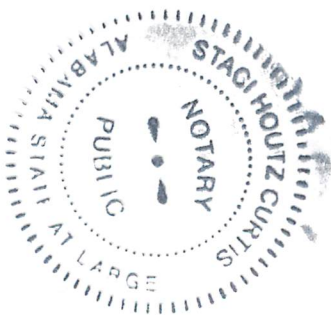


EXHIBIT "B"

VESTAVIA HILLS BOARD OF EDUCATION

1204 Montgomery Highway
Vestavia Hills AL 35216

(To be completed by the City)

Date of Annexation Petition _____ Action Taken: Grant _____
Deny _____
Resolution: Date: _____ Number: _____
Overnight Ordinance: Date: _____ Number: _____
90 Day Final Ordinance: Date: _____ Number: _____

(To be completed by Homeowner)

Name(s) of Homeowner(s): *Nathan & Keavy (Quigley) Ladner*

Address: *2520 Skyland Drive*

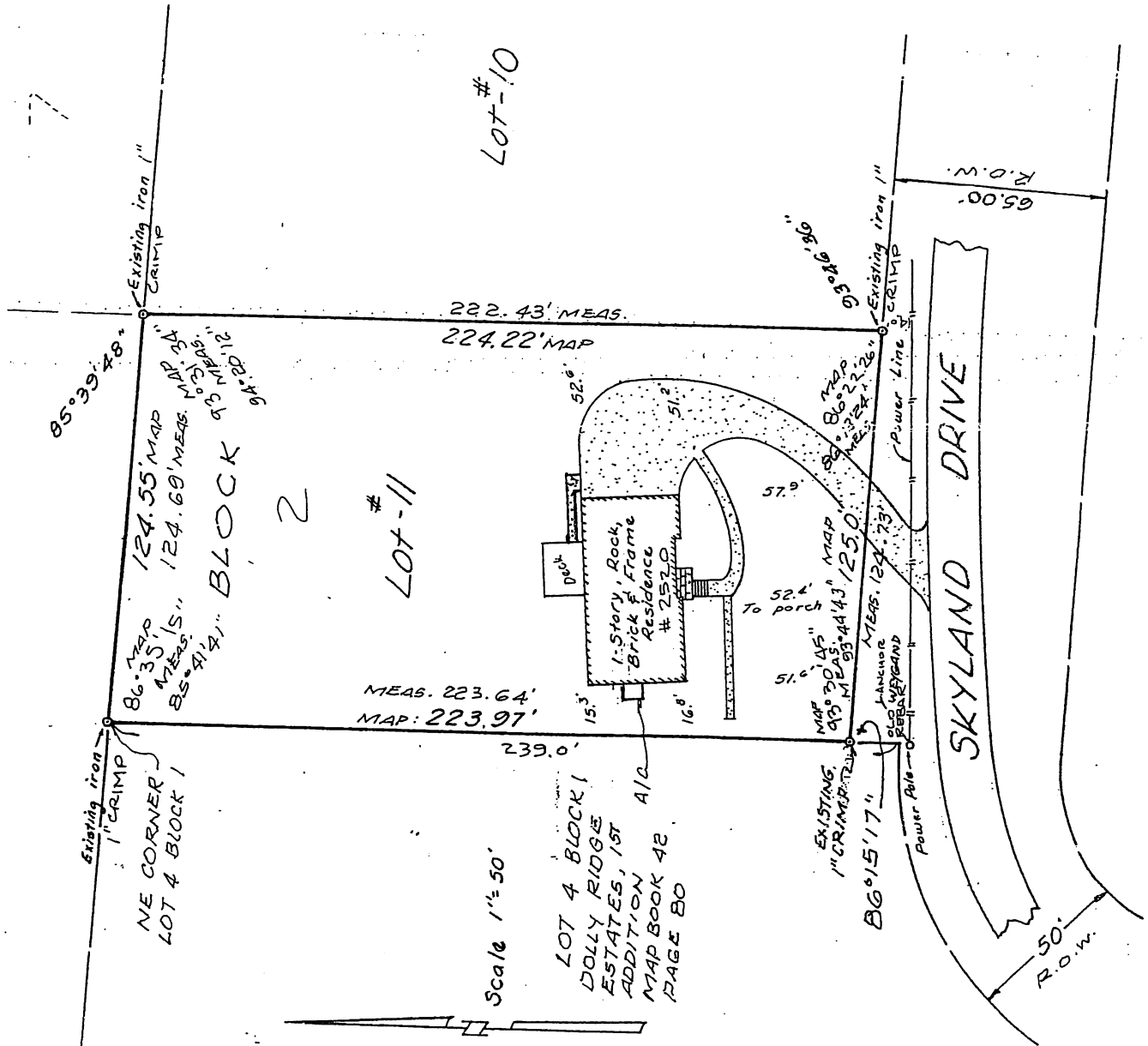
City: *Birmingham* State: *AL* Zip: *35243*

Information on Children:

**Plan to Enroll In
Vestavia Hills School?**

	Name(s)	Age	School Grade	Yes	No
1.	Sarah Belle Ladner	12	6		X
2.	Conor Hugo Ladner	3	3K	X	
3.	Jolee Virginia Ladner	4mo	n/a	X	
4.					
5.					
6.					

Approximate date for enrolling students in Vestavia Hills City Schools if above response is "yes". *Conor: K5 2021-22 school year, Jolee: K5 2024-25 school year*



LEGEND

- ASPH ASPHALT
- BLDG BUILDING
- CALC CALCULATED
- MEAS. MEASURED
- CH CHORD
- LONG CH LONG CHORD
- Δ DEFLECTION
- Δ DELTA
- ESMT. EASEMENT
- HW HEADWALL
- MIN. MINIMUM
- MH MANHOLE
- OH OVERHANG
- POR PORCH
- R RADIUS
- R.O.W. RIGHT OF WAY
- SAN SANITARY
- STIM STORM
- UTIL UTILITY
- AC. ACRES
- S.F. SQUARE FEET
- CL CENTERLINE
- POLE
- ANCHOR ANCHOR
- FENCE FENCE
- POWER LINE POWER LINE
- PAVMT. PAVEMENT
- WITH WITH
- TAN TANGENT
- RES RESIDENCE
- LGT LIGHT
- COV COVERED
- DECK DECK
- CONCRETE CONCRETE
- WALL WALL

ORDINANCE NUMBER 2950

AN ORDINANCE TO FURTHER AMEND THE ZONING ORDINANCE AND THE ZONING MAP OF THE CITY OF VESTAVIA HILLS, ALABAMA, ADOPTED SEPTEMBER 16, 1985, AND AS LAST AMENDED SO AS TO CHANGE THE CLASS OF DISTRICT ZONING OF PROPERTY FROM JEFFERSON COUNTY E-2 TO VESTAVIA HILLS R-1

BE IT ORDAINED by the City Council of the City of Vestavia Hills, Alabama, as follows: That the Zoning Ordinance and Zoning Map of the City of Vestavia Hills, Alabama, adopted September 16, 1985, and as last amended so as to change the class of district zoning of the following described property from Jefferson County E-2 (low density residential district) to Vestavia Hills R-1 (low density residential district):

2520 Skyland Drive
Lot 11, Block 2, Dolly Ridge Estates
Nathan and Keavy Ladner, Owner(s)

APPROVED and ADOPTED this the 28th day of September, 2020.

Rusty Weaver
Mayor Pro-Tem

ATTESTED BY:

Rebecca Leavings
City Clerk

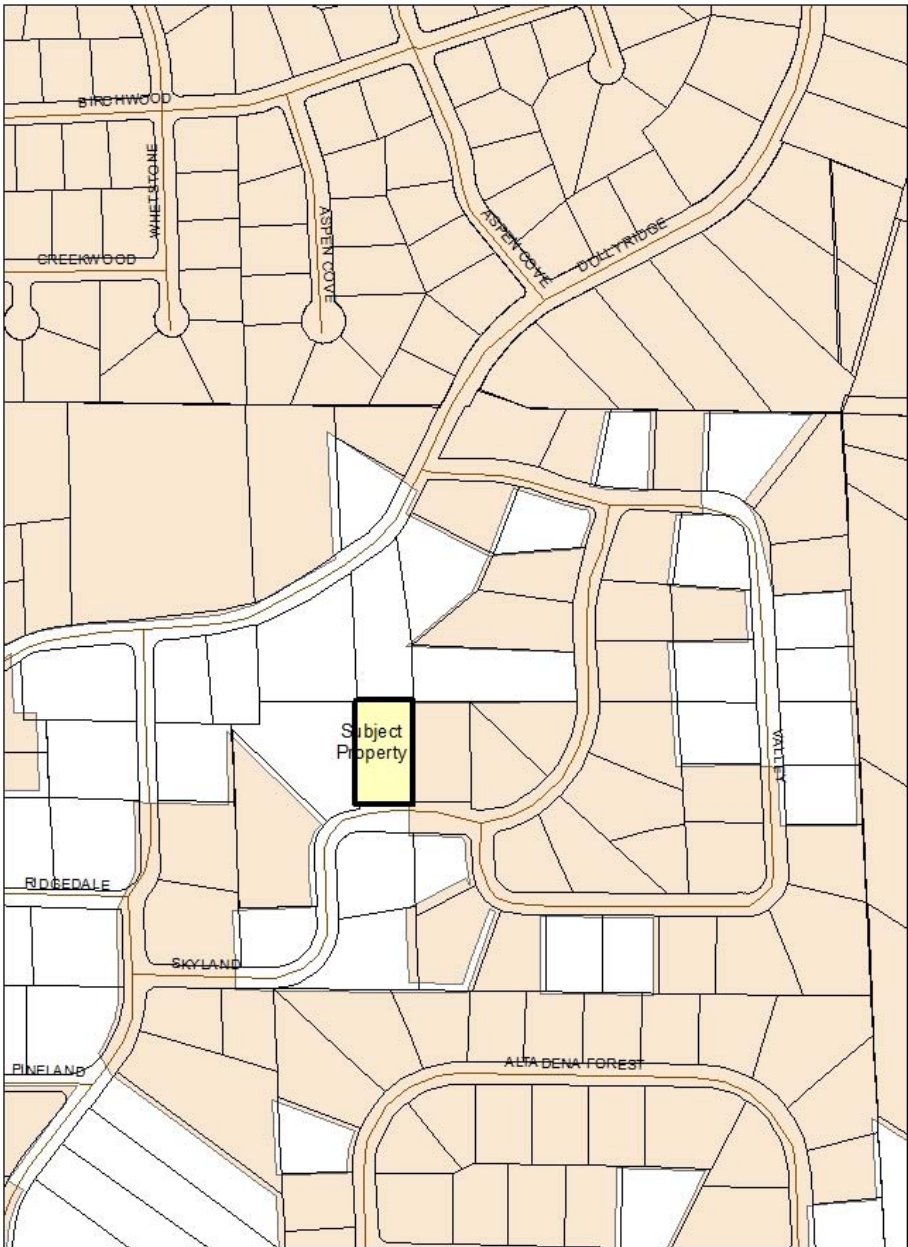
CERTIFICATION:

I, Rebecca Leavings, as City Clerk of the City of Vestavia Hills, Alabama, hereby certify that the above and foregoing copy of 1 (one) Ordinance # 2950 is a true and correct copy of such 28th day of September, 2020, as same appears in the official records of said City.


Posted at Vestavia Hills City Hall, Vestavia Hills Library in the Forest, New Merkle House and Vestavia Hills Recreational Center this the _____ day of _____, 2020.

Rebecca Leavings
City Clerk

2520 Skyland Drive



Legend

 Vestavia_Hills_City_Limits

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: **AUGUST 13, 2020**

- **CASE: P-0820-22**
- **REQUESTED ACTION:** Rezoning JC E-2 to Vestavia Hills R-1
- **ADDRESS/LOCATION:** 2520 Skyland Dr.
- **APPLICANT/OWNER:** Nathan & Keavy Ladner
- **GENERAL DISCUSSION:** This is a compatible rezoning of annexed property on Skyland Dr. from JC E-2 to VH R-1. Property was annexed overnight by Ordinance 2927 on 5/28/20.
- **VESTAVIA HILLS COMPREHENSIVE PLAN:** The request is consistent with the plan for low density residential.
- **STAFF REVIEW AND RECOMMENDATION:**

1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation

2. **City Engineer Review:** I have reviewed the application and I have no issues with this request.
3. **City Fire Marshal Review:** I have reviewed the application and I have no issues with this request.
4. **Building Safety Review:** I have reviewed the application and I have no issues with this request.

MOTION Mr. Weaver made a motion to recommend Rezoning from JC E-2 to Vestavia Hills R-1 for the property located At 2520 Skyland Dr. Second was by Ms. Cobb. Motion was carried on a roll call; vote as follows:

Mr. Maloof– yes
Mr. Ferrell – yes

Mr. Romeo – yes
Mr. Sykes– yes

Ms. Cobb – yes
Mr. Weaver – yes
Motion carried.

Mr. Vercher – yes
Mrs. Barnes – yes



Zoning1	
PARCELID	2800324005012001
DISTRICT	002
ESN_NUM	504
PROPADD	2520 SKYLAND DR
TAX_TOWNSH	28
SECTION	32
QSECTION	4
BLOCK	005
PARCEL	012001
VH_ZONING	
ZNG_ORD	
ZNG_ORD_DT	
ZNG_ORD2	
Zoom to	

ORDINANCE NUMBER 2951

**ANNEXING CERTAIN TERRITORY TO THE
CORPORATE LIMITS OF THE CITY OF VESTAVIA
HILLS, ALABAMA.**

WHEREAS, on the 28th day of May, 2020, a petition was presented to the City Council of the City of Vestavia Hills, Alabama, proposing the annexation of certain property to the City of Vestavia Hills, Alabama, under the provisions of Act 32 of the Special Session on the Alabama Legislature of 1964; and

WHEREAS, the City Council of the City of Vestavia Hills, at the time and place of its regular meeting on said date, made a determination that the matters contained in the Petition were true and that it was in the public interest that said property be annexed to the City of Vestavia Hills, Alabama.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Vestavia Hills, Alabama, as follows:

1. That the following property which was described in said petition be annexed to the City of Vestavia Hills, Alabama:

3652 Altadena Drive
Lot 4, Altadena Acres
Edgar and Cathey Davis, Owner(s)

2. That this Annexation shall become effective upon the adoption and approval of this Ordinance in accordance with the provisions of law, after which the heretofore described property shall become a part of the City of Vestavia Hills, Alabama.

3. That the City Clerk be and is hereby directed to publish this Ordinance in accordance with the requirements of the law and to file a copy hereof with the Probate Judge of Jefferson County, Alabama.

ADOPTING and APPROVED this the 28th day of September, 2020.

Rusty Weaver
Mayor Pro-Tem

ATTESTED BY:

Rebecca Leavings
City Clerk

CERTIFICATION:

I, Rebecca Leavings, as City Clerk of the City of Vestavia Hills, Alabama, hereby certify that the above and foregoing copy of 1 (one) Ordinance # 2951 is a true and correct copy of such Ordinance that was duly adopted by the City Council of the City of Vestavia Hills on the 28th day of September, 2020, as same appears in the official records of said City.

Posted at Vestavia Hills Municipal Center, Vestavia Hills Library in the Forest, Vestavia Hills New Merkle House and Vestavia Hills Recreational Center this the _____ day of _____, 2020.

Rebecca Leavings
City Clerk

3652 Altadena Drive



Legend

	Vestavia_Hi...
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PARCEL #: 28 00 33 2 001 008.000	[111-B0] Baths: 3.5 H/C Sqft: 3,411
OWNER: DAVIS EDGAR J	18-013.0 Bed Rooms: 4 Land Sch: A114
ADDRESS: 3652 ALTADENA DR VESTAVIA AL 35243-2211	Land: 171,200 Imp: 226,000 Total: 397,200
LOCATION: 3652 ALTADENA DR BHAM AL 35243	Acres: 0.000 Sales Info: 11/01/1986 \$139,000

<< Prev Next >> [1 / 0 Records] Processing...

Tax Year : 2019 ▼

SUMMARY LAND BUILDINGS SALES PHOTOGRAPHS MAPS

SUMMARY

ASSESSMENT		VALUE	
PROPERTY CLASS: 3	OVER 65 CODE:	LAND VALUE 10%	\$0
EXEMPT CODE:	DISABILITY CODE:	LAND VALUE 20%	\$0
MUN CODE:	HS YEAR: 0	CURRENT USE VALUE [DEACTIVATED]	\$0
SCHOOL DIST:	EXM OVERRIDE AMT: \$0.00	<u>CLASS 2</u>	
OVR ASD VALUE: \$0.00	TOTAL MILLAGE: 8.2	<u>CLASS 3</u>	
CLASS USE:		POOL GUNITE 60	29G0600 \$22,800
FOREST ACRES: 0	TAX SALE:	BLDG 001	111 \$203,200
PREV YEAR VALUE: \$397,200.00	BOE VALUE: 0	POOL GUNITE 60	29G0600 \$22,800
		BLDG 001	111 \$203,200
		POOL GUNITE 60	29G0600 \$11,900
		POOL GUNITE 60	29G0600 \$11,900
		POOL GUNITE 60	29G0600 \$11,900
		POOL GUNITE 60	29G0600 \$11,900
		POOL GUNITE 60	29G0600 \$11,900
		POOL GUNITE 60	29G0600 \$11,700
		POOL GUNITE 60	29G0600 \$11,700
		POOL GUNITE 60	29G0600 \$11,700
		POOL GUNITE 60	29G0600 \$11,900
		POOL GUNITE 60	29G0600 \$11,900
		POOL GUNITE 60	29G0600 \$11,900
		POOL GUNITE 60	29G0600 \$12,200
		POOL GUNITE 60	29G0600 \$12,000
		POOL GUNITE 60	29G0600 \$11,600
		POOL GUNITE 60	29G0600 \$10,900
		POOL GUNITE 60	29G0600 \$10,600
		POOL GUNITE 60	29G0600 \$10,000
		OTHER BLDG	\$3,065,800
		TOTAL MARKET VALUE [APPR. VALUE: \$0]:	\$3,703,500

TAX INFO					
CLASS	MUNCODE	ASSD. VALUE	TAX	EXEMPTION	TOTAL TAX
		ASSD. VALUE: \$0.00	\$0.00		GRAND TOTAL: \$0.00

DEEDS		PAYMENT INFO			
INSTRUMENT NUMBER	DATE	PAY DATE	TAX YEAR	PAID BY	AMOUNT
3036-330	11/28/1986	1/13/2020	2019	CATHEY G. DAVIS	\$2,053.02
		1/22/2019	2018	CATHEY G. DAVIS	\$1,418.74
		1/19/2018	2017	CATHEY G DAVIS	\$1,423.37
		1/17/2017	2016	-	\$1,533.88
		1/9/2016	2015	-	\$1,538.88
		1/17/2015	2014	CATHEY DAVIS	\$1,442.96
		1/17/2014	2013	-	\$1,635.36
		1/29/2013	2012	DAVIS CATHEY	\$1,720.04
		20111231	2011	***	\$1,741.57
		20101231	2010	***	\$1,716.52

Annexation Committee Petition Review

Property: 3652 Altadena Drive

Owners: Edgar Davis

Date: 5/04/20

1. The property in question is contiguous to the city limits.
Yes No Comments: _____

2. The land use of the petitioned property is compatible with land use in the area.
Yes No Comments: _____

3. The property being petitioned is noted in the September 2006 Annexation Policy Task Force Report as an area of interest to the city for annexation.
Yes No Comments _____

4. Streets and drainage structures are in substantial compliance with city regulations and building codes, and in good condition at the time of the annexation.
Yes No Comments _____

5. Individual household has a Jefferson or Shelby County Tax Assessor minimum market value of \$397,200. Meets city criteria: Yes No
Comment: _____
6. This street has fewer than 100% of the individual properties within the limits of the city
Yes No
Number of total homes 11 Number in city 6
7. Fire dues pursuant to Act #604 of the State of Alabama, and any other assessments on the property shall be the responsibility of the property owner, and their payment proven to the city.
Agreed to by petitioner: Yes No Comment _____

Property: 3652 Altadena Drive

8. A non-refundable administrative fee of \$100 has been paid to the city. Furthermore, voluntary contributions, including an application fee, of \$ 2638 will be paid to offset costs associated with the annexation.
Yes No Comment _____

9. Property is free and clear of hazardous waste, debris and materials.
Yes No Comment _____

10. Are there any concerns from city departments?
Yes No Comments: _____

11. Information on children: Number in family 2; Plan to enroll in VH schools Yes No Comments: _____

Other Comments: _____

George Pierce
Chairman

CITY OF VESTAVIA HILLS
Department Review of Proposed Annexation
(To be completed by Official City Reviewers)

The following properties have requested to be annexed into the City. Please review this request and then forward your comments to the City Clerk as soon as is reasonably possible.

Location: 3652 Altadena Drive

Engineering; Public Services

Date: 3/20/2020 Initials: C Brady

3652 Altadena Drive -- no concerns noted; asphalt and valley gutter in good condition; property is already within a City maintenance area

Police Department:

Date: 3/18/2020 Initials: CVN

Comments: No problems

Fire Department:

Date: 3/20/2020 Initials: M Farrell

Comments: N/P via email

Board of Education:

Date: 3/18/2020 Initials: B Benball

Comments: N/P via email

**City of Vestavia Hills
Tax Calculator
Homestead Properties**

AD VALOREM TAX MILLAGE

<u>Millage Multiplier</u>	
0.02055	Ad valorem to City General Fund: 20.55 mills
0.02875	City BOE portion: 28.75 mills
0.0151	District 20 School: 15.1 mills
0.0082	Countywide School: 8.2 mills
0.05205	Ad valorem to Schools (TOTAL): 52.05 mills

ASSESSED VALUE

		Citizen Access Portal Descriptor	Notes
====>	3652 Altadena Drive	Property Address	
====>	\$ 397,200	Appraised Value of Property	TOTAL MARKET VALUE
	10%	Assessment Homestead Rate	
	\$39,720.00	Assessed Value	ASSD. VALUE

AD VALOREM REVENUE

		Citizen Access Portal Descriptor	Notes
\$816.25	City portion of ad valorem	(Subset of CITY)	(20.55 mills rate)
\$1,141.95	BOE portion of ad valorem	(Subset of CITY)	(28.75 mills rate)
\$1,958.20	Total County remits to City for split with BOE	CITY	
\$599.77	SPC DIST1 BOE local rev (County gives directly to BOE)	SPC SCHOOL1	(15.1 mills rate)
\$325.70	Countywide School Tax to VH	SCHOOL	(8.2 mills rate)

TOTAL AD VALOREM REVENUE

\$816.25	Annexation Revenue to CITY	CITY (General Fund portion)	(20.55 mills)
\$2,067.43	Annexation Revenue to BOE	SCHOOL + SPC SCHOOL1 + CITY (BOE portion)	(8.2 mills + 15.1 mills + 28.75 mills)
\$2,883.67	TOTAL ANNEXATION REVENUE BENEFIT		

<u>Legend</u>
City Revenue
BOE Revenue

STATE OF ALABAMA

Jefferson

COUNTY

PETITION FOR ANNEXATION TO THE
CITY OF VESTAVIA HILLS, ALABAMA

Date of Petition: 2/10/20

To the Honorable Mayor and City Council of the City of Vestavia Hills, Alabama:

We, the undersigned owners of the properties set out in red outline in Exhibit "A" attached hereto, which properties are contiguous to the City limits of the City of Vestavia Hills, Alabama, under the authority of Act No. 32 of the Special Session of the Alabama Legislature of 1964, do hereby petition the City of Vestavia Hills, Alabama, that the properties set out in red outline in Exhibit "A" attached, situated in Jefferson County, Alabama, be annexed to the City of Vestavia Hills, Alabama. The metes and bounds description of the boundary of the property of the undersigned proposed to be annexed is also set out on said Exhibit "A" and a map showing in red the property proposed for annexation by this petition is also attached and made a part hereof.

The undersigned petitioners do further petition that the Honorable Mayor and City Council of the City of Vestavia Hills, Alabama, set a date for the hearing of this petition and any objections in writing to the petition or protest, on a date certain and that no less than ninety (90) days before said date certain for said hearing on this petition, that a notice of said hearing along with this petition be published in a newspaper of general circulation in Jefferson County, Alabama.

We, the undersigned petitioners do also ask that the Honorable Mayor and City Council of the City of Vestavia Hills, Alabama, do all things necessary and requisite to comply with the terms of Act No. 32 of the Special Session of the Alabama Legislature of 1964.

Cathey G. Davis
205-999-8877

Cathey3652@gmail.com

IN WITNESS WHEREOF, the undersigned have hereunto set their hands and seals, or caused these presents to be executed by their duly authorized representatives, with full authority.

<u>SIGNATURE(S)</u>	<u>DESCRIPTION OF PROPERTY</u>
<u>Cathy L Davis</u>	Lot <u>4</u> Block _____ Survey <u>Altadena Acres</u>
<u>Edgar J. Davis</u>	Lot _____ Block _____ Survey _____
_____	Lot _____ Block _____ Survey _____

(Use reverse side hereof for additional signatures and property descriptions, if needed).

STATE OF ALABAMA

Jefferson COUNTY

Cathy L Davis being duly sworn says: I am one of the persons who signed the above petition, and I certify that said petition contains the signatures of all the owners of the described property.

Cathy L Davis
Signature of Certifier

Subscribed and sworn before me this the 10th day of February, 2020.

Jacquelyn D. Jackson
Notary Public
My Commission Expires: July 10, 2023



EXHIBIT "B"

VESTAVIA HILLS BOARD OF EDUCATION

1204 Montgomery Highway
Vestavia Hills AL 35216

(To be completed by the City)

Date of Annexation Petition _____ Action Taken: Grant _____
Deny _____
Resolution: Date: _____ Number: _____
Overnight Ordinance: Date: _____ Number: _____
90 Day Final Ordinance: Date: _____ Number: _____

(To be completed by Homeowner)

Name(s) of Homeowner(s): Edger J. + Cathy Davis
Address: 3652 Altadena Dr.
City: B'ham State: AL Zip: 35243

Information on Children:

**Plan to Enroll In
Vestavia Hills School?**

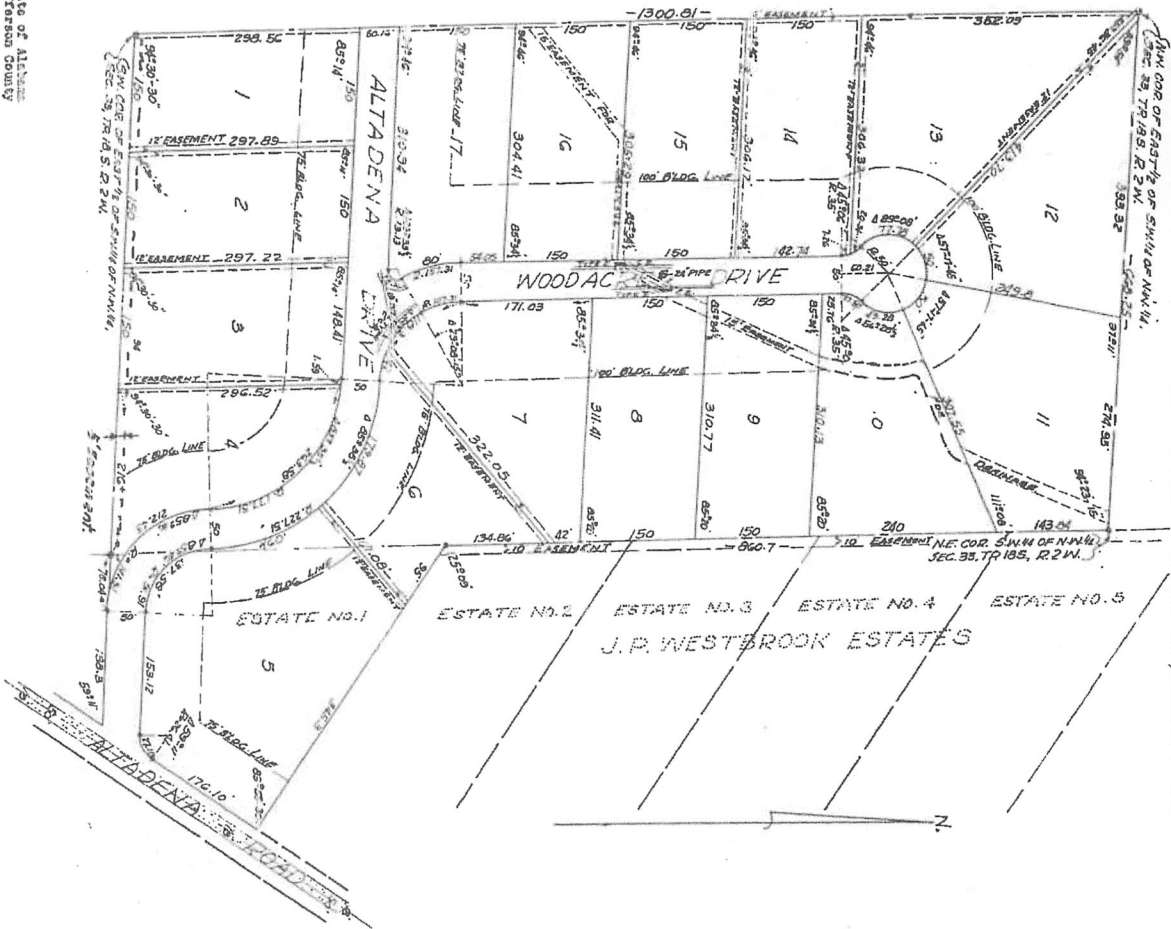
	Name(s)	Age	School Grade	Yes	No
1.	<u>N/A</u>				
2.					
3.					
4.					
5.					
6.					

Approximate date for enrolling students in Vestavia Hills City Schools if above response is "yes". _____

ALTADENA ACRES.

IN THE EAST HALF OF THE SW 1/4 OF NW 1/4, SEC. 33, TP 18 S, R 2 W, AND ESTATE NO. 1 WESTBROOK ESTATES, MAP BOOK 27, PAGE 14, JEFFERSON COUNTY, ALA.

MARCH 1957, A. W. MEADE, SUPERVISOR REG. # 1101, SCALE 1"=100'



State of Alabama
Jefferson County

WE the undersigned A. W. Meade as supervisor and D. B. Odompelt as surveyor of the said territory and described on this map hereby certify that said lots 1-15 and the easement and other parts of said territory are divided and streeted and other public way the number and dimensions of each lot and easement and the location of the same as indicated by the adjacent measurements or bearings and distances in the 5th quarter of H. W. quarter of section 33 township 18 south range 2 west 12th meridian county Jefferson Alabama unless our hands; this the 25th day of April 1957

Witness my hand and the seal of said county this 25th day of April 1957

A. W. Meade
D. B. Odompelt

State of Alabama
Jefferson County

PLANNING & ZONING COMMISSION
JEFFERSON COUNTY
APPROVED AND RECOMMENDED
MARCH 1957

APPROVED AND RECOMMENDED
MARCH 1957

MADE FOR PROJECT
MARCH 1957
M. J. ...

295

ORDINANCE NUMBER 2952

AN ORDINANCE TO FURTHER AMEND THE ZONING ORDINANCE AND THE ZONING MAP OF THE CITY OF VESTAVIA HILLS, ALABAMA, ADOPTED SEPTEMBER 16, 1985, AND AS LAST AMENDED SO AS TO CHANGE THE CLASS OF DISTRICT ZONING OF PROPERTY FROM JEFFERSON COUNTY E-1 TO VESTAVIA HILLS E-2

BE IT ORDAINED by the City Council of the City of Vestavia Hills, Alabama, as follows: That the Zoning Ordinance and Zoning Map of the City of Vestavia Hills, Alabama, adopted September 16, 1985, and as last amended so as to change the class of district zoning of the following described property from Jefferson County E-1 (low density residential district) to Vestavia Hills E-2 (low density residential district):

3652 Altadena Drive
Lot 4, Altadena Acres
Edgar and Cathey Davis, Owner(s)

APPROVED and ADOPTED this the 28th day of September, 2020.

Rusty Weaver
Mayor Pro-Tem

ATTESTED BY:

Rebecca Leavings
City Clerk

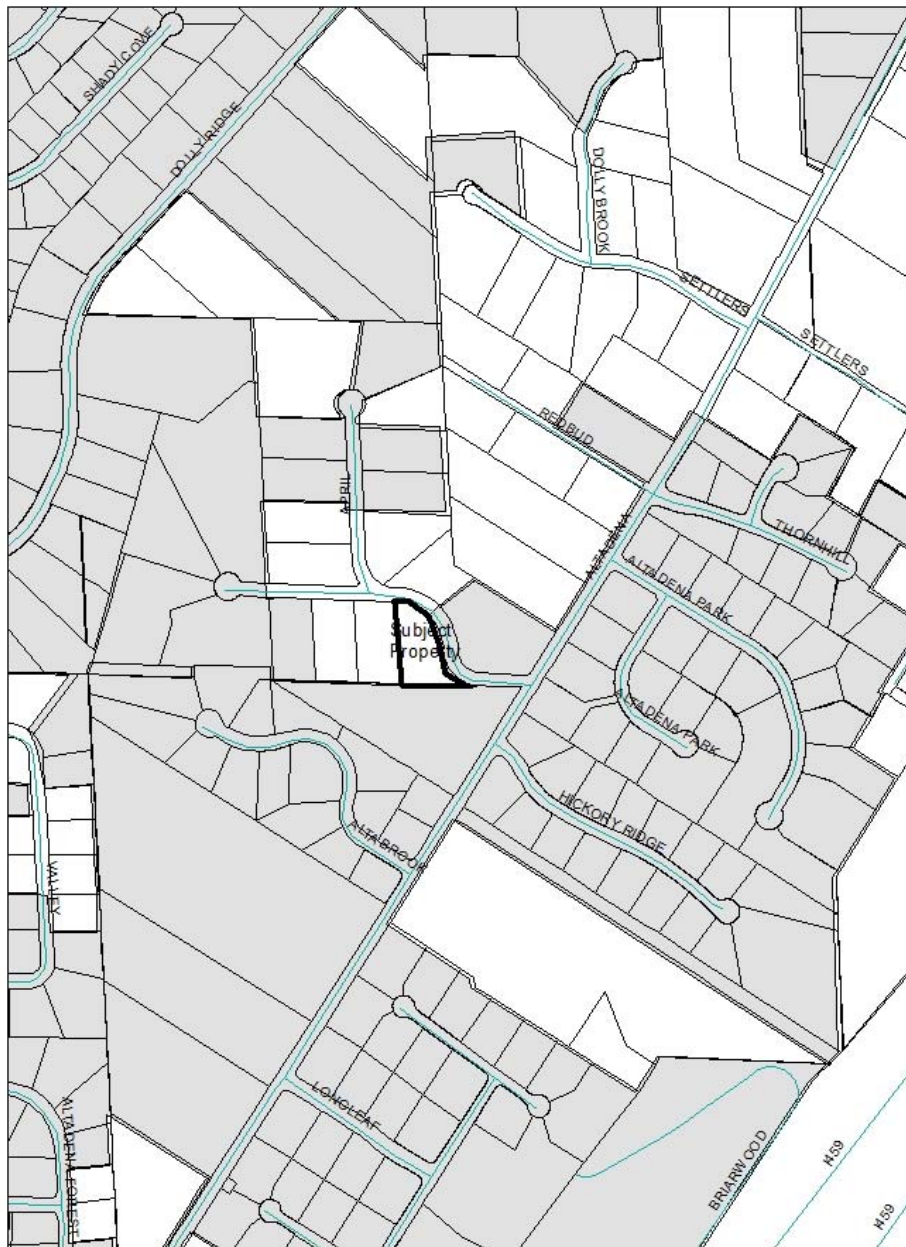
CERTIFICATION:

I, Rebecca Leavings, as City Clerk of the City of Vestavia Hills, Alabama, hereby certify that the above and foregoing copy of 1 (one) Ordinance # 2952 is a true and correct copy of such 28th day of September, 2020, as same appears in the official records of said City.

Posted at Vestavia Hills City Hall, Vestavia Hills Library in the Forest, New Merkle House and Vestavia Hills Recreational Center this the _____ day of _____, 2020.

Rebecca Leavings
City Clerk

3652 Altadena Drive



Legend

	Vestavia_Hi...
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CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: **AUGUST 13, 2020**

- **CASE: P-0820-24**
- **REQUESTED ACTION:** Rezoning JC E-1 to Vestavia Hills E-2
- **ADDRESS/LOCATION:** 3652 Altadena Dr.
- **APPLICANT/OWNER:** Cathey G. Davis
- **GENERAL DISCUSSION:** This is a compatible rezoning of annexed property on Altadena Dr. from JC E-1 to VH E-1. Property was annexed overnight by Ordinance 2928 on 5/28/20.
- **VESTAVIA HILLS COMPREHENSIVE PLAN:** The request is consistent with the plan for low density residential.
- **STAFF REVIEW AND RECOMMENDATION:**

1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation

2. **City Engineer Review:** I have reviewed the application and I have no issues with this request.
3. **City Fire Marshal Review:** I have reviewed the application and I have no issues with this request.
4. **Building Safety Review:** I have reviewed the application and I have no issues with this request.

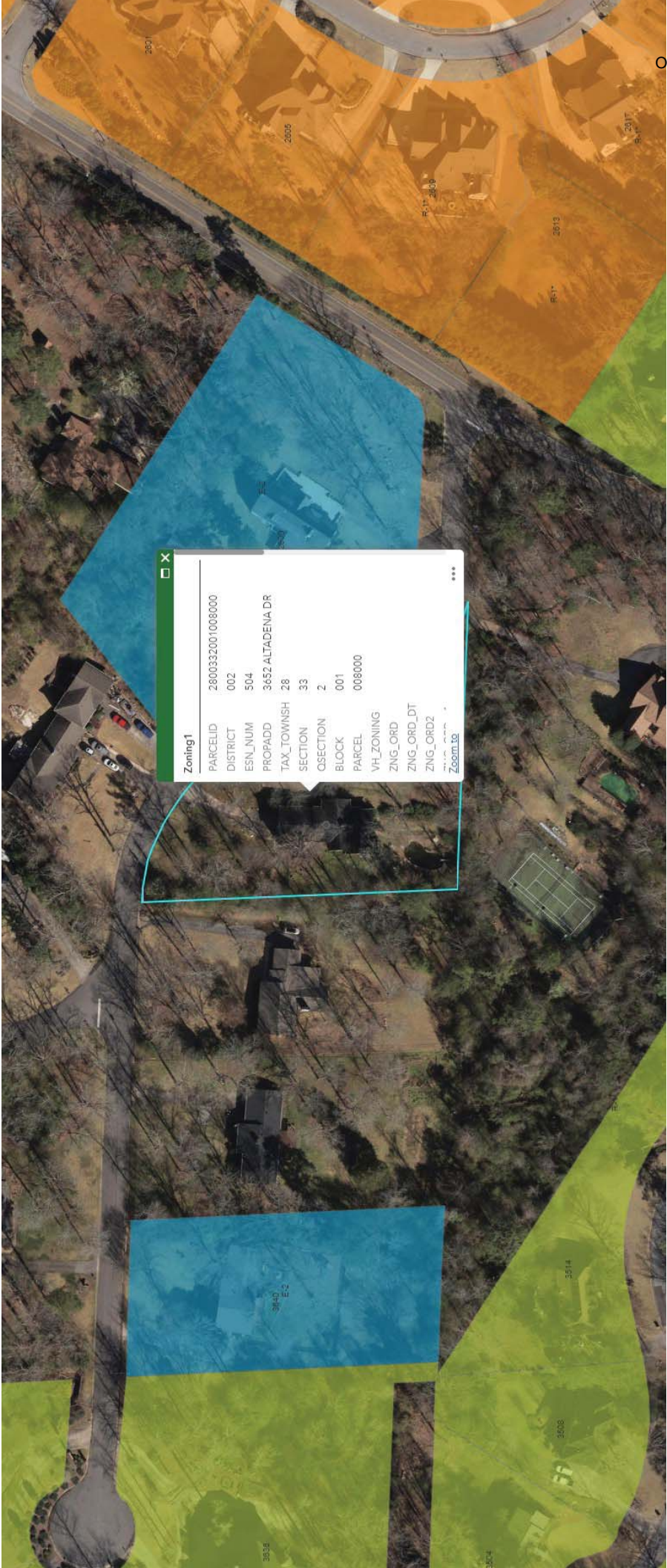
MOTION Mr. Weaver made a motion to recommend Rezoning from JC E-1 to Vestavia Hills E-2 for the property located At 3652 Altadena Dr. Second was by Ms. Cobb. Motion was carried on a roll call; vote as follows:

Mr. Maloof– yes
Mr. Ferrell – yes

Mr. Romeo – yes
Mr. Sykes– yes

Ms. Cobb – yes
Mr. Weaver – yes
Motion carried.

Mr. Vercher – yes
Mrs. Barnes – yes



Zoning1	
PARCELID	2800332001008000
DISTRICT	002
ESN_NUM	504
PROPADD	3652 ALTADENA DR
TAX_TOWNSH	28
SECTION	33
OSECTION	2
BLOCK	001
PARCEL	008000
VH_ZONING	
ZNG_ORD	
ZNG_ORD_DT	
ZNG_ORD2	
Zoom to	

ORDINANCE NUMBER 2953

**ANNEXING CERTAIN TERRITORY TO THE
CORPORATE LIMITS OF THE CITY OF VESTAVIA
HILLS, ALABAMA.**

WHEREAS, on the 28th day of May, 2020, a petition was presented to the City Council of the City of Vestavia Hills, Alabama, proposing the annexation of certain property to the City of Vestavia Hills, Alabama, under the provisions of Act 32 of the Special Session on the Alabama Legislature of 1964; and

WHEREAS, the City Council of the City of Vestavia Hills, at the time and place of its regular meeting on said date, made a determination that the matters contained in the Petition were true and that it was in the public interest that said property be annexed to the City of Vestavia Hills, Alabama.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Vestavia Hills, Alabama, as follows:

1. That the following property which was described in said petition be annexed to the City of Vestavia Hills, Alabama:

2495 Dolly Ridge Trail
Lot 2, Blk 1, Dolly Ridge Est., 1st Add
Patrick and Ellen Pantazis, Owner(s)

2. That this Annexation shall become effective upon the adoption and approval of this Ordinance in accordance with the provisions of law, after which the heretofore described property shall become a part of the City of Vestavia Hills, Alabama.

3. That the City Clerk be and is hereby directed to publish this Ordinance in accordance with the requirements of the law and to file a copy hereof with the Probate Judge of Jefferson County, Alabama.

ADOPTING and APPROVED this the 28th day of September, 2020.

Rusty Weaver
Mayor Pro-Tem

ATTESTED BY:

Rebecca Leavings
City Clerk

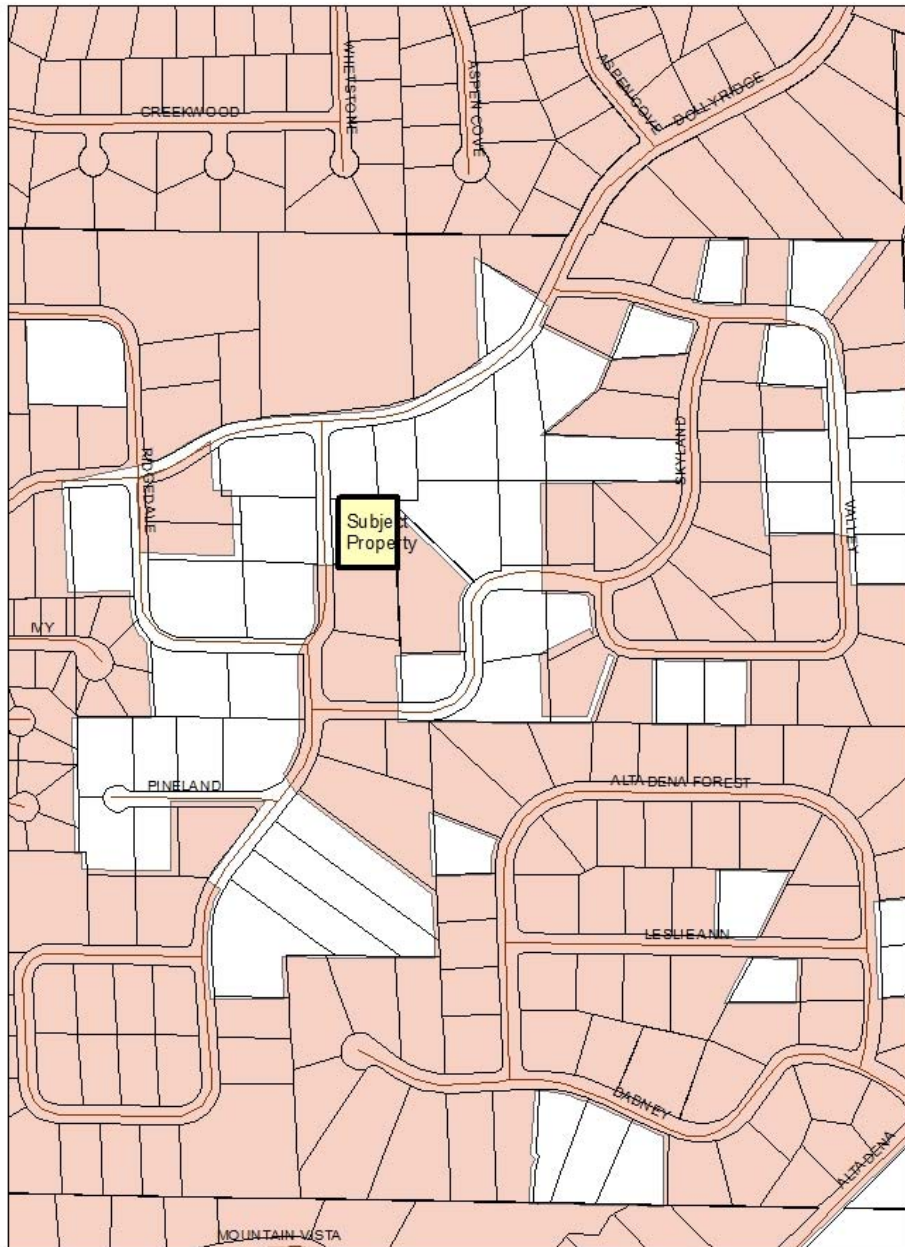
CERTIFICATION:

I, Rebecca Leavings, as City Clerk of the City of Vestavia Hills, Alabama, hereby certify that the above and foregoing copy of 1 (one) Ordinance # 2953 is a true and correct copy of such Ordinance that was duly adopted by the City Council of the City of Vestavia Hills on the 28th day of September, 2020, as same appears in the official records of said City.


Posted at Vestavia Hills Municipal Center, Vestavia Hills Library in the Forest, Vestavia Hills New Merkle House and Vestavia Hills Recreational Center this the _____ day of _____, 2020.

Rebecca Leavings
City Clerk

2495 Dolly Ridge Trail



Legend

 Vestavia_Hills_City_Limits

PARCEL #: 28 00 32 4 005 007.000
OWNER: PANTAZIS PATRICK LEE & SAVAGE ELLEN LINDSEY
ADDRESS: 2495 DOLLY RIDGE TRL BIRMINGHAM AL 35243-4626
LOCATION: 2495 DOLLY RIDGE TRL BHAM AL 35243

Exhibit - Ordinance No. 2953
[111-C-] Baths: **2.0** H/C Sqft: **1,568**
18-034.0 Bed Rooms: **4** Land Sch: **G1**
 Land: **154,000** Imp: **101,200** Total: **255,200**
 Acres: **0.000** Sales Info: **07/27/2012 \$196,750**

<< Prev Next >> [1 / 0 Records] Processing...

Tax Year : 2019 ▼

SUMMARY LAND BUILDINGS SALES PHOTOGRAPHS MAPS

SUMMARY

ASSESSMENT		VALUE	
PROPERTY CLASS: 3	OVER 65 CODE:	LAND VALUE 10%	\$0
EXEMPT CODE:	DISABILITY CODE:	LAND VALUE 20%	\$0
MUN CODE:	HS YEAR: 0	CURRENT USE VALUE [DEACTIVATED]	\$0
SCHOOL DIST:	EXM OVERRIDE AMT: \$0.00	CLASS 2	
OVR ASD VALUE: \$0.00	TOTAL MILLAGE: 8.2	BLDG 001 111	\$99,700
CLASS USE:		BLDG 001 111	\$101,600
FOREST ACRES: 0 TAX SALE:		CLASS 3	
PREV YEAR VALUE: \$255,200.00	BOE VALUE: 0	BLDG 001 111	\$101,200
		BLDG 001 111	\$101,200
		BLDG 001 111	\$119,900
		BLDG 001 111	\$113,800
		OTHER BLDG	\$1,208,200
		TOTAL MARKET VALUE [APPR. VALUE: \$0]:	\$1,845,600

TAX INFO					
CLASS	MUNCODE	ASSD. VALUE	TAX	EXEMPTION	TOTAL TAX
		ASSD. VALUE: \$0.00	\$0.00		GRAND TOTAL: \$0.00

DEEDS		PAYMENT INFO			
INSTRUMENT NUMBER	DATE	PAY DATE	TAX YEAR	PAID BY	AMOUNT
201217-4843	7/27/2012	12/10/2019	2019	CORELOGIC	\$1,230.55
4221-153	03/09/1992	12/7/2018	2018	CORELOGIC INC	\$1,001.09
		11/17/2017	2017	CORE LOGIC INC	\$970.03
		12/8/2016	2016	LERETA	\$908.91
		11/20/2015	2015	LERETA	\$908.91
		12/5/2014	2014	LERETA	\$899.89
		11/12/2013	2013	LERETA LLC	\$899.89
		1/2/2013	2012	BANCORPSOUTH MTG CENTER	\$1,909.78
		20111231	2011	***	\$1,928.82
		20101231	2010	***	\$961.01
		20091228	2009	***	\$961.01
		20081217	2008	***	\$975.55
		20071231	2007	***	\$1,134.36
		20061213	2006	***	\$848.79
		20051231	2005	***	\$841.29
		20041216	2004	***	\$804.21
		20031125	2003	***	\$687.98
		20021119	2002	***	\$589.78
		20011101	2001	***	\$589.78

Annexation Committee Petition Review

Property: 2495 Dolly Ridge Trail

Owners: Patrick Pantazis

Date: 5/04/20

1. The property in question is contiguous to the city limits.
 Yes No Comments: _____

2. The land use of the petitioned property is compatible with land use in the area.
 Yes No Comments: _____

3. The property being petitioned is noted in the September 2006 Annexation Policy Task Force Report as an area of interest to the city for annexation.
 Yes No Comments _____

4. Streets and drainage structures are in substantial compliance with city regulations and building codes, and in good condition at the time of the annexation.
 Yes No Comments NO GUTTERS but
no significant concerns

5. Individual household has a Jefferson or Shelby County Tax Assessor minimum market value of \$255,200. Meets city criteria: Yes No
 Comment: will be w/ Annexation

6. This street has fewer than 100% of the individual properties within the limits of the city
 Yes No Number of total homes 40 Number in city 27

7. Fire dues pursuant to Act #604 of the State of Alabama, and any other assessments on the property shall be the responsibility of the property owner, and their payment proven to the city.
 Agreed to by petitioner: Yes No Comment _____

Property: 2495 Dolly Ridge Trail

8. A non-refundable administrative fee of \$100 has been paid to the city. Furthermore, voluntary contributions, including an application fee, of \$ 1695.38 will be paid to offset costs associated with the annexation. Yes No Comment _____

9. Property is free and clear of hazardous waste, debris and materials. Yes No Comment _____

10. Are there any concerns from city departments? Yes No Comments: _____

11. Information on children: Number in family 3; Plan to enroll in VH schools Yes No Comments: 1 child age 1 year

Other Comments: _____

George Pierce
Chairman

CITY OF VESTAVIA HILLS
Department Review of Proposed Annexation
(To be completed by Official City Reviewers)

The following properties have requested to be annexed into the City. Please review this request and then forward your comments to the City Clerk as soon as is reasonably possible.

Location: 2495 Dolly Ridge Trail

Engineering; Public Services

Date: 3/26/20 Initials: C. Brady

2495 Dolly Ridge Trail -- no significant concerns noted; roadway is narrow and has no gutter or other drainage improvements; some minor rutting along edge of pavement near mailbox and driveway exists; this area will still remain split maintenance responsibility with Jefferson County. _____

Police Department:

Date: 3/18/20 Initials: CD

Comments: No problem

Fire Department:

Date: 3/20/2020 Initials: R Farrell

Comments: N/P via email

Board of Education:

Date: 3/18/2020 Initials: S. Bendall

Comments: N/P via email

**City of Vestavia Hills
Tax Calculator
Homestead Properties**

Exhibit - Ordinance No. 2953

AD VALOREM TAX MILLAGE

<u>Millage Multiplier</u>		
0.02055	Ad valorem to City General Fund:	20.55 mills
0.02875	City BOE portion:	28.75 mills
0.0151	District 20 School:	15.1 mills
0.0082	Countywide School:	8.2 mills
0.05205	Ad valorem to Schools (TOTAL):	52.05 mills

ASSESSED VALUE

			Citizen Access Portal Descriptor	Notes
====>	2495 Dolly Ridge Trail	Property Address		
====>	\$ 255,200	Appraised Value of Property	TOTAL MARKET VALUE	
	10%	Assessment Homestead Rate		
	\$25,520.00	Assessed Value	ASSD. VALUE	

AD VALOREM REVENUE

			Citizen Access Portal Descriptor	Notes
\$524.44	City portion of ad valorem		(Subset of CITY)	(20.55 mills rate)
\$733.70	BOE portion of ad valorem		(Subset of CITY)	(28.75 mills rate)
\$1,258.14	Total County remits to City for split with BOE		CITY	
\$385.35	SPC DIST1 BOE local rev (County gives directly to BOE)		SPC SCHOOL1	(15.1 mills rate)
\$209.26	Countywide School Tax to VH		SCHOOL	(8.2 mills rate)

TOTAL AD VALOREM REVENUE

\$524.44	Annexation Revenue to CITY	CITY (General Fund portion)	(20.55 mills)
\$1,328.32	Annexation Revenue to BOE	SCHOOL + SPC SCHOOL1 + CITY (BOE portion)	(8.2 mills + 15.1 mills + 28.75 mills)
\$1,852.75	TOTAL ANNEXATION REVENUE BENEFIT		

<u>Legend</u>
City Revenue
BOE Revenue

Patrick and Ellen Pantazis
2495 Dolly Ridge Trail
Birmingham, AL 35243
(205) 240-8516
patrickpantazis@gmail.com

September 20, 2019

VIA Hand Delivery

Mayor and City Council
City of Vestavia Hills

RE: *Consideration of Annexation - 2495 Dolly Ridge Trail Birmingham, AL 35243*

Council:

We are writing this letter to petition the annexation of our property (2495 Dolly Ridge Trail Birmingham, AL 35243) into Vestavia Hills. Please find enclosed our petition with documentation for your review.

We both have grown up and been educated in Vestavia and feel we are already part of this community. Originally when we purchased this property in 2012, we inquired with the city about annexation and were informed that annexation applications were not being accepted at that time.

In the past seven (7) years, our neighborhood has grown and changed. Rocky Ridge has added new restaurants and businesses that our family regularly use and enjoy. Additionally, many homes and/or properties have applied for annexation and been annexed into Vestavia.

Our family realizes that being part of Vestavia will bring many great returns on investment: education; garbage/disposal services; police/fire services; increase in property value and much more. We believe that our family will add value as well. Therefore, we ask that the council review our petition for annexation.

If there is anything else that the council needs related to this petition, please feel free to let us know.

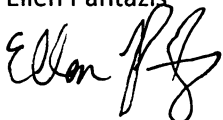
Again, we thank the council for consideration of this petition.

Sincerely,

Patrick Pantazis



Ellen Pantazis



STATE OF ALABAMA

Jefferson

COUNTY

PETITION FOR ANNEXATION TO THE

CITY OF VESTAVIA HILLS, ALABAMA

Date of Petition: September 19, 2019

To the Honorable Mayor and City Council of the City of Vestavia Hills, Alabama:

We, the undersigned owners of the properties set out in red outline in Exhibit "A" attached hereto, which properties are contiguous to the City limits of the City of Vestavia Hills, Alabama, under the authority of Act No. 32 of the Special Session of the Alabama Legislature of 1964, do hereby petition the City of Vestavia Hills, Alabama, that the properties set out in red outline in Exhibit "A" attached, situated in Jefferson County, Alabama, be annexed to the City of Vestavia Hills, Alabama. The metes and bounds description of the boundary of the property of the undersigned proposed to be annexed is also set out on said Exhibit "A" and a map showing in red the property proposed for annexation by this petition is also attached and made a part hereof.

The undersigned petitioners do further petition that the Honorable Mayor and City Council of the City of Vestavia Hills, Alabama, set a date for the hearing of this petition and any objections in writing to the petition or protest, on a date certain and that no less than ninety (90) days before said date certain for said hearing on this petition, that a notice of said hearing along with this petition be published in a newspaper of general circulation in Jefferson County, Alabama.

We, the undersigned petitioners do also ask that the Honorable Mayor and City Council of the City of Vestavia Hills, Alabama, do all things necessary and requisite to comply with the terms of Act No. 32 of the Special Session of the Alabama Legislature of 1964.

205-240-8516

Patrick Pantazis@gmail.com.

EXHIBIT "A"

LOT: 3

BLOCK: 1

SURVEY: 16 16

RECORDED IN MAP BOOK 42, PAGE 80 IN THE
PROBATE OFFICE OF Jefferson COUNTY, ALABAMA.



COUNTY ZONING: JCE-2

COMPATIBLE CITY ZONING: VH R-2

LEGAL DESCRIPTION (METES AND BOUNDS):

Parcel # 28 - 32 - 4 - 005 - 007
see attached

IN WITNESS WHEREOF, the undersigned have hereunto set their hands and seals, or caused these presents to be executed by their duly authorized representatives, with full authority.

<u>SIGNATURE(S)</u>	<u>DESCRIPTION OF PROPERTY</u>
	Lot <u>3</u> Block <u>1</u> Survey <u>1616</u>
	Lot <u>3</u> Block <u>1</u> Survey <u>1616</u>
	Lot _____ Block _____ Survey _____

(Use reverse side hereof for additional signatures and property descriptions, if needed).

STATE OF ALABAMA

Jefferson

COUNTY

Patrick Pantazis

being duly sworn says: I am one of the persons who signed the above petition, and I certify that said petition contains the signatures of all the owners of the described property.



Signature of Certifier

Subscribed and sworn before me this the 20th day of September, 2019.

Tammy B. Todd
Notary Public

My commission expires: 8/28/2022

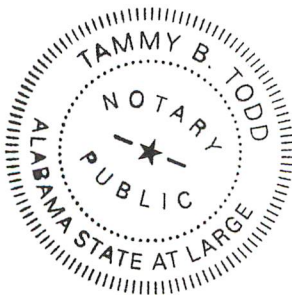


EXHIBIT "B"

VESTAVIA HILLS BOARD OF EDUCATION

**1204 Montgomery Highway
Vestavia Hills AL 35216**

(To be completed by the City)

Date of Annexation Petition _____ Action Taken: Grant _____
Deny _____
Resolution: Date: _____ Number: _____
Overnight Ordinance: Date: _____ Number: _____
90 Day Final Ordinance: Date: _____ Number: _____

(To be completed by Homeowner)

Name(s) of Homeowner(s): Patrick & Ellen Pantazis
Address: 2495 Dolly Ridge Trl
City: Bham State: AL Zip: 35243

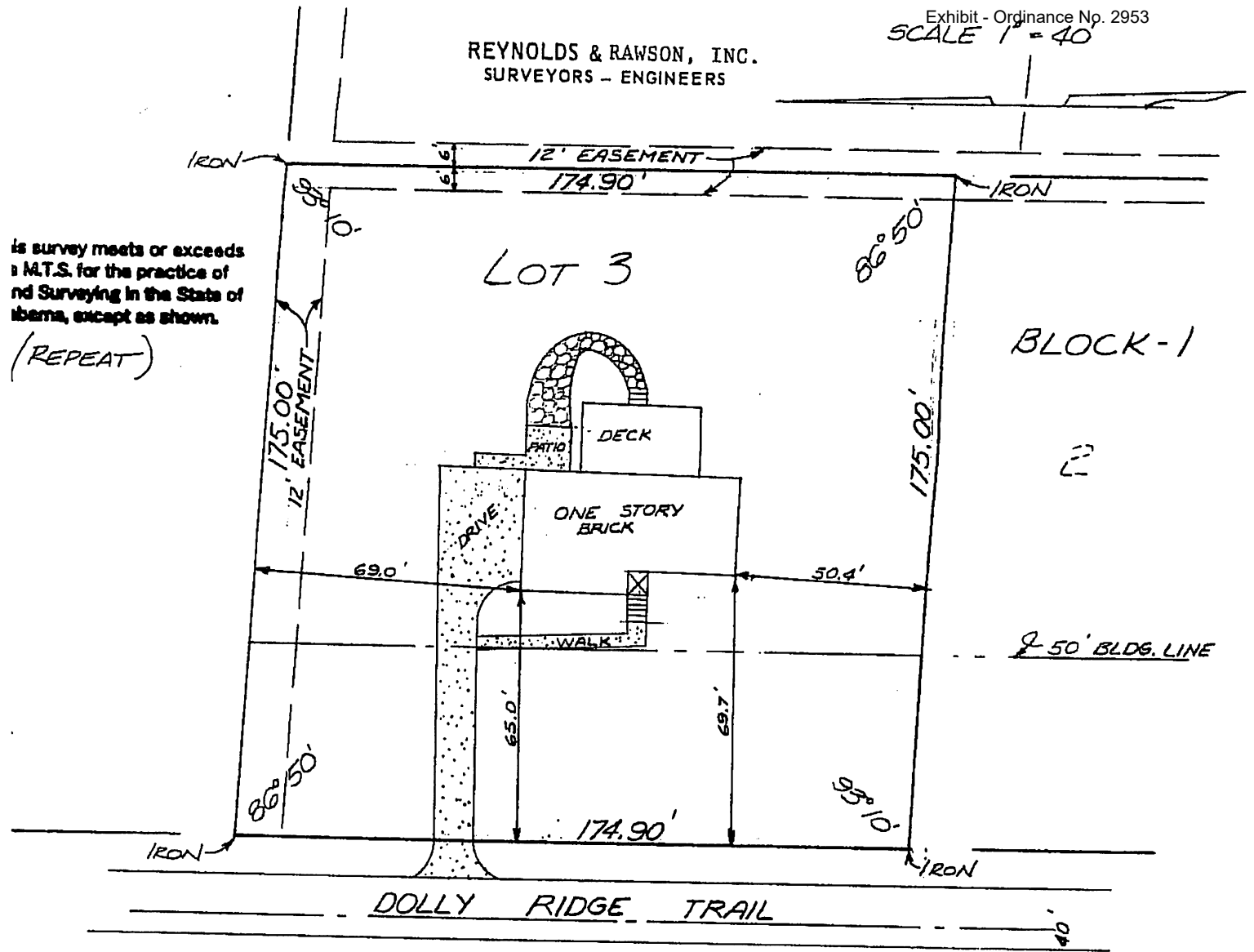
Information on Children:

**Plan to Enroll In
Vestavia Hills School?**

	Name(s)	Age	School Grade	Yes	No
1.	Virginia Lee Pantazis	1		X	
2.					
3.					
4.					
5.					
6.					

Approximate date for enrolling students in Vestavia Hills City Schools if above response is "yes": 2024

REYNOLDS & RAWSON, INC.
SURVEYORS - ENGINEERS



is survey meets or exceeds
M.T.S. for the practice of
and Surveying in the State of
Alabama, except as shown.

(REPEAT)

This is to certify that I have consulted the
U. S. Department of the Interior Geological
Survey Map No. 161C and found that this
property is not located in a special
flood-prone area.



STATE OF ALABAMA,
JEFFERSON COUNTY

I, Melvin R. Reynolds, a Registered Surveyor, do hereby

certify that this is a true and correct plat or map of Lot 3, Block 1 of
DOLLY RIDGE ESTATES FIRST ADDITION, as recorded in Map

Book 42 Page 30 in the office of the Judge of Probate in Jefferson County, Alabama. The
buildings on said premises are within the lines of same, and there are no visible encroachments of buildings, rights of way,
easements or joint driveways over or across said land except as shown; there are no visible encroachments by electric or tele-
phone wires (excluding wires which serve the premises only) or structures or supports therefor, including poles, anchors and guy
wires, on or over said premises except as shown.

According to my survey this the 3RD day of MARCH 1992

Pur: WALKER
Add: 2495 Dolly Ridge Trail

Melvin R. Reynolds

List

Address, city, ZIP, neighborhood



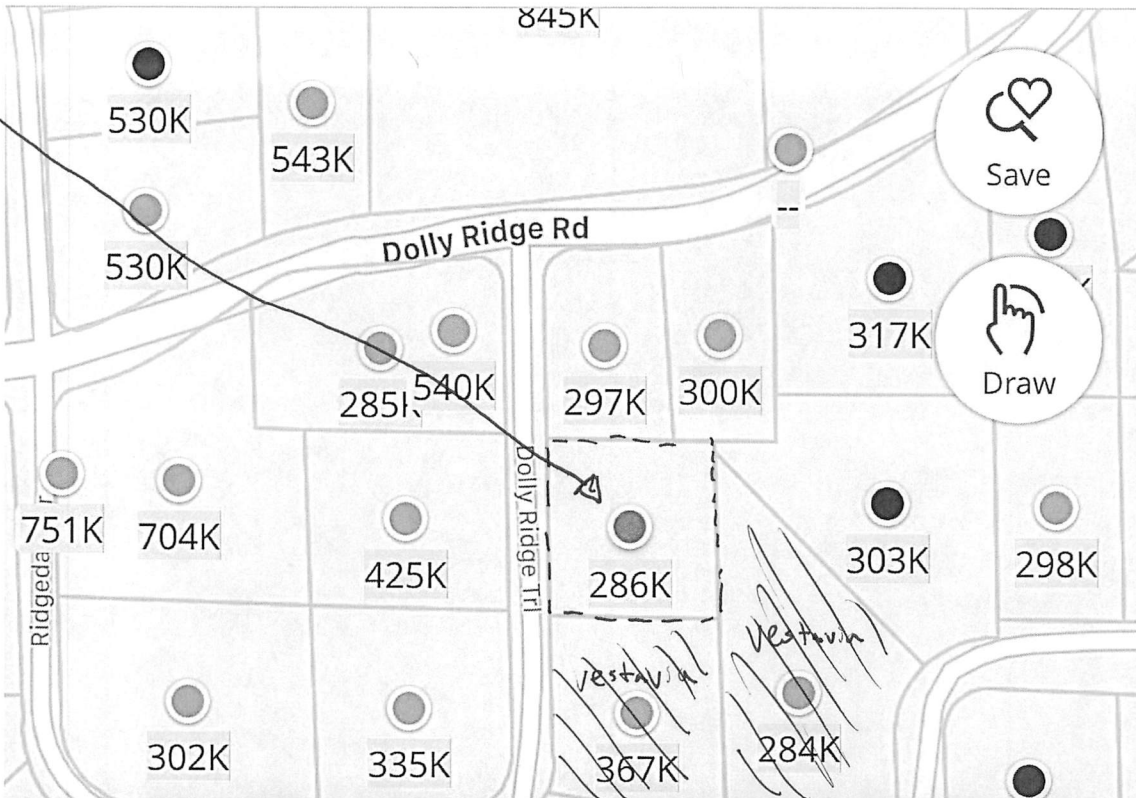
Both

Price

Home Type

More: 2

2495 Dolly Ridge Trl.



Save



Draw

Sold 9/10/12



\$286,037 3 bds | 2 ba | 1,568 sqft

2495 Dolly Ridge Trl, Vestavia, AL

Off market: Zestimate®



Search



Updates



Saved Homes



Your Home



More

ORDINANCE NUMBER 2954

AN ORDINANCE TO FURTHER AMEND THE ZONING ORDINANCE AND THE ZONING MAP OF THE CITY OF VESTAVIA HILLS, ALABAMA, ADOPTED SEPTEMBER 16, 1985, AND AS LAST AMENDED SO AS TO CHANGE THE CLASS OF DISTRICT ZONING OF PROPERTY FROM JEFFERSON COUNTY E-2 TO VESTAVIA HILLS R-1

BE IT ORDAINED by the City Council of the City of Vestavia Hills, Alabama, as follows: That the Zoning Ordinance and Zoning Map of the City of Vestavia Hills, Alabama, adopted September 16, 1985, and as last amended so as to change the class of district zoning of the following described property from Jefferson County E-2 (low density residential district) to Vestavia Hills R-1 (low density residential district):

2495 Dolly Ridge Trail
Lot 3, Block 1, Dolly Ridge Est, 1st Add
Patrick and Ellen Pantazis, Owner(s)

APPROVED and ADOPTED this the 28th day of September, 2020.

Rusty Weaver
Mayor Pro-Tem

ATTESTED BY:

Rebecca Leavings
City Clerk

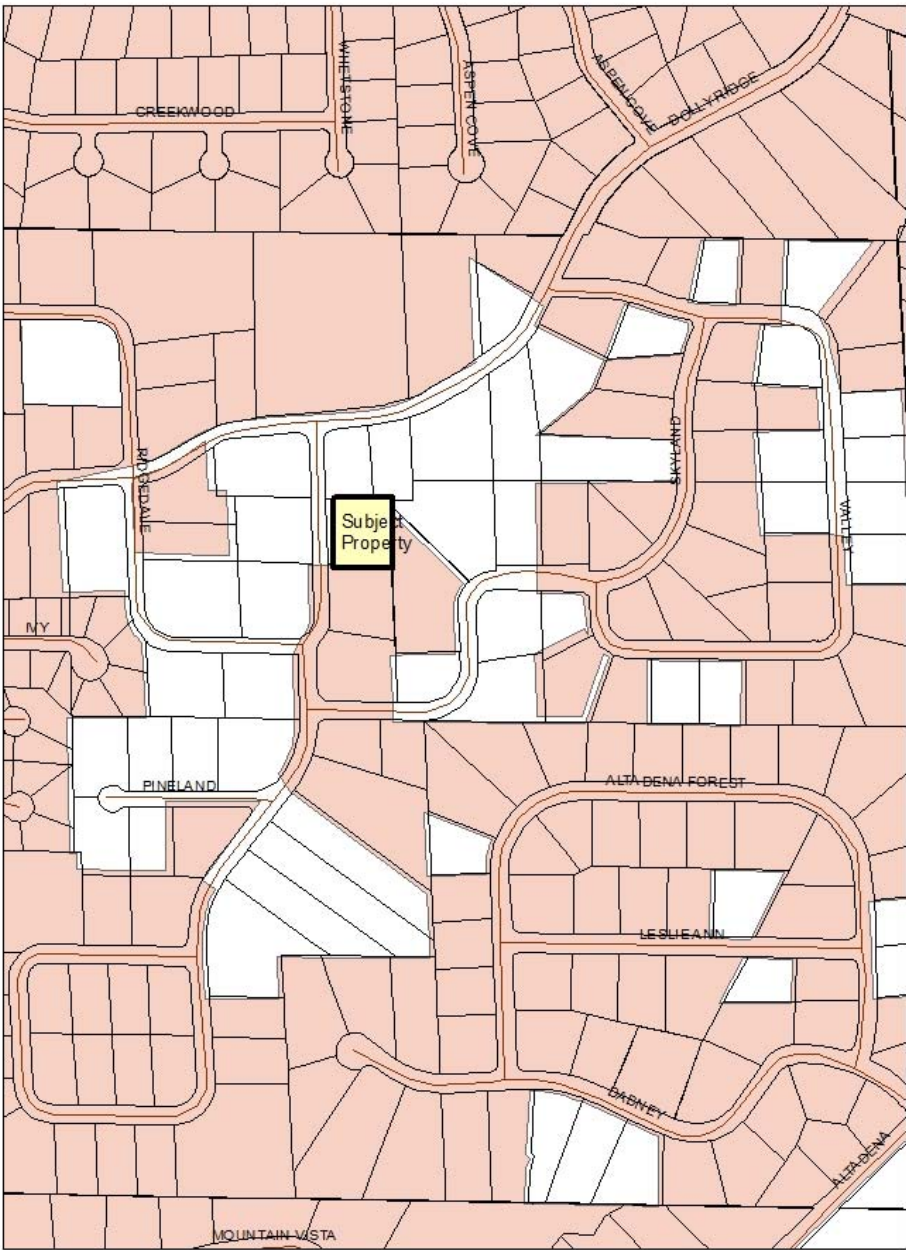
CERTIFICATION:

I, Rebecca Leavings, as City Clerk of the City of Vestavia Hills, Alabama, hereby certify that the above and foregoing copy of 1 (one) Ordinance # 2954 is a true and correct copy of such 28th day of September, 2020, as same appears in the official records of said City.


Posted at Vestavia Hills City Hall, Vestavia Hills Library in the Forest, New Merkle House and Vestavia Hills Recreational Center this the _____ day of _____, 2020.

Rebecca Leavings
City Clerk

2495 Dolly Ridge Trail



Legend

 Vestavia_Hills_City_Limits

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: **AUGUST 13, 2020**

- **CASE: P-0820-22**
- **REQUESTED ACTION:** Rezoning JC E-2 to Vestavia Hills R-1
- **ADDRESS/LOCATION:** 2495 Dolly Ridge Trl.
- **APPLICANT/OWNER:** Patrick & Ellen Pantazis
- **GENERAL DISCUSSION:** This is a compatible rezoning of annexed property on Skyland Dr. from JC E-2 to VH R-1. Property was annexed overnight by Ordinance 2927 on 5/28/20.
- **VESTAVIA HILLS COMPREHENSIVE PLAN:** The request is consistent with the plan for low density residential.
- **STAFF REVIEW AND RECOMMENDATION:**

1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation

2. **City Engineer Review:** I have reviewed the application and I have no issues with this request.
3. **City Fire Marshal Review:** I have reviewed the application and I have no issues with this request.
4. **Building Safety Review:** I have reviewed the application and I have no issues with this request.

MOTION Mr. Weaver made a motion to recommend Rezoning from JC E-2 to Vestavia Hills R-1 for the property located At 2495 Dolly Ridge Trl. Second was by Ms. Cobb. Motion was carried on a roll call; vote as follows:

Mr. Maloof– yes
Mr. Ferrell – yes

Mr. Romeo – yes
Mr. Sykes– yes

Ms. Cobb – yes
Mr. Weaver – yes
Motion carried.

Mr. Vercher – yes
Mrs. Barnes – yes



Zoning1

PARCELID	2800324005007000
DISTRICT	002
ESN_NUM	504
PROPADD	2495 DOLLY RIDGE TRL
TAX_TOWNSH	28
SECTION	32
CSECTION	4
BLOCK	005
PARCEL	007000
VH_ZONING	
ZNG_ORD	
ZNG_ORD_DT	
ZNG_ORD2	
Zoom to	

ORDINANCE NUMBER 2955

AN ORDINANCE TO FURTHER AMEND THE ZONING ORDINANCE AND THE ZONING MAP OF THE CITY OF VESTAVIA HILLS, ALABAMA, ADOPTED SEPTEMBER 16, 1985, AND AS LAST AMENDED SO AS TO CHANGE THE CLASS OF DISTRICT ZONING OF PROPERTY FROM JEFFERSON COUNTY E-2 TO VESTAVIA HILLS R-9

BE IT ORDAINED by the City Council of the City of Vestavia Hills, Alabama, as follows: That the Zoning Ordinance and Zoning Map of the City of Vestavia Hills, Alabama, adopted September 16, 1985, and as last amended so as to change the class of district zoning of the following described property from Jefferson County E-2 (low density residential district) to Vestavia Hills R-9 (planned residential district):

2768 Misty Lane, 2758 & 2764 Rocky Ridge Road
Tamworth, LLC, Owner(s)

More particularly described as follows:

A parcel of land containing: 4.863 Acres more or less, located in the Southeast quarter of Section 20, Township 18 South, Range 2 West, Jefferson County Alabama: more particularly described as follows:

COMMENCE at the NW Corner of the SW 1/4 of the SE 1/4 of said Section 20: thence run South 420 feet thence left 90 degrees 34 minutes 49 seconds, 155.57 feet to the POINT OF BEGINNING; thence continue along last stated course for a distance of 580.22 feet to a point; thence turn in interior angle to the left counterclockwise 112°51'26" and run a distance of 154.59 feet to a point; thence turn an angle right 68°06'43" and run a distance of 217.60 feet to a point of the West Right-of-Way line of Rocky Ridge Road, being a point along a curve to the left along said Right-of-Way line with a central angle of 03°25'25", a radius of 1136.15 feet, and an arc length of 67.89 feet; thence turn an interior angle to the left counterclockwise 110°54'38" to the chord of said curve of S 22°02'23" E and run a chord distance of 67.88 feet to a point on a curve to the left along said Right-of-Way line with a central angle of 04°30'39", a radius of 1119.74 feet and an arc length of 88.15 feet; thence S 18°05'13" E and run a chord distance of 88.13 feet to a point; turn an interior angle left counterclockwise from the chord of the previously stated curve 71°50'50" and run a distance of 912.22 feet to a point; thence turn an interior angle left counterclockwise 90°10'44" and run a distance of 279.18 feet to the POINT OF BEGINNING.

BE IT FURTHER ORDAINED that said rezoning shall be conditioned upon the following conditions:

1. Rezoning shall be conditioned upon the plat plan presented and attached to this Ordinance Number 2955; and
2. All covenants, conditions and restrictions regarding the maintenance of the private street and infrastructure shall be submitted to the Planning and Zoning Commission and approved with the final plat approval.

APPROVED and ADOPTED this the 28th day of September, 2020.

Rusty Weaver
Mayor Pro-Tem

ATTESTED BY:

Rebecca Leavings
City Clerk

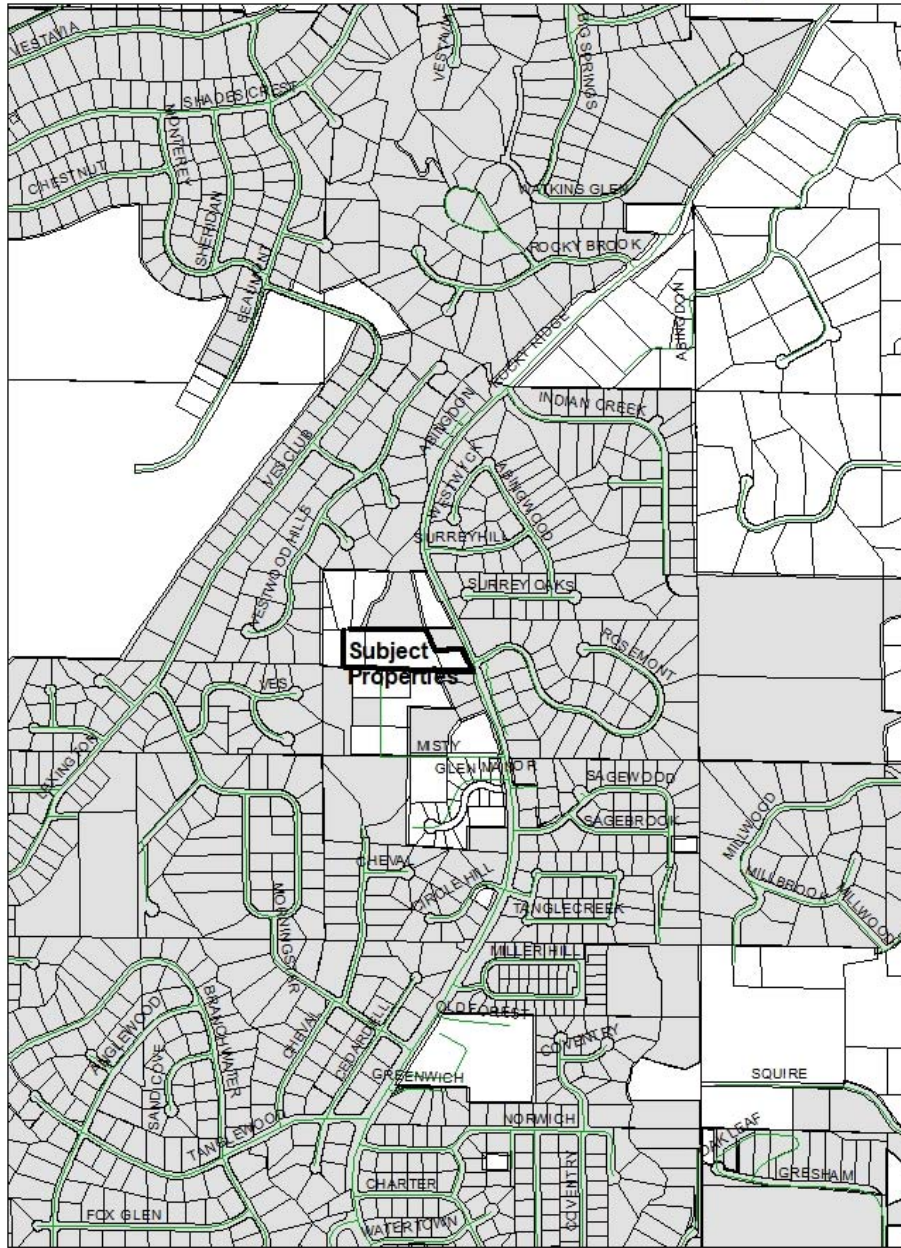
CERTIFICATION:

I, Rebecca Leavings, as City Clerk of the City of Vestavia Hills, Alabama, hereby certify that the above and foregoing copy of 1 (one) Ordinance # 2955 is a true and correct copy of such 28th day of September, 2020, as same appears in the official records of said City.


Posted at Vestavia Hills City Hall, Vestavia Hills Library in the Forest, New Merkle House and Vestavia Hills Recreational Center this the _____ day of _____, 2020.

Rebecca Leavings
City Clerk

2758 2764 Rocky Ridge Rd 2768 Misty Ln



Legend

 Vestavia_Hills_City_Limits

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: **AUGUST 13, 2020**

- **CASE: P-0820-23**
- **REQUESTED ACTION:** Rezoning JC E-2 to Vestavia Hills R-9
- **ADDRESS/LOCATION:** 2768 Misty Ln. And 2758 & 2764 Rocky Ridge Rd..
- **APPLICANT/OWNER:** Tamworth, LLC
- **GENERAL DISCUSSION:** Applicant is seeking non-compatible rezoning for properties in the annexation process on Rocky Ridge Rd. across from Rosemont Place. Applicant proposes a six-lot boutique subdivision with a private street ending in a hammerhead. Lot sizes exceed the minimum requirements of the compatible R-1 zoning, however, due to the nature of the land and setback considerations R-9 zoning is sought. Setbacks for the subdivision are 20' front setback from the back of curb, There is an existing cell tower on site which will remain and be incorporated into the site. City Council approved 90 Day Annexation Resolution 5248 on 6/8/20.
- **VESTAVIA HILLS COMPREHENSIVE PLAN:** The request is consistent with the plan for low density residential.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: Recommend condition that HOA documents regarding street maintenance/repair must be submitted with final plat.
 2. **City Engineer Review:** I have reviewed the application and I have no issues with this request.
 3. **City Fire Marshal Review:** I have reviewed the application and I have no issues with this request.
 4. **Building Safety Review:** I have reviewed the application and I have no issues with this request.

MOTION Mr. Weaver made a motion to recommend Rezoning from JC E-2 to Vestavia Hills R-9 for the property located At 2768 Misty Ln. And 2758 & 2764 Rocky Ridge Rd. with the following conditions:

1. Rezoning conditioned on site plan presented;
2. All covenants, conditions, and restrictions regarding to the maintenance of the private street and infrastructure will be submitted with the final plat.

Second was by Mr. Vercher. Motion was carried on a roll call; vote as follows:

Mr. Maloof– yes
Mr. Ferrell – yes
Ms. Cobb – yes
Mr. Weaver – yes
Motion carried.

Mr. Romeo – yes
Mr. Sykes– yes
Mr. Vercher – yes
Mrs. Barnes – yes

P0820-23//2800204002016.001
2768 Misty Ln & 2758 & 2764
Rocky Ridge Rd.
Rezone to VH R9
Tamworth, LLC

JC E2 CITY OF VESTAVIA HILLS

APPLICATION

PLANNING AND ZONING COMMISSION

I. INSTRUCTIONS AND INFORMATION:

- (1) The Vestavia Hills Planning and Zoning Commission meets regularly on the second Thursday of each month at 6:00 PM in Council Chambers at the Municipal Center.
- (2) All materials and information relating to a zoning/rezoning request or conditional use approval before the Planning and Zoning Commission must be submitted to the Office of the City Clerk no later than **25 working days prior to the scheduled meeting at which it shall be considered.** All information relating to Preliminary Map approvals must be submitted to the Office of the City Clerk no later than 20 days prior to the scheduled meeting at which is shall be considered. All information relating to Final Map approvals must be submitted to the Office of the City Clerk no later than 15 days prior to the scheduled meeting at which it is to be considered.
- (3) This application must be filled out in its entirety complete with zip codes.
- (4) All applicable fees shall accompany this application prior to its being considered complete. Fees include an application fee of \$100.00 along with applicable postage per property owner to be notified for Commission meeting. Fees may also include notification fees for City Council meeting and publication fees which will be billed to applicant at a later date. ***No permits will be issued until all fees have been paid.*
- (5) Appropriate plats and maps with proper legal description shall accompany this application. **Please refer to attached checklist.**

II. APPLICANT INFORMATION: (owner of property)

NAME: Tamworth, LLC (by Glenn H. Roberson, Managing Member)

ADDRESS: 1313 Kingsway Lane

Vestavia Hills, AL 35243

MAILING ADDRESS (if different from above) _____

PHONE NUMBER: Home (205) 298-0046

Office (205) 266-5831

EMAIL ADDRESS: groberon@uabmc.edu

nradghr@gmail.com

NAME OF REPRESENTING ATTORNEY/AGENT & CONTACT INFORMATION:

Bart Carr

III. ACTION REQUESTED

JC E2

Request that the above described property be zoned/rezoned

From: JC E-2

To: R-9 VH

For the intended purpose of: Annexation + dev. of 6 lots

(Example: From "VH R-1" to "VH O-1" for office building)

if additional information is needed, please attached full description of request

IV. PROPERTY DESCRIPTION: (address, legal, etc.)

SW 1/4 of the Section 20, Township 18S, and Range 2W of Jefferson County, Alabama

Property size: _____ feet X _____ feet. Acres: _____

V. INFORMATION ATTACHED:

Attached Checklist complete with all required information.

Application fees submitted.

VI. I do hereby declare the above statements are true and that I am the owner and myself or my duly appointed representative will be at the scheduled hearing.

Tamworth, LLC
Glen H. Roberson 6/15/2020
Owner Signature/Date Representing Agent (if any)/date

Given under my hand and seal
this 15th day of June, 20 20.

Joseph W. Strickland
Notary Public
My commission expires
day of _____

JOSEPH W. STRICKLAND
My Commission Expires
June 6, 2023

GLENRIDGE

A RESIDENTIAL SUBDIVISION
SITUATED IN THE SOUTHEAST 1/4
OF SECTION 20
TOWNSHIP 18 SOUTH, RANGE 2 WEST
JEFFERSON COUNTY, ALABAMA

6 LOTS

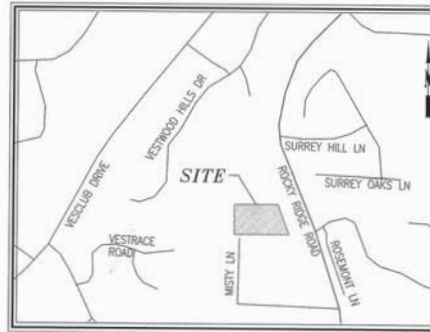
PID: 28-00-20-4-002-016.003
PID: 28-00-20-4-002-016.000
PID: 28-00-20-4-002-016.001

PREPARED FOR:
DEVELOPER:
Tamworth, LLC
2405 Monte Vista Drive
Birmingham, Alabama 35243

FED ID No.: 81-5174491

PROFESSIONAL CIVIL ENGINEER: JOB B. CHILDERS DATE: 2/20/20
JOBEL B. CHILDERS, AL. REG. NO. 22167

PROFESSIONAL LAND SURVEYOR: BARTON F. CARR DATE: 2/20/20
BARTON F. CARR, AL. REG. NO. 16685



VICINITY MAP
NOT TO SCALE

SHEET INDEX

SHEET NUMBER

76.184-01
76.184-02
76.184-03
76.184-04
76.184-05
76.184-06
76.184-07
76.184-08
76.184-09
76.184-10
76.184-11
76.184-12
76.184-13
76.184-14
76.184-15
76.184-16
76.184-17
76.184-18

SHEET TITLE

TITLE SHEET
BOUNDARY & TOPOGRAPHIC SURVEY
DEMOLITION PLAN
PRELIMINARY PLAN
GRADING PLAN
UTILITY PLAN
CBMPP - PHASE I
CBMPP - PHASE II
CBMPP - PHASE III
CBMPP - DETAILS
ROAD #1 & ROAD #2 PLAN/PROFILE
STORM PROFILES
DETAILS (SHEET 1)
DETAILS (SHEET 2)
TRAFFIC CONTROL PLAN
SANITARY SEWER S-1 PLAN/PROFILE
EXISTING SANITARY SEWER PLAN/PROFILE
SANITARY SEWER DETAILS

NOTE:

A TREE SURVEY AND REPLACEMENT PLAN IS REQUIRED ON EACH HOUSE SITE PRIOR TO ISSUANCE OF A BUILDING PERMIT

Prepared By:
C&E

Carr & Associates Engineers, Inc.
153 Cahaba Valley Parkway
Pelham, Alabama 35124
(205) 664-8498

JUNE 2019
SEPTEMBER 2019
DECEMBER 2019
FEBRUARY 2020

RED-ELECTRIC POWER LINES, CABLES, CONDUIT AND LIGHTING CABLES
YELLOW-GAS, OIL, STEAM, PROPLENUM OR LIQUID MATTER
GREEN-COMMUNICATION, ALARM OR SIGNAL LINES, CABLES OR CONDUIT
BLUE-WATER, IRRIGATION AND SLURRY LINES
DASHED-SEWER AND DRAIN LINES
WHITE-PROPOSED EXCAVATION

Alabama Line
Location Center, Inc.
1-800-292-8525
252-4444 (Birmingham Area)
Call 2 working days before digging.
It's the Law!



CARR & ASSOCIATES ENGINEERS, INC.
 155 FARMWAY
 PHENIX, ALABAMA 35124
 TEL: (205) 833-8888
 FAX: (205) 833-8889

JEFFERY & ASSOCIATES ENGINEERS, INC.
 1000 NORTH BRIDGE STREET, SUITE 300
 COLUMBIA, SC 29201
 TEL: (803) 733-3333
 FAX: (803) 733-3334

PROJECT NO. 76.184-02
CLIENT: TAMMORTH, LLC
PROJECT NAME: GLEN RIDGE
2758 ROCKY RIDGE ROAD
JEFFERSON COUNTY, ALABAMA
BOUNDARY & TOPOGRAPHIC SURVEY

NO.	REVISION	DATE

Number	Northing	Easting	Description
CP#1	125444-2332	212128-6020	1/4\"
CP#2	125508-2390	212128-5918	3/4\"
CP#3	125508-2508	212027-3258	5/8\"

DESCRIPTION
 A parcel of land containing 0.863 Acres more or less, located in the Southeast Quarter of Section 20, Township 18 South, Range 2 West, Jefferson County, Alabama: more particularly described as follows:
COMMENCE at the NW Corner of the SE 1/4 of the SE 1/4 of add Section 20, thence run South 42° 30' East 100 feet to the center of the 18\"

DESCRIPTION
 A parcel of land containing 0.863 Acres more or less, located in the Southeast Quarter of Section 20, Township 18 South, Range 2 West, Jefferson County, Alabama: more particularly described as follows:
COMMENCE at the NW Corner of the SE 1/4 of the SE 1/4 of add Section 20, thence run South 42° 30' East 100 feet to the center of the 18\"

CONTROL POINTS
 PROJECT DATUM BASED ON AL 30 (NAD 83)
 Description
 CP#1 125444-2332 212128-6020 1/4\"



LEGEND
 (P) CAPTIV REMISSION FEE FUND (R) GAS METER (M) METER WATER (W) WATER METER (D) DEED DISTANCE OR ANGLE (I) IRREGULAR AREA (A) UNDEVELOPED AREA (T) TEMPORARY EMBANKMENT (E) EMBANKMENT (L) LOTS (C-G) PALE #/GRADE LIGHT (A) ANCHOR (D) DRAINAGE (P) PALLETS (S) STAKE BUILT (V) SAND FILL (S) SAND FILL (S) SAND FILL (S)



POINT OF COMMENCEMENT
 NORTHWEST CORNER OF SECTION 20, TOWNSHIP 18 SOUTH, RANGE 2 WEST, JEFFERSON COUNTY, ALABAMA

POINT OF BEGINNING
 INTERSECTION OF THE SECTION BOUNDARY AND THE BOUNDARY OF THE PROPERTY

COMMITTED DESCRIPTION OF PROPERTY
 A parcel of land in the Southeast Quarter of Section 20, Township 18 South, Range 2 West, Jefferson County, Alabama: more particularly described as follows:
COMMENCE at the NW Corner of the SE 1/4 of the SE 1/4 of add Section 20, thence run South 42° 30' East 100 feet to the center of the 18\"

COMMITTED DESCRIPTION OF PROPERTY
 A parcel of land in the Southeast Quarter of Section 20, Township 18 South, Range 2 West, Jefferson County, Alabama: more particularly described as follows:
COMMENCE at the NW Corner of the SE 1/4 of the SE 1/4 of add Section 20, thence run South 42° 30' East 100 feet to the center of the 18\"

POSTED SPEED LIMIT BOTH DIRECTIONS 35 MPH
 THERE ARE GAS MARKERS ALONG THE SOUTH PROPERTY LINE.

CERTIFICATE
 For Anderson Banking Company and Tammorth, LLC:
 I hereby state that on points of this survey and drawing have been placed in accordance with the provisions of the Code of Alabama in the field of my knowledge, information, and belief, and that the same are correct in accordance with the applicable laws of Alabama as of the date of this survey on May 3, 2018.

NOTES
 1) This survey and the descriptions shown hereon are based on the prior subdivision plat/deed. No deed research or extent of ownership is implied herein.
 2) The surveyor does not warrant the existence of any easements or other interests in the property or any part thereof.
 3) The plat of this survey is filed in the public records of Jefferson County, Alabama, in the name of the Surveyor of the time of the survey. Any other uses are at the liability of the user.
 4) This plat may not be recorded without the express written consent of the Surveyor.
 5) This plat was prepared by the Surveyor in accordance with the provisions of the Code of Alabama, Title 36, Chapter 1-1-1, and the Surveyor's Code of Ethics, effective September 03, 2010.



REVISIONS

NO.	REVISION	DATE

PRODUCTION

NO.	DATE	BY	REVISION

NO.	DATE	BY	REVISION

NO.	DATE	BY	REVISION

SCALE: 1" = 40'

PROJEW: 2/16/23

DESIGN ENG: N/A

CONV ENG: N/A

FIELD BOOK: 1417419

CAD FILE: 1417419

DATE: 2/16/23

SCALE: 1" = 40'

PROJEW: 2/16/23

DESIGN ENG: N/A

CONV ENG: N/A

FIELD BOOK: 1417419

CAD FILE: 1417419

DATE: 2/16/23

PROJECT NO. 76.184-02
SHEET 1 OF 1
DATE: 2/16/23
SCALE: 1" = 40'

PROJECT NO. 76.184

DESIGNED AND DRAWN WITHOUT ERROR

CARR & ASSOCIATES ENGINEERS, INC.
 153 CANABA VALLEY PARKWAY
 FLEMING, ALABAMA 35124
 PHONE 205-844-4444 OR 800-888-4444
 FAX 205-844-4444

CIVIL, STRUCTURAL & ENVIRONMENTAL ENGINEERS
 LAND SURVEYORS

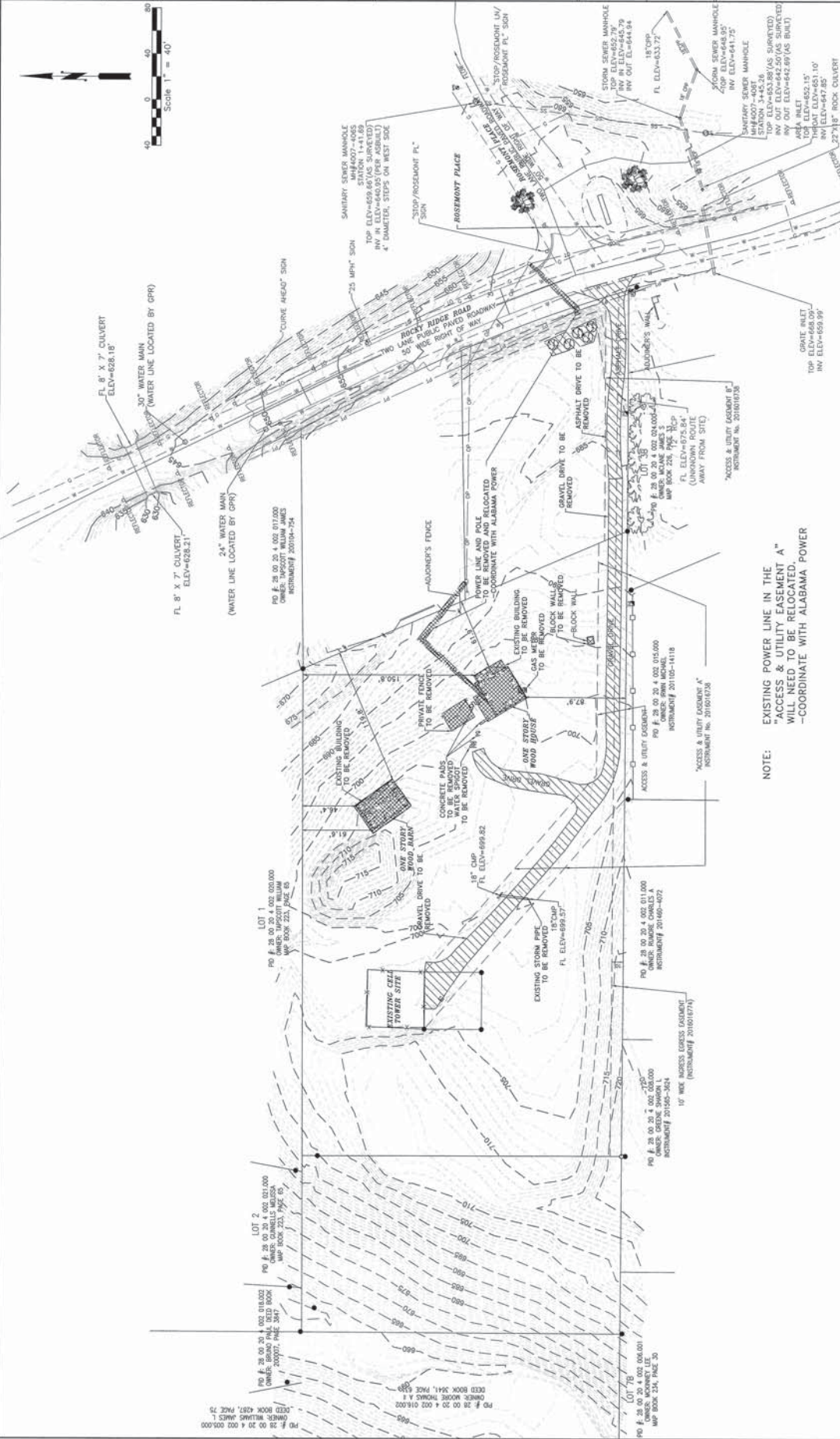
CONTRACT NO. 201014-24
 SHEET NO. 1 OF 1
 DATE: 05/11/20

NO.	REVISIONS	BY	DATE

NO.	REVISIONS	BY	DATE

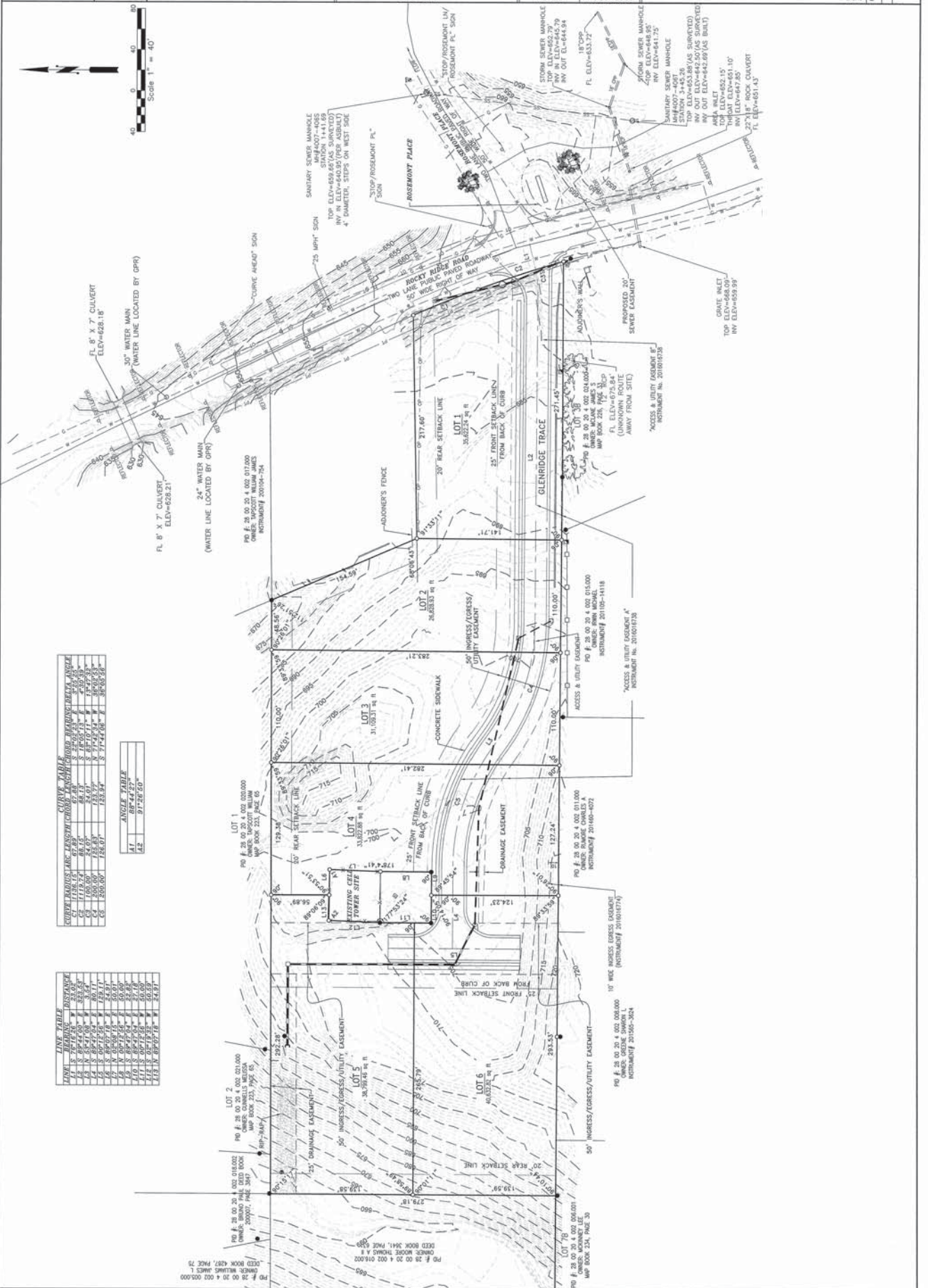
NO.	REVISIONS	BY	DATE

CLIENT:	TAMWORTH, LLC
PROJECT NAME:	GLERRIDGE 2758 ROCKY RIDGE ROAD UNINCORPORATED JEFFERSON COUNTY, ALABAMA
DATE:	2/10/20
SCALE:	1" = 40'
DESIGNER:	P. T.
CHECKED:	MBO
DESIGNED:	MBO
DATE:	2/10/20



- DEMOLITION NOTES**
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO REMOVAL OF EXISTING UTILITIES AS DESIGNATED ON THE PLANS.
 - CONTRACTOR TO REMOVE OR RELOCATE WHEN APPLICABLE: ALL EXISTING BUILDINGS, FOUNDATIONS, STRUCTURES, AND ACCESSORIES; ALL EXISTING WELLS, PIPES, SANITARY AND SEWER PIPES, POWER POLES AND GUY WIRES, WATER METERS AND WATER LINES, WELLS, SEPTIC TANKS, FIELD LINES, AND ASPHALT, SHOWN OR NOT SHOWN, WITHIN CONSTRUCTION LIMITS, WHERE IMPROVEMENTS, UNLESS OTHERWISE DENOTED.
- NOTE:** EXISTING POWER LINE IN THE "ACCESS & UTILITY EASEMENT A" WILL NEED TO BE RELOCATED. —COORDINATE WITH ALABAMA POWER
- CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.F.A.A.S. WITH CONSTRUCTION ACTIVITIES ASSOCIATED.
 - ANY VOIDS AND/OR TRENCHES CREATED FROM THE DEMOLITION PROCESS SHALL BE EXCAVATED UNTIL FIRM AND FILL TO MEET ALL SPECIFICATIONS, IN ACCORDANCE WITH THE SPECIFICATIONS.
 - STRUCTURE TO BE REMOVED
 - ASPHALT PAVEMENT TO BE REMOVED
 - SAW CUT LINE OF EXISTING ASPHALT OR CONCRETE PAVEMENT

DRAWING TITLE TAMWORTH, LLC GLENRIDGE JEFFERSON COUNTY, ALABAMA	
PROJECT NAME TAMWORTH, LLC	CLIENT
PROJECT NO. 76.184	SHEET 1 OF 1
DATE 2/10/20	SCALE 1" = 40'
DESIGNER TAMWORTH, LLC	CHECKED J. C.
DRAWN M.S.	REVIEWED M.S.
CADD M.S.	SUPERVISOR J.S.
DESIGN ENGINEER J.S.	SUPERVISOR J.S.
REVIEWER J.S.	DATE 2/10/20



CURVE TABLE

CHORD BEARING	CHORD DISTANCE	CURVE ANGLE (DEG)	RADIUS (FEET)	PI (FEET)
111.97.4	69.15	67.42	32.65	20.32
111.97.4	69.15	67.42	32.65	20.32
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CC	200.00	120.00	100.00	62.83

ANGLE TABLE

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91.72.60	0.17	0.17

LINE TABLE

LINE NO.	FROM	TO	LENGTH (FEET)
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3	100.00	100.00	0.00
4	100.00	100.00	0.00
5	100.00	100.00	0.00

REVISIONS

NO.	DESCRIPTION	BY	DATE

15.5 CAROL A. KELLY, P-20114
 CIVIL, STRUCTURAL & ENVIRONMENTAL ENGINEERS
 135 CAROL A. KELLY PARKWAY
 FLYNN, ALABAMA 35124
 CARR & ASSOCIATES ENGINEERS, INC.
 LICENSED PROFESSIONAL ENGINEERS
 CIVIL, STRUCTURAL & ENVIRONMENTAL ENGINEERS
 LAND SURVEYORS

CARR & ASSOCIATES ENGINEERS, INC.
 135 CAROL A. KELLY PARKWAY
 FLYNN, ALABAMA 35124
 LICENSED PROFESSIONAL ENGINEERS
 CIVIL, STRUCTURAL & ENVIRONMENTAL ENGINEERS
 LAND SURVEYORS

TAMWORTH, LLC
 GLENRIDGE
 JEFFERSON COUNTY, ALABAMA

76.184-04



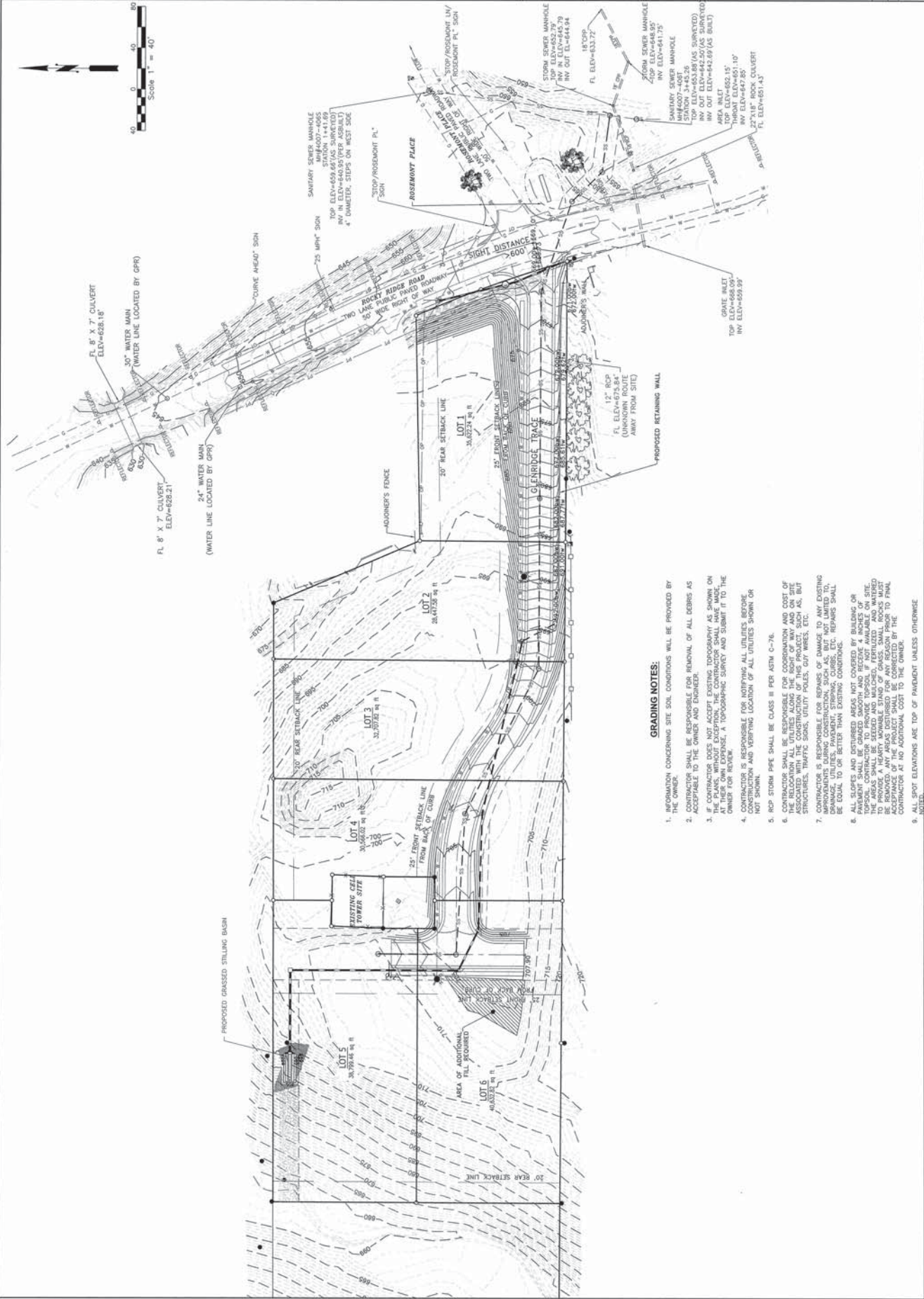
CARR & ASSOCIATES ENGINEERS, INC.
 153 CANYON VALLEY PARKWAY
 FLEMING, ALABAMA 35124
 CIVIL, STRUCTURAL & ENVIRONMENTAL ENGINEERS
 LAND SURVEYORS
 ENGINEERING, ARCHITECTURE, INTERIOR DESIGN, PLUMBING, MECHANICAL, ELECTRICAL, AND TELECOMMUNICATIONS
 REGISTERED PROFESSIONAL ENGINEERS, MECHANICAL AND ELECTRICAL
 PROJECT NO. T8184

NO.	REVISIONS	DATE

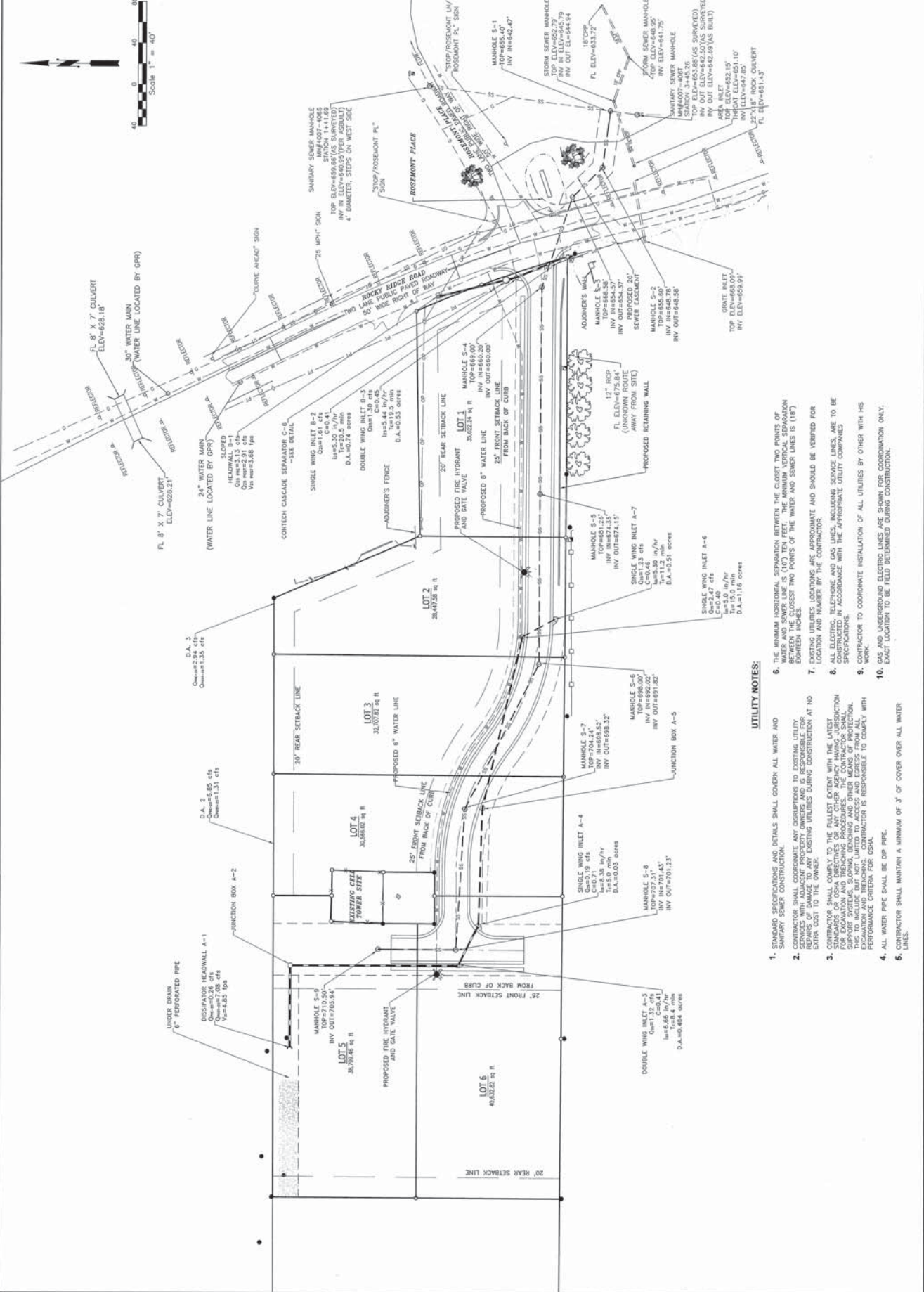
REVIEW	DATE

TAMWORTH, LLC
 2758 ROCKY RIDGE ROAD
 GLENRIDGE
 UNINCORPORATED
 JEFFERSON COUNTY, ALABAMA

PROJECT NAME: 76.184
 SHEET 1 OF 1
 DWG. NO. 76.184-05

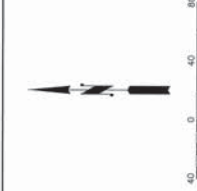


- GRADING NOTES:**
1. INFORMATION CONCERNING SITE SOIL CONDITIONS WILL BE PROVIDED BY THE OWNER.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS AS APPROPRIATE TO THE OWNER AND ENGINEER.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY AS-PAVING ON THE PLANS, WITHOUT EXCEPTION, THE CONTRACTOR SHALL BE RESPONSIBLE AT THEIR OWN EXPENSE, A TOPOGRAPHIC SURVEY AND SUBMIT IT TO THE OWNER FOR REVIEW.
 4. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL UTILITIES BEFORE CONSTRUCTION AND VERIFYING LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN.
 5. RCP STORM PIPE SHALL BE CLASS III PER ASTM C-76.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR CORROSION AND COST OF THE REPLACEMENT OF ALL UTILITIES ALONG THE ROUTE OF WAY AND ON-SITE ADJACENT TO THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR STRUCTURES, TRAFFIC SIGNS, UTILITY POLES, GUY WIRES, ETC.
 7. CONTRACTOR IS RESPONSIBLE FOR REMEDIATION OF ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, REPAIRS TO EXISTING DRIVEWAYS, SIDEWALKS, DRIVEWAYS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
 8. ALL SLOPES AND OBTUSIONED AREAS NOT COVERED BY PAVING OR PAVEMENT SHALL BE GRASSED SMOOTH AND RECEIVE 4 INCHES OF PAVEMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A HEAVY, MOVABLE STAND OF GRASS, SMALL ROCKS MUST BE REMOVED FROM THE GRASS. FERTILIZER AND LIMESTONE MUST BE APPLIED TO THE GRASS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCEPTANCE OF THE PROJECT SHALL BE CONNECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 9. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.

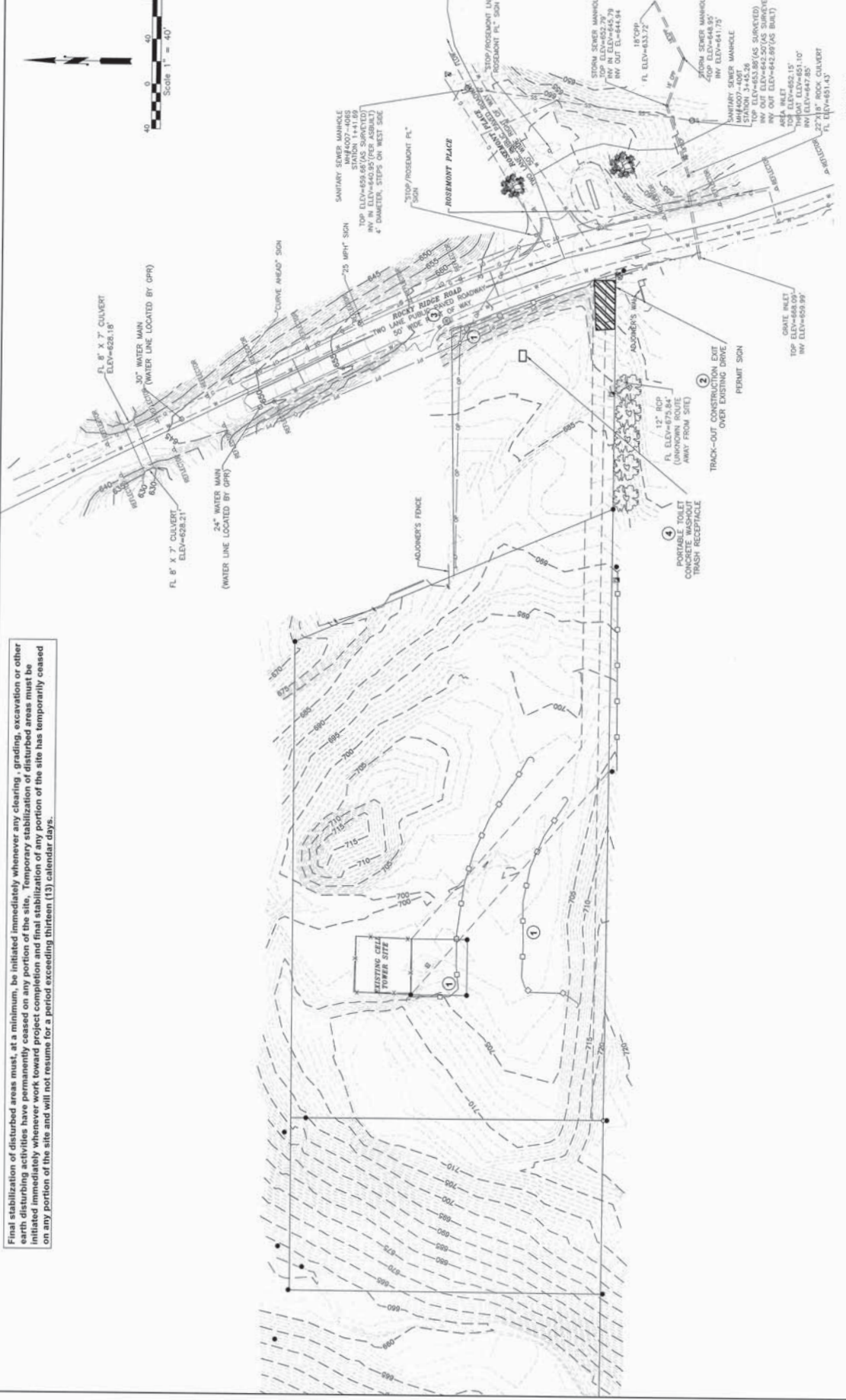


UTILITY NOTES:

1. STANDARD SPECIFICATIONS AND DETAILS SHALL GOVERN ALL WATER AND SANITARY SEWER CONSTRUCTION.
2. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS AND IS RESPONSIBLE FOR THE EXTRA COST TO THE OWNER.
3. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OR OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION OVER THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE TO COMPLY WITH ALL APPLICABLE REGULATIONS AND PERFORMANCE CRITERIA FOR OSHA.
4. ALL WATER PIPE SHALL BE DIP PIPE.
5. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3' OF COVER OVER ALL WATER LINES.
6. THE MINIMUM VERTICAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF WATER AND SEWER LINES (10' TO 15') SHALL BE THE MINIMUM VERTICAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINES IS (18') EXCEPT IN CASES.
7. EXISTING UTILITY LOCATIONS ARE APPROXIMATE AND SHOULD BE VERIFIED FOR LOCATION AND NUMBER BY THE CONTRACTOR.
8. ALL UTILITIES AND GAS LINES, INCLUDING SERVICE LINES, ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANIES' SPECIFICATIONS.
9. CONTRACTOR TO COORDINATE INSTALLATION OF ALL UTILITIES BY OTHER WITH HIS WORK.
10. GAS AND UNDERGROUND ELECTRIC LINES ARE SHOWN FOR COORDINATION ONLY. EXACT LOCATION TO BE FIELD DETERMINED DURING CONSTRUCTION.



Final stabilization of disturbed areas must, at a minimum, be initiated immediately whenever any clearing, grading, excavation or other earth disturbing activities have permanently ceased on any portion of the site. Temporary stabilization of disturbed areas must be initiated whenever work toward project completion and final stabilization of any portion of the site has temporarily ceased on any portion of the site and will not resume for a period exceeding thirteen (13) calendar days.



SCHEDULE OF EVENTS

- ① PLACE ERECTION FENCE AS SHOWN.
- ② INSTALL "TRACK-OUT" CONSTRUCTION EXIT AND WEATHER PROTECTED SIGN PERMIT.
- ③ INSTALL LOOMED INLET PROTECTION ON AREA INLET.
- ④ PLACE PORTABLE TOILET, CONCRETE WASHOUT AND TRASH RECEPTACLE TO REMAIN UNTIL PROJECT COMPLETION.
- ⑤ BEGIN CLEARING SITE.

PROJECT NO. 76.184

76.184-07

CLIENT: TAMMORTH, LLC

PROJECT NAME: GLENRIDGE UNINCORPORATED

ADDRESS: 2758 ROCKY RIDGE ROAD JEFFERSON COUNTY, ALABAMA

DATE: 7/19/20

SCALE: 1" = 40'

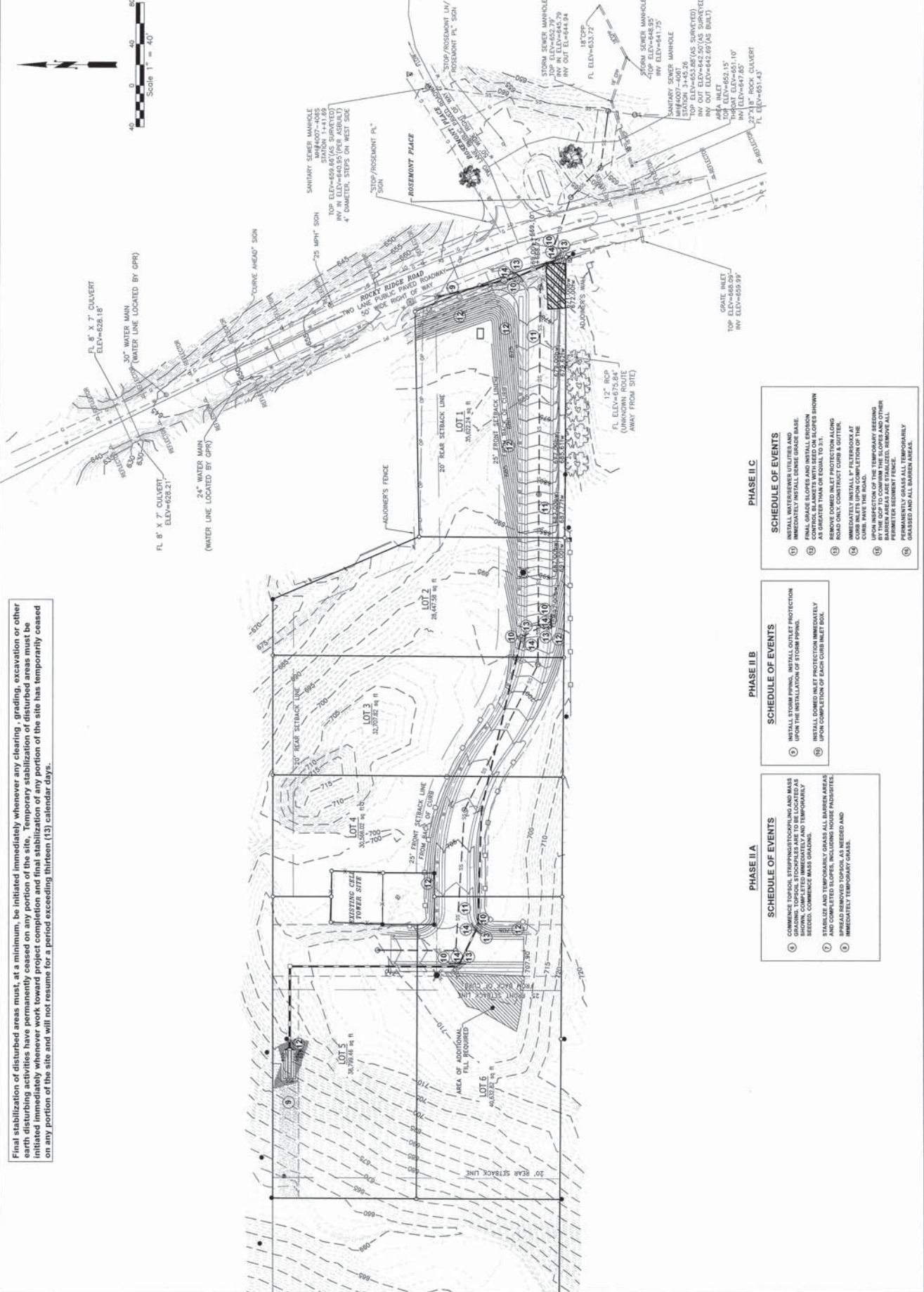
NO.	DESCRIPTION	BY	REVISION DATE

REVISIONS

DESIGNER: CARR & ASSOCIATES ENGINEERS, INC.
 153 CHAYLA VALLEY PARKWAY
 PELHAM, ALABAMA 35124
 PHONE (205) 988-8848 FAX (205) 988-8888

REGISTERED PROFESSIONAL ENGINEER
 CIVIL, STRUCTURAL & ENVIRONMENTAL ENGINEERS
 LAND SURVEYORS

CARR & ASSOCIATES ENGINEERS, INC.
 NO PART OF THIS DRAWING MAY BE REPRODUCED, COPIED, ENGRAVED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF CARR & ASSOCIATES ENGINEERS, INC.



Final stabilization of disturbed areas must, at a minimum, be initiated immediately whenever any clearing, grading, excavation or other earth disturbing activities have permanently ceased on any portion of the site. Temporary stabilization of disturbed areas must be initiated immediately whenever work toward project completion and final stabilization of any portion of the site has temporarily ceased on any portion of the site and will not resume for a period exceeding thirteen (13) calendar days.

PHASE II C
SCHEDULE OF EVENTS

- 11 INSTALL WATERSEWER UTILITIES AND FINAL GRADE SLOPES AND INSTALL EROSION CONTROL BLANKETS WITH SEED OR SLOPES SHOWN AT GREATER THAN OR EQUAL TO 3:1.
- 12 IMMEDIATELY INSTALL 18" ROCKY RIDGE ROAD ONLY. CONTRACT CURB & GUTTER.
- 13 IMMEDIATELY INSTALL 18" FILTERBOX AT CURB INLETS UPON COMPLETION OF THE CURB INLETS TO CONFIRM THE SLOPES AND OTHER PERMETER OF EROSION FENCE.
- 14 PERMANENTLY GRASS ALL TEMPORARILY GROSSED AND ALL BARRIEN AREAS.

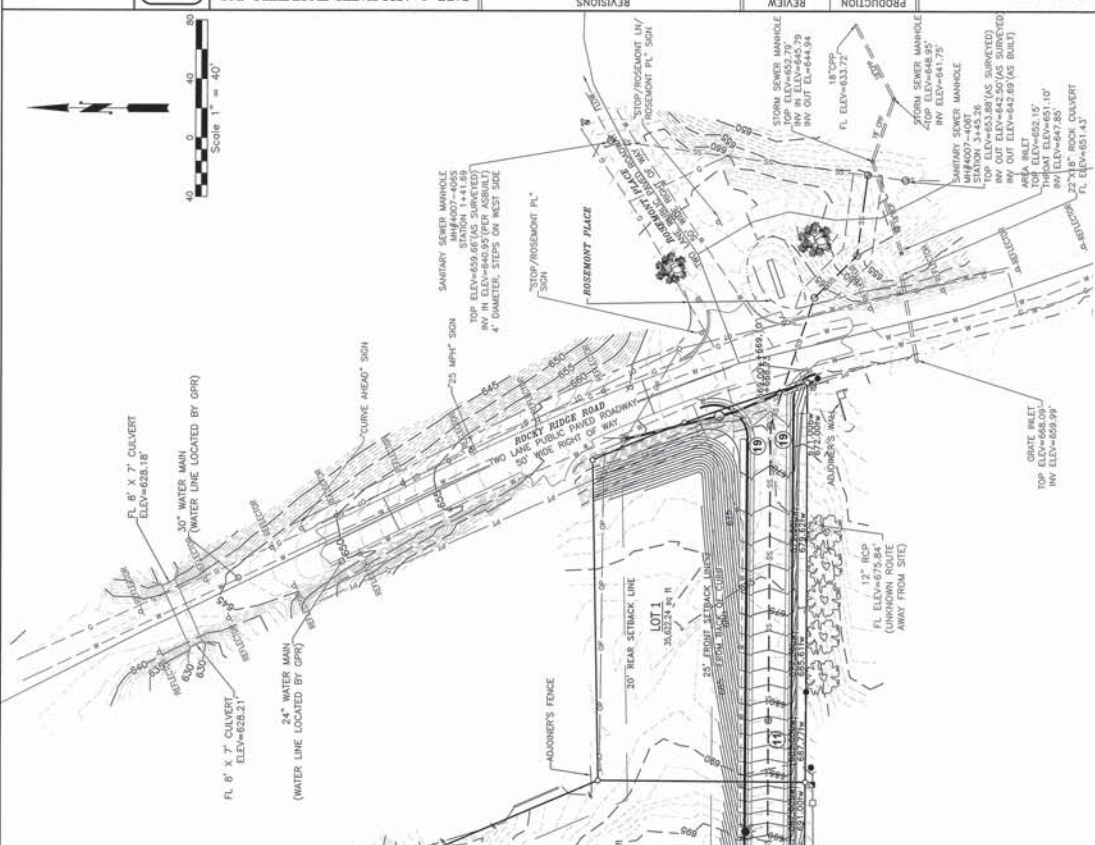
PHASE II B
SCHEDULE OF EVENTS

- 6 INSTALL STORM PIPING, INSTALL OUTLET PROTECTION UPON THE INSTALLATION OF STORM PIPING.
- 8 INSTALL CORBED INLET PROTECTION IMMEDIATELY UPON COMPLETION OF EACH CURB INLET BOX.

PHASE II A
SCHEDULE OF EVENTS

- 3 COMMENCE TOPSOIL STRIPPING/STOCKPILING AND MASS GRADING OF DISTURBED AREAS. COMMENCE MASS SEEDING.
- 7 STABILIZE AND TEMPORARILY GRASS ALL BARRIEN AREAS AND ALL COMPLETED SLOPES, INCLUDING HOUSE PAD/SITE FILL, IMMEDIATELY TEMPORARILY GRASS.

Final stabilization of disturbed areas must, at a minimum, be initiated immediately whenever any clearing, grading, excavation or other earth disturbing activities have permanently ceased on any portion of the site. Temporary stabilization of disturbed areas must be initiated immediately whenever work toward project completion and final stabilization of any portion of the site has temporarily ceased on any portion of the site and will not resume for a period exceeding thirteen (13) calendar days.



CAE
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REVISIONS

NO.	DESCRIPTION	BY	DATE

PRODUCTION

NO.	DESCRIPTION	BY	DATE

DESIGN

NO.	DESCRIPTION	BY	DATE

TAMWORTH, LLC
 GLENRIDGE
 2768 ROCKY RIDGE ROAD
 UNINCORPORATED
 JEFFERSON COUNTY, ALABAMA
 CBMP - PHASE III

CLIENT

PROJECT NAME: TAMWORTH, LLC

PROJECT NO.: 76.184

SHEET NO.: 3 OF 3

DRAWING TITLE: TAMWORTH, LLC

DATE: 2/16/20

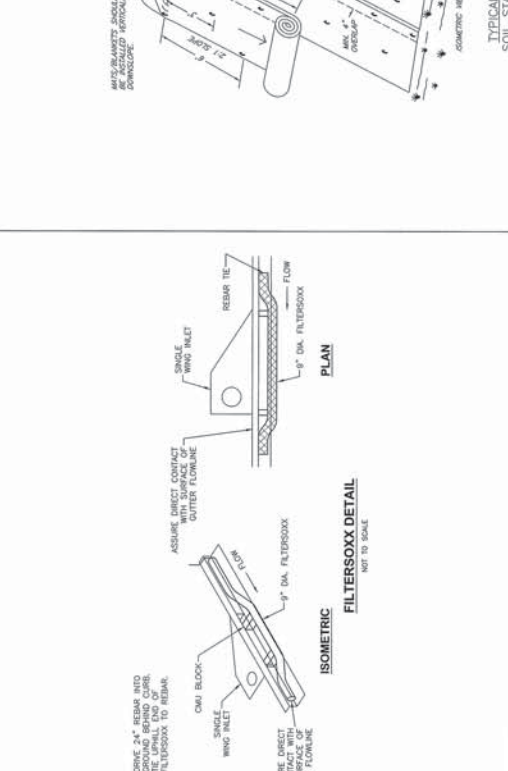
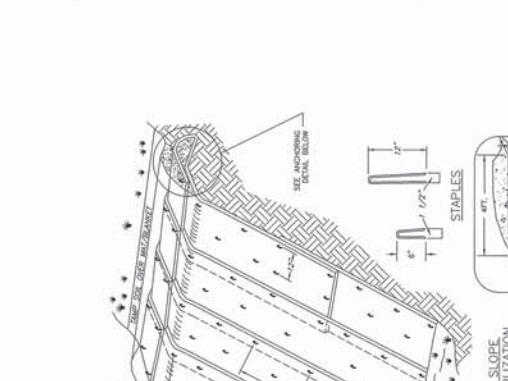
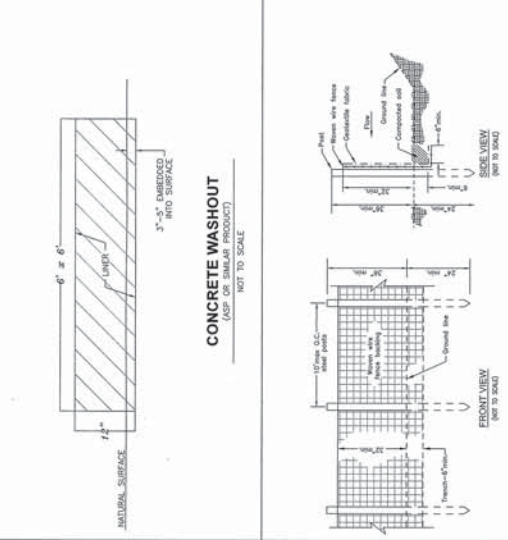
SCALE: 1" = 40'

PHASE III

SCHEDULE OF EVENTS

- PLACE P FILLBEHIND ALL CURB & GUTTER.
- REMOVE CORNER INLET PROTECTION FROM REMAINING INLETS AND CONSTRUCT INLET TOPS.
- INSPECT ALL STABILIZATION.
- REMOVE APPROPRIATE BMP AT HOME SITE AND REPLACE WITH BMP'S AS SHOWN.
- REMOVE REMAINING BMP'S.

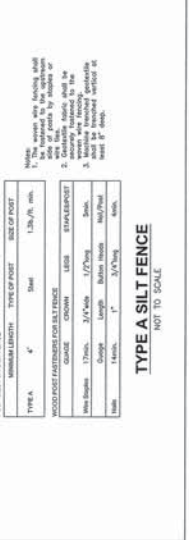
76.184-09



CONCRETE WASHOUT
 1. Concrete washout shall be a minimum of 3' x 4' x 1/4" sand finish.

TYPICAL SLOPE SOIL STABILIZATION
 1. Erosion blankets shall be installed in a staggered pattern with a 10% overlap between adjacent blankets.

FILTERSOXX DETAIL
 1. Filter assembly shall consist of a 3/4" diameter 1/2" mesh screen supported by a 2" x 2" frame.



MINIMUMS

POST SET FOR SILT FENCE	TYPE OF POST	SIZE OF POST
TYPE A	4"	1 1/2" Dia. min.

POST SET FOR SILT FENCE

POST SET FOR SILT FENCE	TYPE OF POST	SIZE OF POST
TYPE A	4"	1 1/2" Dia. min.

REVISIONS

NO.	DESCRIPTION	REVIEW DATE

FRAME & FILTER DISCHARGE ANALYSIS

450 FT DIAMETER	DISCHARGE	FRAME	FILTER	RETAINED
0.5	0	0	0	0
1.0	0	0	0	0
1.5	0	0	0	0
2.0	0	0	0	0
2.5	0	0	0	0
3.0	0	0	0	0
3.5	0	0	0	0
4.0	0	0	0	0
4.5	0	0	0	0
5.0	0	0	0	0

DISCHARGE ANALYSIS

1. Filter material shall be 3/4" mesh screen supported by a 2" x 2" frame.

2. Filter assembly shall be installed in a staggered pattern with a 10% overlap between adjacent assemblies.

TYPE A SILT FENCE
 1. Silt fence shall be a minimum of 6' wide and 12" high.

ISOMETRIC VIEW
 1. Silt fence shall be constructed from a 1/2" mesh screen supported by a 2" x 2" frame.

PLAN VIEW
 1. Silt fence shall be installed in a staggered pattern with a 10% overlap between adjacent fences.

ELEVATION VIEW
 1. Silt fence shall be a minimum of 12" high and 6' wide.

REVISIONS

NO.	DESCRIPTION	REVIEW DATE

TYPE A SILT FENCE
 1. Silt fence shall be a minimum of 6' wide and 12" high.

CONCRETE WASHOUT
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FRAME & FILTER DISCHARGE ANALYSIS

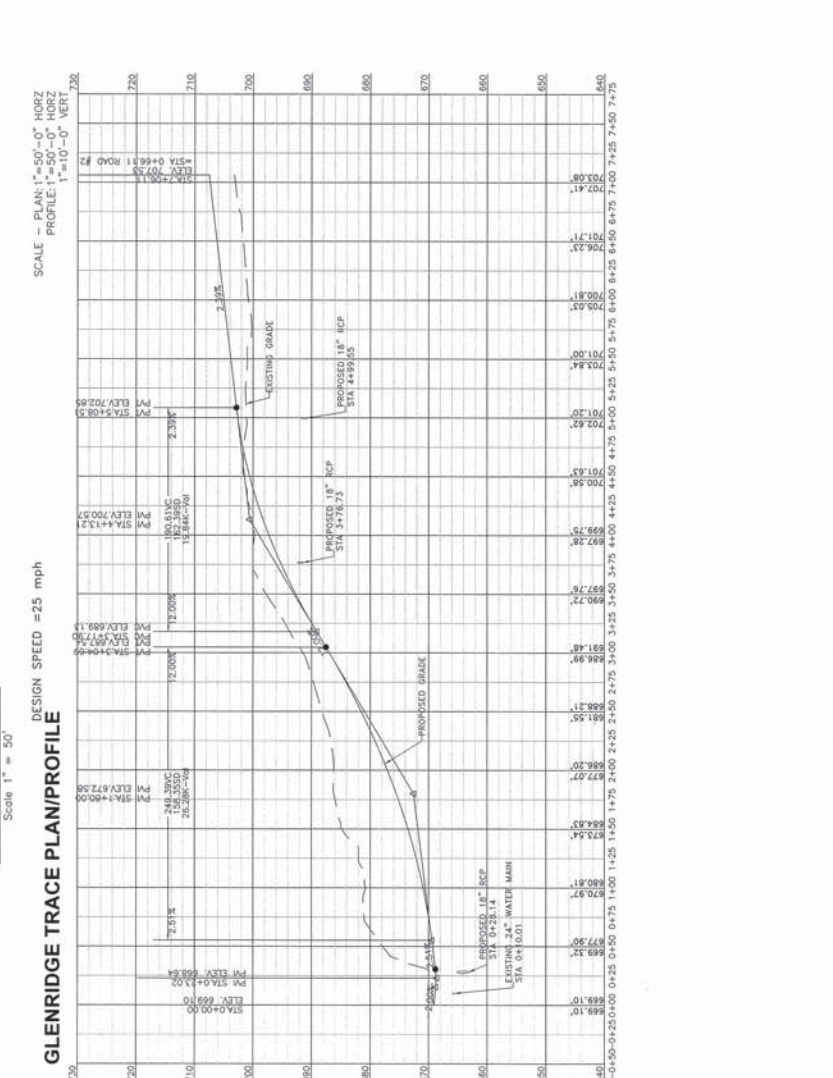
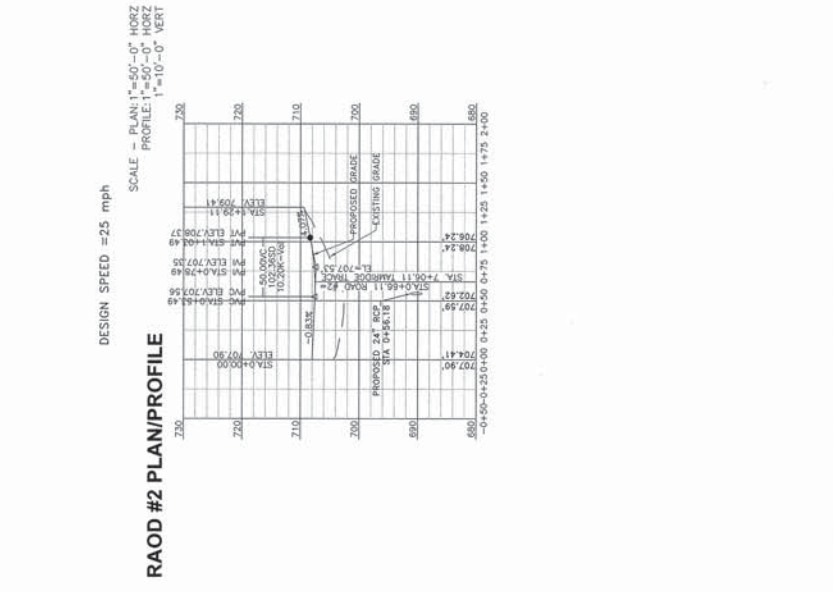
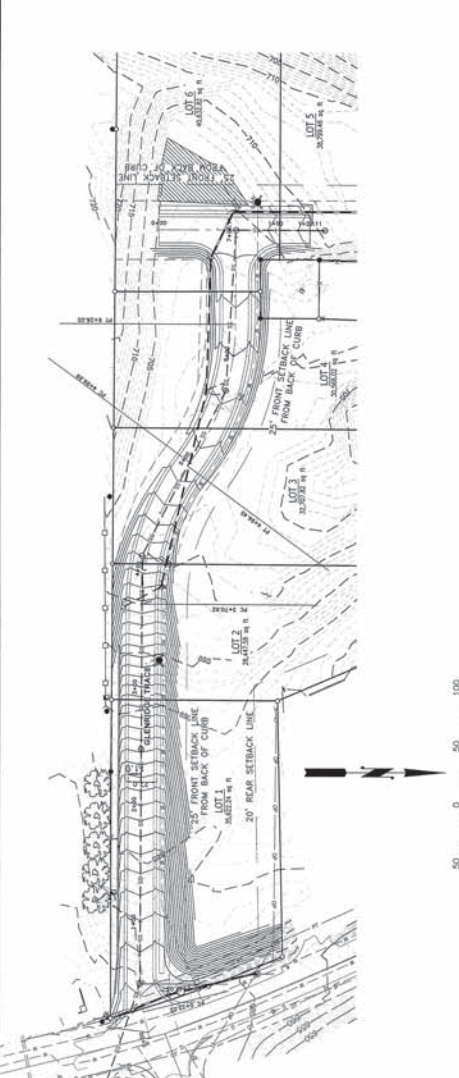
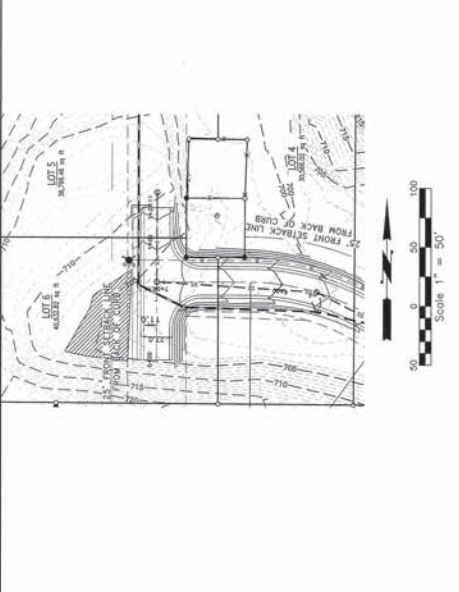
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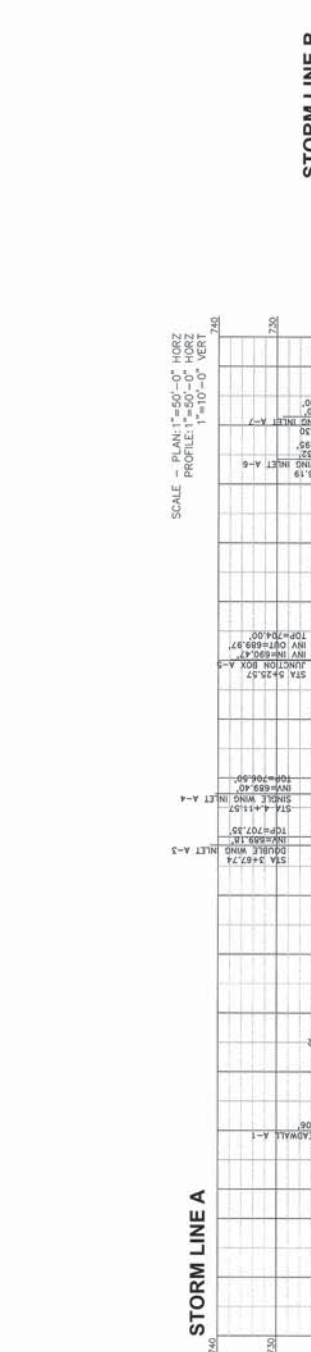
NO.	DESCRIPTION	BY	REVIEW	DATE

REVISION	DATE	DESCRIPTION

CLIENT: TAMMORTH, LLC
 PROJECT NAME: GLENRIDGE 2758 ROCKY RIDGE ROAD UNINCORPORATED JEFFERSON COUNTY, ALABAMA
 DRAWING TITLE: STORM PROFILES
 SCALE: 1" = 50'

DATE: 2/10/20
 DESIGN ENG: MHS
 DESIGN DRG: MHS
 CAD FILE:
 CAD ORG: MHS
 CDR ORG: CC
 FIELD BOOK: 1155
 SURVEYOR:
 REVIEW:
 FUNCTIONAL:
 SCALE: 1" = 50'

PROJECT NO. 76.184
 SHEET 1 OF 1
 DWG. NO. 76.184-12



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TAMWORTH, LLC
 2758 ROCKY RIDGE ROAD
 UNINCORPORATED
 JEFFERSON COUNTY, ALABAMA

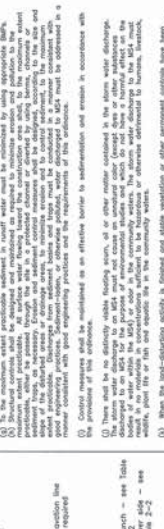
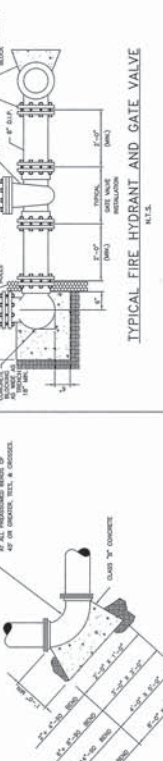
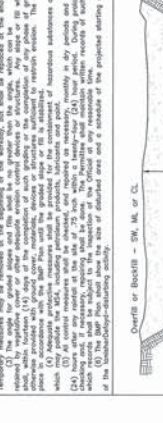
CLIENT: TAMWORTH, LLC
 PROJECT NAME: 2758 ROCKY RIDGE ROAD UNINCORPORATED JEFFERSON COUNTY, ALABAMA
 DRAWING TITLE: DETAILS
 SHEET NO. 1 OF 2
 DWG. NO.: 76.184-13

NO.	DESCRIPTION	REVISIONS

SECTION 5.01 GENERAL REQUIREMENTS

(A) General Requirements
 (1) All materials, workmanship, and construction shall conform to the minimum requirements as specified in the Schedule of Materials and Specifications and the Division Specifications for the work to be performed.
 (2) All materials shall be tested and approved by an approved testing agency prior to use.
 (3) All work shall be done in accordance with the requirements of the Division Specifications and the Schedule of Materials and Specifications.
 (4) All work shall be done in accordance with the requirements of the Division Specifications and the Schedule of Materials and Specifications.
 (5) All work shall be done in accordance with the requirements of the Division Specifications and the Schedule of Materials and Specifications.

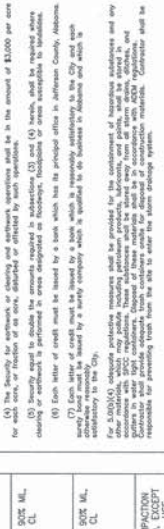
(6) All trench walls shall be constructed with concrete or masonry and shall be designed to resist the full surcharge load.
 (7) All trench walls shall be constructed with concrete or masonry and shall be designed to resist the full surcharge load.
 (8) All trench walls shall be constructed with concrete or masonry and shall be designed to resist the full surcharge load.
 (9) All trench walls shall be constructed with concrete or masonry and shall be designed to resist the full surcharge load.
 (10) All trench walls shall be constructed with concrete or masonry and shall be designed to resist the full surcharge load.



(11) All trench walls shall be constructed with concrete or masonry and shall be designed to resist the full surcharge load.
 (12) All trench walls shall be constructed with concrete or masonry and shall be designed to resist the full surcharge load.
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 (14) All trench walls shall be constructed with concrete or masonry and shall be designed to resist the full surcharge load.
 (15) All trench walls shall be constructed with concrete or masonry and shall be designed to resist the full surcharge load.

INSTALLATION TYPE	BEDDING THICKNESS	INNER BEDDING	OUTER BEDDING	LOWER SIDE
TYPE 1	MINIMUM, NOT EXCEED 6" IF FOUNDATION, USE D6/12 MINIMUM, NOT LESS THAN 6"	85% SW	85% SW	90% SW, 85% M, OR 100% CL
TYPE 2	MINIMUM, NOT EXCEED 6" IF FOUNDATION, USE D6/12 MINIMUM, NOT LESS THAN 6"	90% SW	90% SW	85% SW, 80% M, 90% CL
TYPE 3	MINIMUM, NOT EXCEED 6" IF FOUNDATION, USE D6/12 MINIMUM, NOT LESS THAN 6"	85% SW	90% SW OR 90% M	85% SW, 80% M, 90% CL
TYPE 4	MINIMUM, NOT EXCEED 6" IF FOUNDATION, USE D6/12 MINIMUM, NOT LESS THAN 6"	AS RECOMMENDED, EXCEPT FOR ROCK FOUNDATION, USE D6/12 MINIMUM, NOT LESS THAN 6"	AS RECOMMENDED, EXCEPT FOR ROCK FOUNDATION, USE D6/12 MINIMUM, NOT LESS THAN 6"	AS RECOMMENDED, EXCEPT FOR ROCK FOUNDATION, USE D6/12 MINIMUM, NOT LESS THAN 6"

(16) All trench walls shall be constructed with concrete or masonry and shall be designed to resist the full surcharge load.
 (17) All trench walls shall be constructed with concrete or masonry and shall be designed to resist the full surcharge load.
 (18) All trench walls shall be constructed with concrete or masonry and shall be designed to resist the full surcharge load.
 (19) All trench walls shall be constructed with concrete or masonry and shall be designed to resist the full surcharge load.
 (20) All trench walls shall be constructed with concrete or masonry and shall be designed to resist the full surcharge load.



(21) All trench walls shall be constructed with concrete or masonry and shall be designed to resist the full surcharge load.
 (22) All trench walls shall be constructed with concrete or masonry and shall be designed to resist the full surcharge load.
 (23) All trench walls shall be constructed with concrete or masonry and shall be designed to resist the full surcharge load.
 (24) All trench walls shall be constructed with concrete or masonry and shall be designed to resist the full surcharge load.
 (25) All trench walls shall be constructed with concrete or masonry and shall be designed to resist the full surcharge load.



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REVISIONS

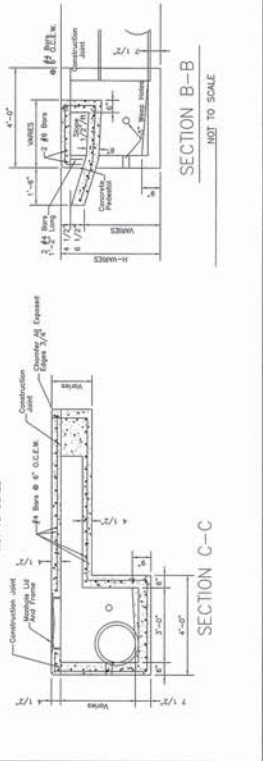
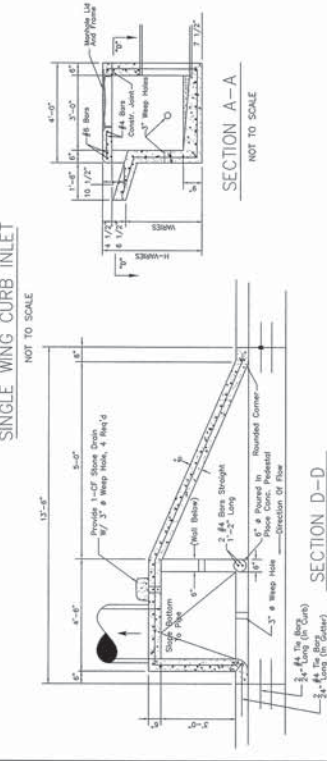
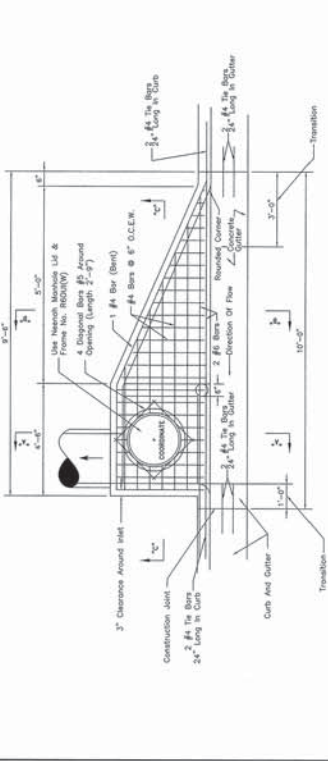
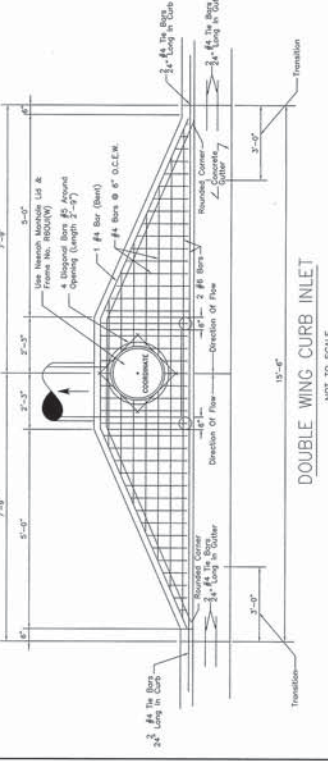
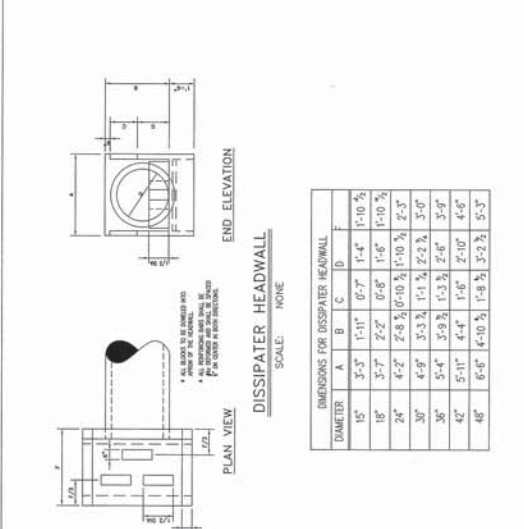
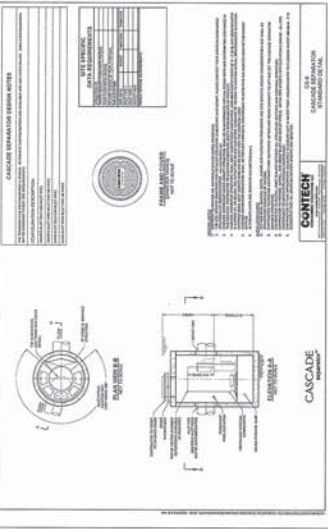
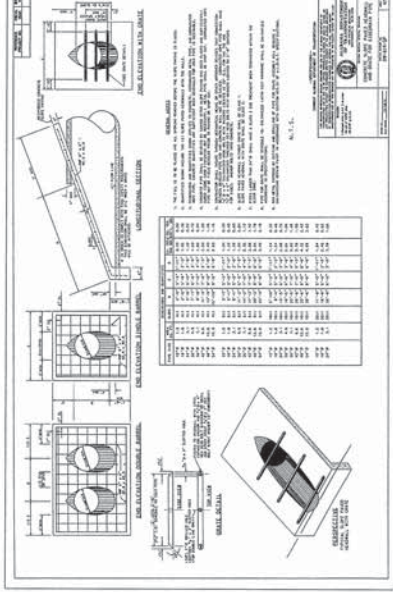
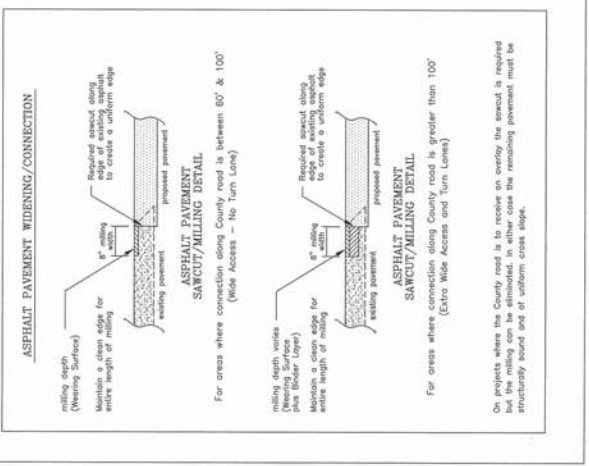
NO.	DESCRIPTION	BY	DATE

PRODUCTION

NO.	DESCRIPTION	BY	DATE

TAMMORTH, LLC
 2768 ROCKY RIDGE ROAD
 UNINCORPORATED
 JEFFERSON COUNTY, ALABAMA

PROJECT NO. 76.184
 SHEET 2 OF 2
 DATE: 3/19/20
 SCALE: N/A





NOTES:

1. ALL CHANNELIZING DEVICES SHALL BE A MINIMUM OF 36" IN HEIGHT.

2. CHANNELIZING DEVICES PLACED IN THE EXCAVATED AREA AHEAD OF PAVING OPERATIONS SHOULD BE SPACED AT 50 FOOT INTERVALS.

3. CHANNELIZING DEVICES SHOULD BE PLACED ON 25 FOOT INTERVALS THROUGHOUT ALL TAPERS.

OPTION:

1. FOR LOW-VOLUME SITUATIONS WITH SHORT WORK ZONES ON HIGHWAY-RAIL GRADE CROSSINGS, A SINGLE FLAGGER, POSITIONED TO BE VISIBLE TO ROAD USERS APPROACHING FROM BOTH DIRECTIONS, MAY BE USED TO CONTROL TRAFFIC THROUGH THE WORK ZONE.

2. THE ROAD WORK AREA AND THE END ROAD WORK SIGNS MAY BE OMITTED FOR SHORT-DURATION OPERATIONS.

3. THE ROAD WORK SIGNS MAY BE USED TO CALL ATTENTION TO THE ADVANCE WARNING SIGNS. A BE PREPARED TO STOP SIGN MAY BE ADDED TO THE SIGN SERIES.

GUIDANCE:

1. BUFFER SPACE SHOULD BE EXTENDED SO THAT THE TWO-WAY TRAFFIC TAPER IS PLACED BEFORE A HORIZONTAL (OR CURVE VERTICAL) CURVE TO PROVIDE ADEQUATE SIGHT DISTANCE FOR THE FLAGGER AND A CURVE OF STOPPED VEHICLES.

2. AT NIGHT, FLAGGER STATIONS SHALL BE ILLUMINATED, EXCEPT IN EMERGENCIES.

GUIDANCE:

1. WHEN THE BE PREPARED TO STOP SIGN SHOULD BE LOCATED BETWEEN THE FLAGGER SIGN AND THE ONE LANE ROAD SIGN.

2. WHEN A HIGHWAY-RAIL GRADE CROSSING EXISTS WITHIN OR RESULTING FROM THE LANE CLOSURE, THE SIGN SERIES SHOULD BE EXTENDED TO THE TRANSITION AREA PRIOR TO THE ONE LANE ROAD SIGN.

3. WHEN A HIGHWAY-RAIL GRADE CROSSING EXISTS WITHIN THE WORK ZONE, THE FLAGGER SHOULD BE POSITIONED TO BE VISIBLE TO ROAD USERS APPROACHING FROM BOTH DIRECTIONS.

4. WHEN A HIGHWAY-RAIL GRADE CROSSING EXISTS WITHIN THE WORK ZONE, THE FLAGGER SHOULD BE POSITIONED TO BE VISIBLE TO ROAD USERS APPROACHING FROM BOTH DIRECTIONS.

5. WHEN A HIGHWAY-RAIL GRADE CROSSING EXISTS WITHIN THE WORK ZONE, THE FLAGGER SHOULD BE POSITIONED TO BE VISIBLE TO ROAD USERS APPROACHING FROM BOTH DIRECTIONS.

6. EARLY COORDINATION WITH THE RAILROAD COMPANY SHOULD OCCUR BEFORE WORK STARTS.

OPTION:

1. FLAGGERS ON A UNIFORMED LAW ENFORCEMENT OFFICER MAY BE USED AT THE HIGHWAY-RAIL GRADE CROSSING TO MINIMIZE THE IMPACT OF THE LANE CLOSURE ON TRAFFIC.

2. FLAGGERS ON A UNIFORMED LAW ENFORCEMENT OFFICER MAY BE USED AT THE HIGHWAY-RAIL GRADE CROSSING TO MINIMIZE THE IMPACT OF THE LANE CLOSURE ON TRAFFIC.

3. FLAGGERS ON A UNIFORMED LAW ENFORCEMENT OFFICER MAY BE USED AT THE HIGHWAY-RAIL GRADE CROSSING TO MINIMIZE THE IMPACT OF THE LANE CLOSURE ON TRAFFIC.

GENERAL NOTES

The Contractor and/or Developer shall notify the Jefferson County Department of Roads & Transportation (649-2312) at least two days prior to performing any work within the County maintained road right of way. The Contractor shall obtain a MUTCD permit from the County Department of Roads & Transportation. Failure to notify the County Department of Roads & Transportation may result in the County Department of Roads & Transportation taking action to stop work and require removal and/or re-construction of the work zone. The Contractor/Developer is responsible for obtaining all necessary permits and approvals from the County Department of Roads & Transportation. All construction shall be done in accordance with Jefferson County Subdivision and Construction Specifications. The Contractor and/or Developer shall be responsible for the installation and maintenance of all traffic control devices and signs. The Contractor shall be responsible for the protection of adjacent properties, roadways, and waterways. The Contractor and/or Developer are responsible for providing a construction site free of drainage problems. All utility cutouts within the road shall be back filled with stone in accordance with the specifications of the Jefferson County Subdivision and Construction Regulations. All utility construction within the road right of way shall be permitted in accordance with Article 6 of the Jefferson County Subdivision and Construction Regulations. The Contractor shall obtain all necessary permits and approvals from the County Department of Roads & Transportation. All existing and required public road right-of-way and easements are shown on the construction plans. Structures such as walls, signs, and other structures shall be protected and maintained. All structures shall be placed in the right-of-way or easements without prior plan approval by the County Department of Roads & Transportation. Roadway grading operations shall be limited to the approved plan requirements. All other grading operations involving additional requirements shall be coordinated with Jefferson County rights of way and easements. The Owner or Developer shall provide the Contractor with excluded permits for community identification signs, (if required) and right-of-way or easements. All drainage structures within an existing or proposed Jefferson County right of way shall be cast-in-place and meet or exceed AASHTO standards. The Contractor shall be responsible for obtaining all necessary permits and approvals from the County Department of Roads & Transportation. The Contractor shall be responsible for providing a construction site free of drainage problems. All utility cutouts within the road shall be back filled with stone in accordance with the specifications of the Jefferson County Subdivision and Construction Regulations. All utility construction within the road right of way shall be permitted in accordance with Article 6 of the Jefferson County Subdivision and Construction Regulations. The Contractor shall obtain all necessary permits and approvals from the County Department of Roads & Transportation. All existing and required public road right-of-way and easements are shown on the construction plans. Structures such as walls, signs, and other structures shall be protected and maintained. All structures shall be placed in the right-of-way or easements without prior plan approval by the County Department of Roads & Transportation. Roadway grading operations shall be limited to the approved plan requirements. All other grading operations involving additional requirements shall be coordinated with Jefferson County rights of way and easements.

TRAFFIC CONTROL NOTES

The Contractor shall install and maintain temporary traffic control devices for all roadway or driveway construction located along County maintained roads in accordance with the approved plans and the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD) Part 6.

Permanent roadway signs or temporary construction signs which are not applicable or inappropriate for the prevailing conditions shall be covered or removed.

The dimensions shown or specified for locating construction signs are provided as a guide only. Signs shall be set in existing conditions and provide maximum visibility to motorists.

The Contractor shall take every reasonable precaution to provide for the safety of the traveling public and the workers on site. If conditions are hazardous, the Contractor shall take immediate action to eliminate the hazardous conditions. Immediately take remedial action to eliminate the hazardous conditions.

Travel lanes may not be reduced to less than 10 feet. If construction limits about or encroach on the travel lane of a road open to traffic, it shall be closed to traffic. If the Contractor is unable to close the road, it shall be closed to traffic. MUTCD typical applications, unless otherwise approved by County personnel.

The Contractor shall keep open roadways clean and free of construction materials and debris. Objectionable material that may cause hazardous driving conditions shall be removed.

Traffic control devices shall be in good condition and meet the standards and installation requirements specified in the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD) and Standard and Special Drawings. Construction sign retro-reflectivity shall meet MUTCD standards.

Roadways and driveways shall remain open during construction, unless otherwise approved by the County.

NOTES

1. ALL CHANNELIZING DEVICES SHALL BE A MINIMUM OF 36" IN HEIGHT.

2. CHANNELIZING DEVICES PLACED IN THE EXCAVATED AREA AHEAD OF PAVING OPERATIONS SHOULD BE SPACED AT 50 FOOT INTERVALS.

3. CHANNELIZING DEVICES SHOULD BE PLACED ON 25 FOOT INTERVALS THROUGHOUT ALL TAPERS.

4. WHEN THERE IS NO EXISTING HAZARD OR AT THE END OF WORK ZONE, THE FLAGGER SIGN SHOULD BE PLACED AT THE END OF THE WORK ZONE.

5. THE WORK ZONE IS STATIONARY, THE ADVANCE WARNING DEVICES SHALL BE MOVED TO THE SHOULDER EDGE.

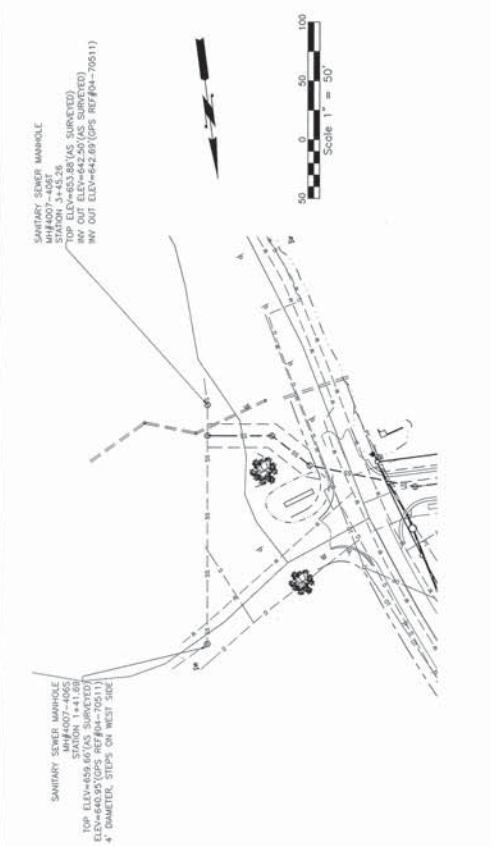
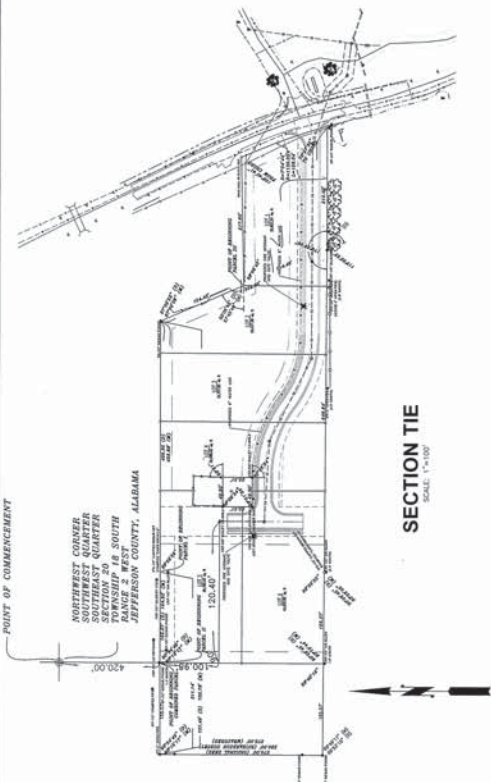
6. THE ADVANCE WARNING DEVICES SHALL BE MOVED TO THE SHOULDER EDGE.

7. ALL TRAFFIC CONTROL SHALL BE IN COMPLIANCE WITH THE MUTCD, LATEST EDITION.

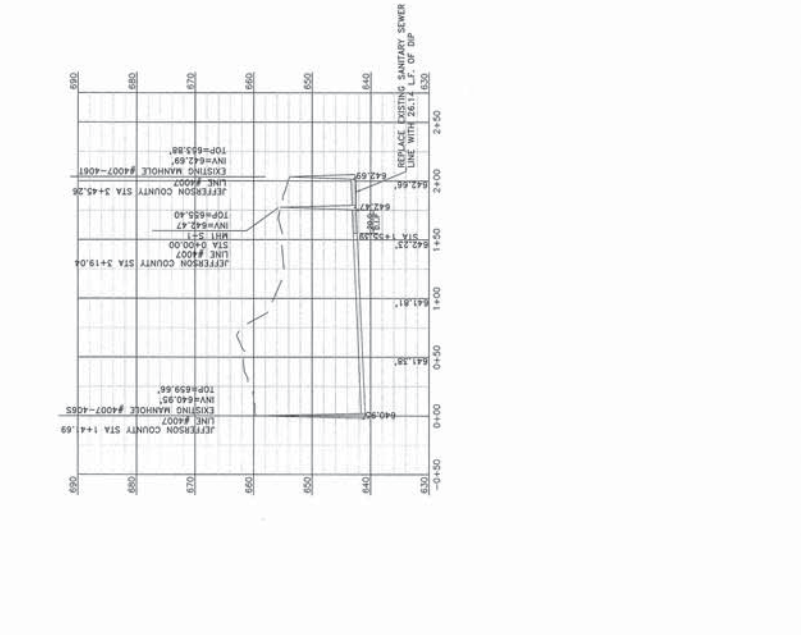
8. THE LOCATION OF CHANNELIZING DEVICES AND THE WORK AREA LAYOUT SHALL BE BASED ON THE CRITERIA IN THE FOLLOWING TABLE.

POSTED SPEED AND/OR DESIGN SPEED	CHANNELIZING DEVICES SPACING		LONGITUDINAL BUFFER SPACE (FT)	TAPER RATES 1
	MAXIMUM	MINIMUM		
40	40	80	170	27:1
45	45	90	220	45:1
50	50	100	280	50:1
55	55	110	335	55:1
60	60	120	415	60:1
65	65	130	485	65:1
70	70	140	575	70:1

1. NOTE: TAPER RATES ARE FOR SPEEDS OF 45 MPH OR GREATER. L = 100 FEET FOR SPEEDS OF 40 MPH OR LESS. W = MINIMUM OF OFFSET (USUALLY LAKE WIDTH) IN FEET. S = DESIGN SPEED OR 85TH PERCENTILE IN MILES PER HOUR.



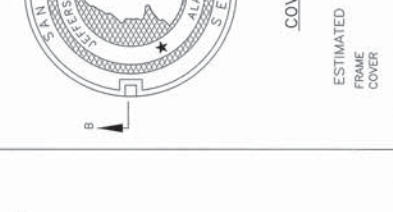
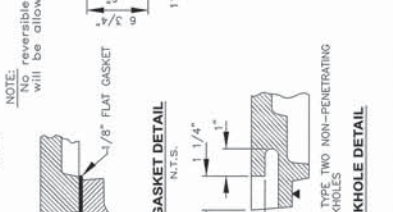
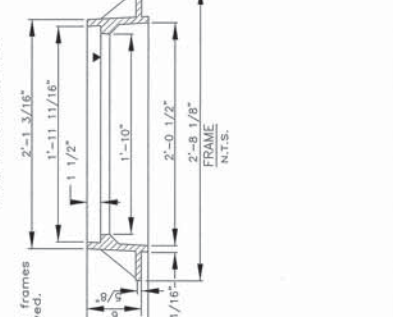
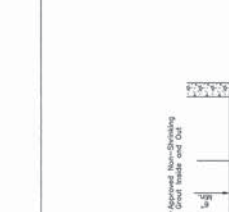
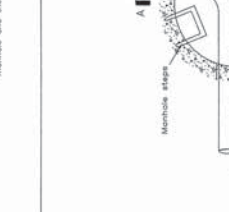
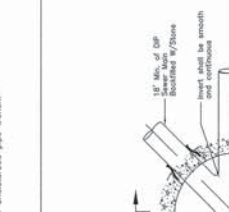
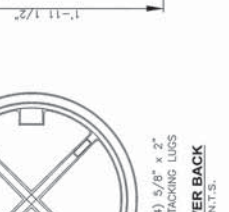
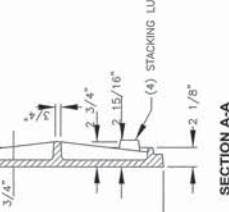
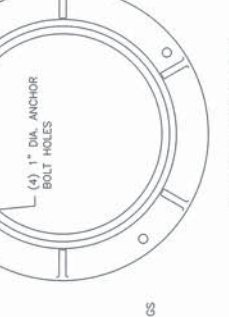
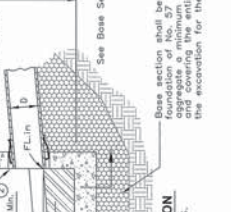
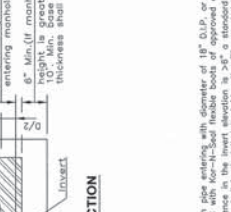
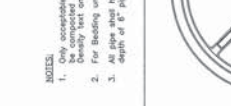
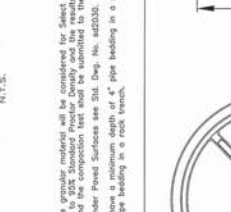
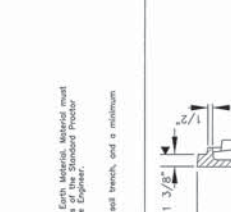
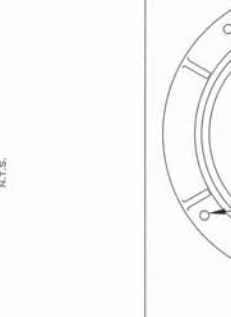
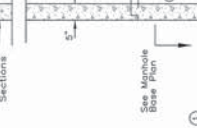
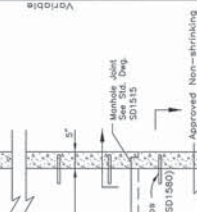
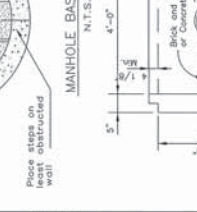
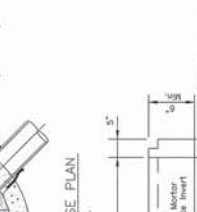
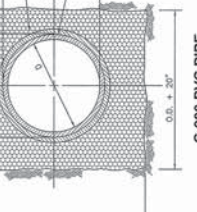
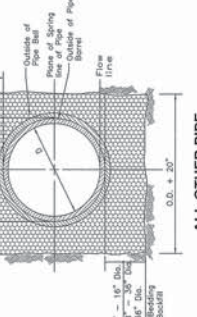
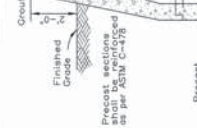
NOTE: ALL LATERALS TO BE
 4" DIP



CLIENT	TAMWORTH, LLC
PROJECT NAME	GLENRIDGE
PROJECT NO.	76.184
SHEET 1 OF 1	
DWG. NO.	76.184-18

DATE	2/19/20	SCALE	N/A
DESIGN FIRM	PRINCIPAL	DESIGN ENG.	N/A
DESIGNER	F. E.	CHECKED BY	
DESIGN ENGINEER		DATE	

CARR & ASSOCIATES ENGINEERS, INC.
 153 CAHABA VALLEY PARKWAY
 PLUM, ALABAMA 35124
 PHONE (205) 934-4400
 FAX (205) 934-4401
 WWW.CARR-ENGINEERS.COM
 CARR & ASSOCIATES ENGINEERS, INC.
 WRITING OFFICE
 2020 SOUTH GARDNER ROAD
 SUITE 100
 MOBILE, ALABAMA 36688
 PHONE (904) 686-1111
 FAX (904) 686-1112
 WWW.CARR-ENGINEERS.COM



CONNECTION TO EXISTING MANHOLE
 N.T.S.

MANHOLE BASE PLAN
 N.T.S.

BASE SECTION
 N.T.S.

MANHOLE BASE PLAN
 N.T.S.

BASE SECTION
 N.T.S.

MANHOLE BASE PLAN
 N.T.S.

BASE SECTION
 N.T.S.

MANHOLE BASE PLAN
 N.T.S.

BASE SECTION
 N.T.S.

MANHOLE BASE PLAN
 N.T.S.

CONNECTION TO EXISTING MANHOLE
 N.T.S.

NOTES:
 1. Only acceptable granular material will be considered for Select Earth Material. Material must be approved by the Engineer. Material must be tested and the test results submitted to the Engineer.
 2. For bedding under Paved Surfaces see Std. Det. No. SD1030.
 3. All pipe shall have a minimum depth of 4" pipe bedding in a soil trench, and a minimum depth of 6" pipe bedding in a rock trench.

SECTION A-A
 N.T.S.

GASKET DETAIL
 N.T.S.

COVER TOP
 N.T.S.

COVER BACK
 N.T.S.

SECTION A-A
 N.T.S.

GASKET DETAIL
 N.T.S.

COVER TOP
 N.T.S.

COVER BACK
 N.T.S.

SECTION A-A
 N.T.S.

ALL OTHER PIPE
 N.T.S.

GASKET DETAIL
 N.T.S.

COVER TOP
 N.T.S.

COVER BACK
 N.T.S.

SECTION A-A
 N.T.S.

GASKET DETAIL
 N.T.S.

COVER TOP
 N.T.S.

COVER BACK
 N.T.S.

SECTION A-A
 N.T.S.

GASKET DETAIL
 N.T.S.

MANHOLE BASE PLAN
 N.T.S.

BASE SECTION
 N.T.S.

MANHOLE BASE PLAN
 N.T.S.

BASE SECTION
 N.T.S.

MANHOLE BASE PLAN
 N.T.S.

BASE SECTION
 N.T.S.

MANHOLE BASE PLAN
 N.T.S.

BASE SECTION
 N.T.S.

MANHOLE BASE PLAN
 N.T.S.

CONNECTION TO EXISTING MANHOLE
 N.T.S.

ESTIMATED WEIGHTS
 FRAME 174 LBS.
 COVER 124 LBS.

(2) TYPE TWO NON-PENETRATING PICKHOLES

PICKHOLE DETAIL
 N.T.S.

COVER TOP
 N.T.S.

COVER BACK
 N.T.S.

SECTION A-A
 N.T.S.

GASKET DETAIL
 N.T.S.

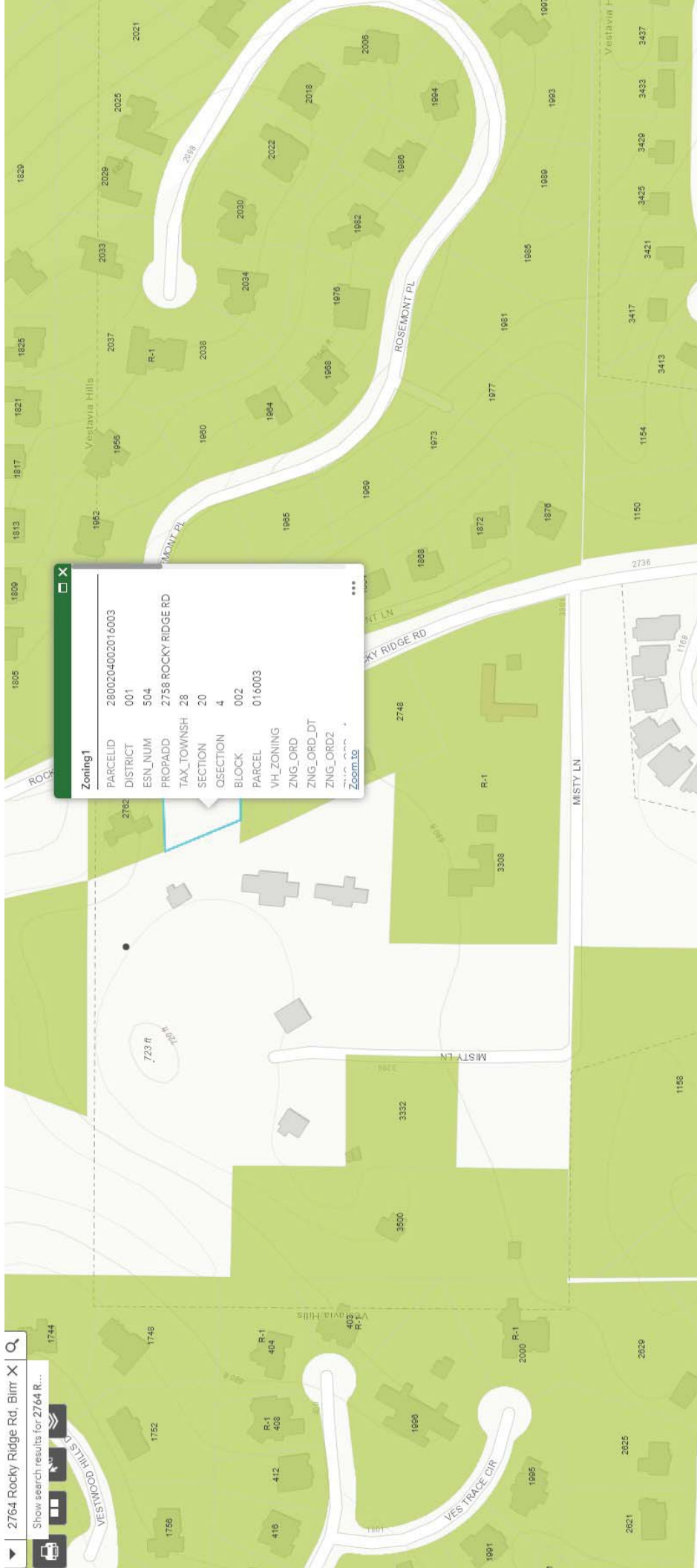
COVER TOP
 N.T.S.

COVER BACK
 N.T.S.

SECTION A-A
 N.T.S.

2764 Rocky Ridge Rd, Blinn X

Show search results for 2764 R...



Zoning1

PARCELID	2800204002016003
DISTRICT	001
ESN_NUM	504
PROPADD	2758 ROCKY RIDGE RD
TAX_TOWNSH	28
SECTION	20
QSECTION	4
BLOCK	002
PARCEL	016003
VH_ZONING	
ZNG_ORD	
ZNG_ORD_DT	
ZNG_ORD2	
Zoom In	
Zoom Out	

ORDINANCE NUMBER 2956

**ANNEXING CERTAIN TERRITORY TO THE
CORPORATE LIMITS OF THE CITY OF VESTAVIA
HILLS, ALABAMA.**

WHEREAS, on the 8th day of June, 2020, a petition was presented to the City Council of the City of Vestavia Hills, Alabama, proposing the annexation of certain property to the City of Vestavia Hills, Alabama, under the provisions of Act 32 of the Special Session on the Alabama Legislature of 1964; and

WHEREAS, the City Council of the City of Vestavia Hills, at the time and place of its regular meeting on said date, made a determination that the matters contained in the Petition were true and that it was in the public interest that said property be annexed to the City of Vestavia Hills, Alabama.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Vestavia Hills, Alabama, as follows:

1. That the following property which was described in said petition be annexed to the City of Vestavia Hills, Alabama:

2758 & 2764 Rocky Ridge Road & 2768 Misty Lane
Tamworth, LLC, Owner(s)

More particularly described as follows:

A parcel of land containing: 4.863 Acres more or less, located in the Southeast quarter of Section 20, Township 18 South, Range 2 West, Jefferson County Alabama: more particularly described as follows:

COMMENCE at the NW Corner of the SW 1/4 of the SE 1/4 of said Section 20: thence run South 420 feet thence left 90 degrees 34 minutes 49 seconds, 155.57 feet to the POINT OF BEGINNING; thence continue along last stated course for a distance of 580.22 feet to a point; thence turn in interior angle to the left counterclockwise 112°51'26" and run a distance of 154.59 feet to a point; thence turn an angle right 68°06'43" and run a distance of 217.60 feet to a point of the West Right-of-Way line of Rocky Ridge Road, being a point along a curve to the left along said Right-of-Way line with a central angle of 03°25'25", a radius of 1136.15 feet, and an arc length of 67.89 feet; thence turn an interior angle to the left counterclockwise 110°54'38" to the chord of said curve of S 22°02'23" E and run a chord distance of 67.88 feet to a point on a curve to the left along said Right-of-Way line with a central angle of 04°30'39", a radius of 1119.74 feet and an arc length of 88.15 feet; thence S 18°05'13" E and run a chord distance of 88.13 feet

to a point; turn an interior angle left counterclockwise from the chord of the previously stated curve $71^{\circ}50'50''$ and run a distance of 912.22 feet to a point; thence turn an interior angle left counterclockwise $90^{\circ}10'44''$ and run a distance of 279.18 feet to the POINT OF BEGINNING.

2. That this Annexation shall become effective upon the adoption and approval of this Ordinance in accordance with the provisions of law, after which the heretofore described property shall become a part of the City of Vestavia Hills, Alabama.

3. That the City Clerk be and is hereby directed to publish this Ordinance in accordance with the requirements of the law and to file a copy hereof with the Probate Judge of Jefferson County, Alabama.

ADOPTING and APPROVED this the 28th day of September, 2020.

Rusty Weaver
Mayor Pro-Tem

ATTESTED BY:

Rebecca Leavings
City Clerk

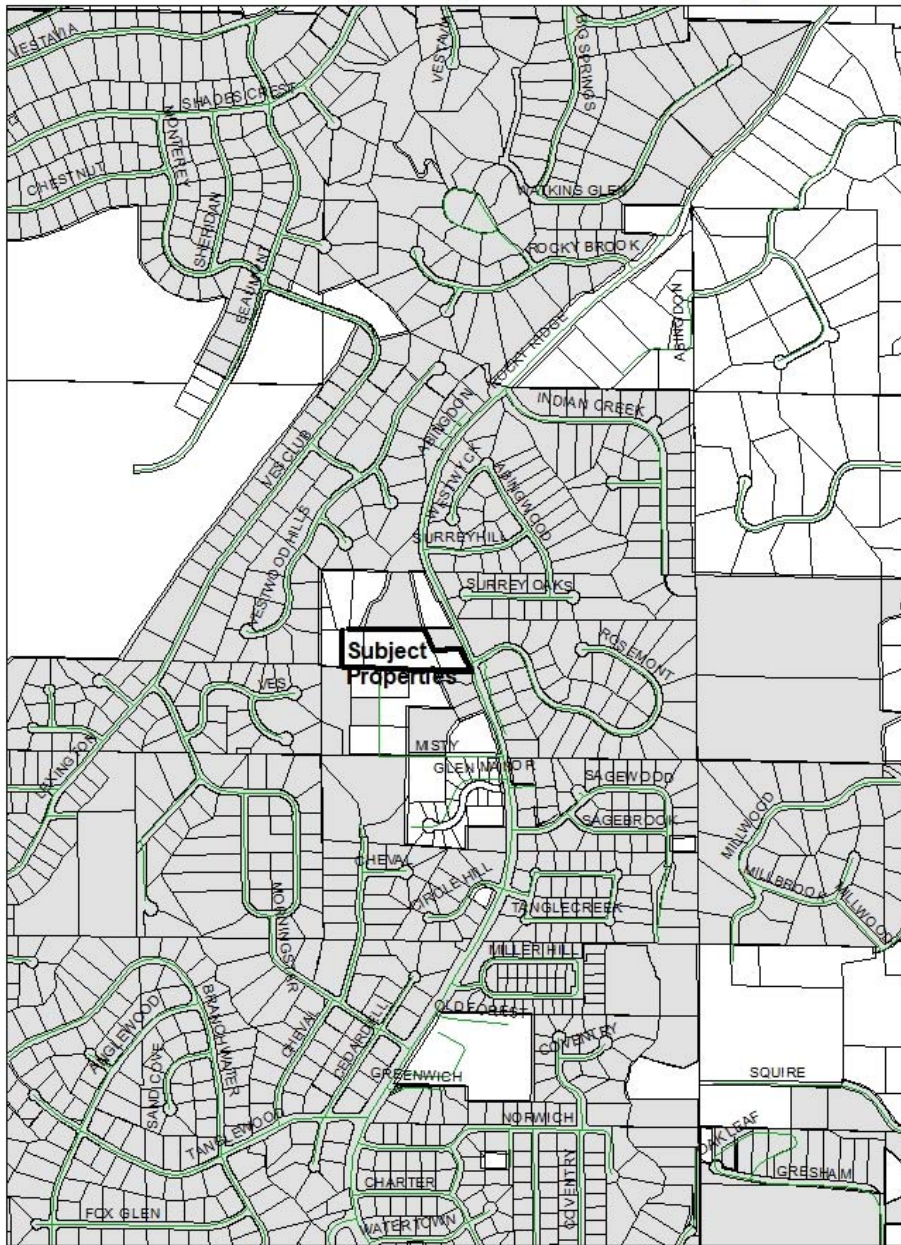
CERTIFICATION:

I, Rebecca Leavings, as City Clerk of the City of Vestavia Hills, Alabama, hereby certify that the above and foregoing copy of 1 (one) Ordinance # 2956 is a true and correct copy of such Ordinance that was duly adopted by the City Council of the City of Vestavia Hills on the 28th day of September, 2020, as same appears in the official records of said City.


Posted at Vestavia Hills Municipal Center, Vestavia Hills Library in the Forest, Vestavia Hills New Merkle House and Vestavia Hills Recreational Center this the _____ day of _____, 2020.

Rebecca Leavings
City Clerk

2758 2764 Rocky Ridge Rd 2768 Misty Ln



Legend

 Vestavia_Hills_City_Limits

PARCEL #: 28 00 20 4 002 016.000
OWNER: TAMWORTH LLC
ADDRESS: 1313 KINGSWAY LN VESTAVIA AL 35243
LOCATION: 2764 ROCKY RIDGE RD AL 35243

Exhibit - Ordinance No. 2956
[111-D-] Baths: **1.0** H/C Sqft: **1,042**
18-011.0 Bed Rooms: **3** Land Sch: **GC2**
Land: **234,900** Imp: **32,700** Total: **267,600**
Acres: **0.000** Sales Info: **05/17/2018** **\$400,000**

<< Prev Next >> [1 / 0 Records] Processing...

Tax Year : 2019 ▼

SUMMARY LAND BUILDINGS SALES PHOTOGRAPHS MAPS

SUMMARY

ASSESSMENT		VALUE	
PROPERTY CLASS: 2	OVER 65 CODE:	LAND VALUE 10%	\$0
EXEMPT CODE:	DISABILITY CODE:	LAND VALUE 20%	\$0
MUN CODE:	HS YEAR: 0	CURRENT USE VALUE [DEACTIVATED]	\$0
SCHOOL DIST:	EXM OVERRIDE AMT: \$0.00	CLASS 2	
OVR ASD VALUE: \$0.00	TOTAL MILLAGE: 8.2	BARN B-51 1000	B511000 \$100
CLASS USE:		BLDG 001	111 \$32,600
FOREST ACRES: 0	TAX SALE:	BARN B-51 1000	B511000 \$100
PREV YEAR VALUE: \$267,600.00	BOE VALUE: 0	BLDG 001	111 \$32,600
		CLASS 3	
		BARN B-51 1000	B511000 \$100
		BLDG 001	111 \$32,500
		BARN B-51 1000	B511000 \$100
		BLDG 001	111 \$31,200
		BARN B-51 1000	B511000 \$100
		BARN B-51 1000	B511000 \$100
		BARN B-51 1000	B511000 \$100
		BARN B-51 1000	B511000 \$100
		BARN B-51 1000	B511000 \$100
		BARN B-51 1000	B511000 \$100
		BARN B-51 1000	B511000 \$100
		BARN B-51 1000	B511000 \$100
		BARN B-51 1000	B511000 \$100
		BARN B-51 1000	B511000 \$100
		BARN B-51 1000	B511000 \$100
		BARN B-51 1000	B511000 \$100
		BARN B-51 1000	B511000 \$100
		BARN B-51 1000	B511000 \$100
		BARN B-51 1000	B511000 \$100
		OTHER BLDG	\$398,000
		TOTAL MARKET VALUE [APPR. VALUE: \$0]:	\$528,700

TAX INFO						
CLASS	MUNCODE	ASSD. VALUE	TAX	EXEMPTION	TAX EXEMPTION	TOTAL TAX
		ASSD. VALUE: \$0.00	\$0.00			GRAND TOTAL: \$0.00

DEEDS		PAYMENT INFO			
INSTRUMENT NUMBER	DATE	PAY DATE	TAX YEAR	PAID BY	AMOUNT
2018051574	5/17/2018	12/31/2019	2019	TAMWORTH LLC	\$2,681.35
2016016774	9/30/2015	12/28/2018	2018	TAMWORTH LLC	\$1,668.43
201515-23551	9/30/2015	12/28/2017	2017	JAMES THOMAS	\$1,661.41
200962-2232	04/27/2009	12/14/2016	2016	THOMAS J MICHAEL	\$1,636.37
4812-469	03/13/1952	12/18/2015	2015	JAMES THOMAS	\$751.50
		12/31/2014	2014	JAMES THOMAS	\$751.50
		12/19/2013	2013	JAMES THOMAS	\$751.50
		1/2/2013	2012	THOMAS JUANITA AS TRUSTEE	\$751.50

PARCEL #: 28 00 20 4 002 016.001 OWNER: TAMWORTH LLC ADDRESS: 1313 KINGSWAY LN VESTAVIA AL 35243 LOCATION: 2768 MISTY LN BHAM AL 35243	Exhibit - Ordinance No. 2956	
	Baths: 0.0	H/C Sqft: 0
	18-011.0	Bed Rooms: 0 Land Sch: A114
	Land: 56,000	Imp: 0 Total: 56,000
	Acres: 0.000	Sales Info: 05/17/2018 \$50,000

<< Prev Next >> [1 / 0 Records] Processing...

Tax Year : 2019 ▼

SUMMARY LAND BUILDINGS SALES PHOTOGRAPHS MAPS

SUMMARY

ASSESSMENT PROPERTY CLASS: 2 OVER 65 CODE: EXEMPT CODE: DISABILITY CODE: MUN CODE: HS YEAR: 0 SCHOOL DIST: EXM OVERRIDE AMT: \$0.00 OVR ASD VALUE: \$0.00 TOTAL MILLAGE: 8.2 CLASS USE: FOREST ACRES: 0 TAX SALE: PREV YEAR VALUE: \$56,000.00 BOE VALUE: 0		VALUE LAND VALUE 10% \$0 LAND VALUE 20% \$0 CURRENT USE VALUE [DEACTIVATED] \$0 TOTAL MARKET VALUE [APPR. VALUE: \$0]: \$0	
--	--	--	--

TAX INFO						
CLASS	MUNCODE	ASSD. VALUE	TAX	EXEMPTION	TAX EXEMPTION	TOTAL TAX
ASSD. VALUE: \$0.00		\$0.00		GRAND TOTAL: \$0.00		

DEEDS		PAYMENT INFO			
INSTRUMENT NUMBER	DATE	PAY DATE	TAX YEAR	PAID BY	AMOUNT
2018051549	5/17/2018	12/31/2019	2019	TAMWORTH LLC	\$561.12
3641-629	07/10/1989	12/28/2018	2018	TAMWORTH LLC	\$160.32
		1/9/2018	2017	-	\$160.32
		1/10/2017	2016	-	\$160.32
		1/8/2016	2015	KESSLER NINA J	\$160.32
		1/7/2015	2014	-	\$175.32
		1/16/2014	2013	-	\$175.32
		1/28/2013	2012	KESSLER NINA J	\$175.32
		20111231	2011	***	\$175.32
		20101231	2010	***	\$175.32
		20091231	2009	***	\$175.32
		20090213	2008	***	\$175.32
		20071231	2007	***	\$415.80
		20061231	2006	***	\$415.80
		20051231	2005	***	\$415.80
		20041230	2004	***	\$415.80
		20031217	2003	***	\$415.80
		20021218	2002	***	\$265.50
		20011231	2001	***	\$265.50
		20001220	2000	***	\$265.50
		19991231	1999	***	\$265.50
		19990325	1998	***	\$247.03
		19971208	1997	***	\$235.44
		19961108	1996	***	\$220.44

PARCEL #: 28 00 20 4 002 016.003 OWNER: TAMWORTH LLC ADDRESS: 1313 KINGSWAY LN VESTAVIA AL 35243 LOCATION: 2758 ROCKY RIDGE RD AL 35243	Exhibit - Ordinance No. 2956	
	Baths: 0.0	H/C Sqft: 0
	18-011.0 Bed Rooms: 0	Land Sch: A114
	Land: 52,500 Imp: 0	Total: 52,500
Acres: 0.000	Sales Info: 05/17/2018 \$50,000	

<< Prev Next >> [1 / 0 Records] Processing...

Tax Year : 2019 ▼

SUMMARY LAND BUILDINGS SALES PHOTOGRAPHS MAPS

SUMMARY

ASSESSMENT PROPERTY CLASS: 2 OVER 65 CODE: EXEMPT CODE: DISABILITY CODE: MUN CODE: HS YEAR: 0 SCHOOL DIST: EXM OVERRIDE AMT: \$0.00 OVR ASD VALUE: \$0.00 TOTAL MILLAGE: 8.2 CLASS USE: FOREST ACRES: 0 TAX SALE: PREV YEAR VALUE: \$52,500.00 BOE VALUE: 0		VALUE LAND VALUE 10% \$0 LAND VALUE 20% \$0 CURRENT USE VALUE [DEACTIVATED] \$0 TOTAL MARKET VALUE [APPR. VALUE: \$0]: \$0	
--	--	---	--

TAX INFO						
CLASS	MUNCODE	ASSD. VALUE	TAX	EXEMPTION	TAX EXEMPTION	TOTAL TAX
ASSD. VALUE: \$0.00		\$0.00		GRAND TOTAL: \$0.00		

DEEDS		PAYMENT INFO			
INSTRUMENT NUMBER	DATE	PAY DATE	TAX YEAR	PAID BY	AMOUNT
2018051545	5/17/2018	12/31/2019	2019	TAMWORTH LLC	\$526.05
9402-4009	1/1/1900	12/28/2018	2018	TAMWORTH LLC	\$526.05
		12/30/2017	2017	JAMES THOMAS	\$526.05
		12/14/2016	2016	THOMAS J MICHAEL	\$526.05
		1/18/2016	2015	DIANE T RYAN	\$526.05
		12/31/2014	2014	JAMES THOMAS	\$541.05
		1/22/2014	2013	-	\$541.05
		1/24/2013	2012	DIANE T.RYAN	\$541.05
		20111231	2011	***	\$541.05
		20101231	2010	***	\$541.05
		20091231	2009	***	\$541.05
		20081231	2008	***	\$541.05
		20071231	2007	***	\$803.57
		20061231	2006	***	\$803.57
		20051231	2005	***	\$803.57
		20041231	2004	***	\$803.57
		20031212	2003	***	\$803.57
		20021231	2002	***	\$507.98
		20011231	2001	***	\$507.98
		20001227	2000	***	\$507.98
		19991222	1999	***	\$507.98
		19981230	1998	***	\$428.22
		19971231	1997	***	\$428.22
		19961231	1996	***	\$413.22

Annexation Committee Petition Review

Property: 2758 & 2764 Rocky Rdg Rd 2768 Misty Ln

Owners: Tamworth LLC

Date: 5/54/2020

1. The property in question is contiguous to the city limits.
 Yes No Comments: _____

2. The land use of the petitioned property is compatible with land use in the area.
 Yes No Comments: _____

3. The property being petitioned is noted in the September 2006 Annexation Policy Task Force Report as an area of interest to the city for annexation.
 Yes No Comments _____

4. Streets and drainage structures are in substantial compliance with city regulations and building codes, and in good condition at the time of the annexation.
 Yes No Comments NA

5. Individual household has a Jefferson or Shelby County Tax Assessor minimum market value of NA. Meets city criteria: Yes No
 Comment: _____
6. This street has fewer than 100% of the individual properties within the limits of the city
 Yes No
 Number of total homes _____ Number in city _____
7. Fire dues pursuant to Act #604 of the State of Alabama, and any other assessments on the property shall be the responsibility of the property owner, and their payment proven to the city.
 Agreed to by petitioner: Yes No Comment _____

Property: 2758 & 2764 Rocky Rdg Rd 2768 Misty Ln

8. A non-refundable administrative fee of \$100 has been paid to the city. Furthermore, voluntary contributions, including an application fee, of \$ 1100 will be paid to offset costs associated with the annexation.
Yes No Comment _____

9. Property is free and clear of hazardous waste, debris and materials.
Yes No Comment _____

10. Are there any concerns from city departments?
Yes No Comments: _____

11. Information on children: Number in family 2/10; Plan to enroll in VH schools Yes No Comments: _____

Other Comments: Proposed dev. of 6 homes

George Pierce
Chairman

CITY OF VESTAVIA HILLS
Department Review of Proposed Annexation
(To be completed by Official City Reviewers)

The following properties have requested to be annexed into the City. Please review this request and then forward your comments to the City Clerk as soon as is reasonably possible.

Location: 2758 & 2764 Rocky Rdg Rd 2768 Misty Ln

Engineering; Public Services

Date: 3/20/20 Initials: ABradley

2758/2764 Rocky Ridge/2768 Misty Lane -- no significant concerns noted; development plan submitted to conform to City requirements; access to Rocky Ridge Road is to be approved by Jefferson County.

Police Department:

Date: 3/18/2020 Initials: cm

Comments: No problem

Fire Department:

Date: 3/24/2020 Initials: R Farrell

Comments: n/p

Board of Education:

Date: 3/18/2020 Initials: S Bendall

Comments: n/p w/ single family res. via email

STATE OF ALABAMA

_____ COUNTY

**PETITION FOR ANNEXATION TO THE
CITY OF VESTAVIA HILLS, ALABAMA**

Date of Petition: Feb 24, 2020

To the Honorable Mayor and City Council of the City of Vestavia Hills, Alabama:

We, the undersigned owners of the properties set out in red outline in Exhibit "A" attached hereto, which properties are contiguous to the City limits of the City of Vestavia Hills, Alabama, under the authority of Act No. 32 of the Special Session of the Alabama Legislature of 1964, do hereby petition the City of Vestavia Hills, Alabama, that the properties set out in red outline in Exhibit "A" attached, situated in _____ County, Alabama, be annexed to the City of Vestavia Hills, Alabama. The metes and bounds description of the boundary of the property of the undersigned proposed to be annexed is also set out on said Exhibit "A" and a map showing in red the property proposed for annexation by this petition is also attached and made a part hereof.

The undersigned petitioners do further petition that the Honorable Mayor and City Council of the City of Vestavia Hills, Alabama, set a date for the hearing of this petition and any objections in writing to the petition or protest, on a date certain and that no less than ninety (90) days before said date certain for said hearing on this petition, that a notice of said hearing along with this petition be published in a newspaper of general circulation in Jefferson County, Alabama.

We, the undersigned petitioners do also ask that the Honorable Mayor and City Council of the City of Vestavia Hills, Alabama, do all things necessary and requisite to comply with the terms of Act No. 32 of the Special Session of the Alabama Legislature of 1964.

BART CARR

2/24/20

664 - 8498

bartcarr@currengineers.com

EXHIBIT "A"

LOT: _____

BLOCK: _____

SURVEY: _____

RECORDED IN MAP BOOK _____, PAGE _____ IN THE
PROBATE OFFICE OF _____ COUNTY, ALABAMA.

COUNTY ZONING: _____

COMPATIBLE CITY ZONING: _____

LEGAL DESCRIPTION (METES AND BOUNDS):

See attached

IN WITNESS WHEREOF, the undersigned have hereunto set their hands and seals, or caused these presents to be executed by their duly authorized representatives, with full authority.

SIGNATURE(S)

DESCRIPTION OF PROPERTY

_____ Lot _____ Block _____ Survey _____

_____ Lot _____ Block _____ Survey _____

_____ Lot _____ Block _____ Survey _____

(Use reverse side hereof for additional signatures and property descriptions, if needed).

STATE OF ALABAMA

_____ COUNTY

Glenn H. Roberson being duly sworn says: I am one of the persons who signed the above petition, and I certify that said petition contains the signatures of all the owners of the described property.

Glenn H. Roberson
Signature of Certifier

Subscribed and sworn before me this the 21 day of February, 2020.

Kim M. Woodward
Notary Public

My commission expires: _____

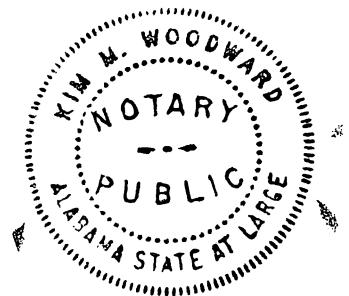


EXHIBIT "B"

VESTAVIA HILLS BOARD OF EDUCATION

**1204 Montgomery Highway
 Vestavia Hills AL 35216**

(To be completed by the City)

Date of Annexation Petition _____ Action Taken: Grant _____
 Deny _____
 Resolution: Date: _____ Number: _____
 Overnight Ordinance: Date: _____ Number: _____
 90 Day Final Ordinance: Date: _____ Number: _____

(To be completed by Homeowner)

Name(s) of Homeowner(s): _____

Address: _____

City: _____ State: _____ Zip: _____

Information on Children:

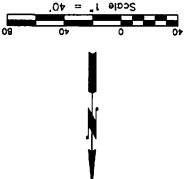
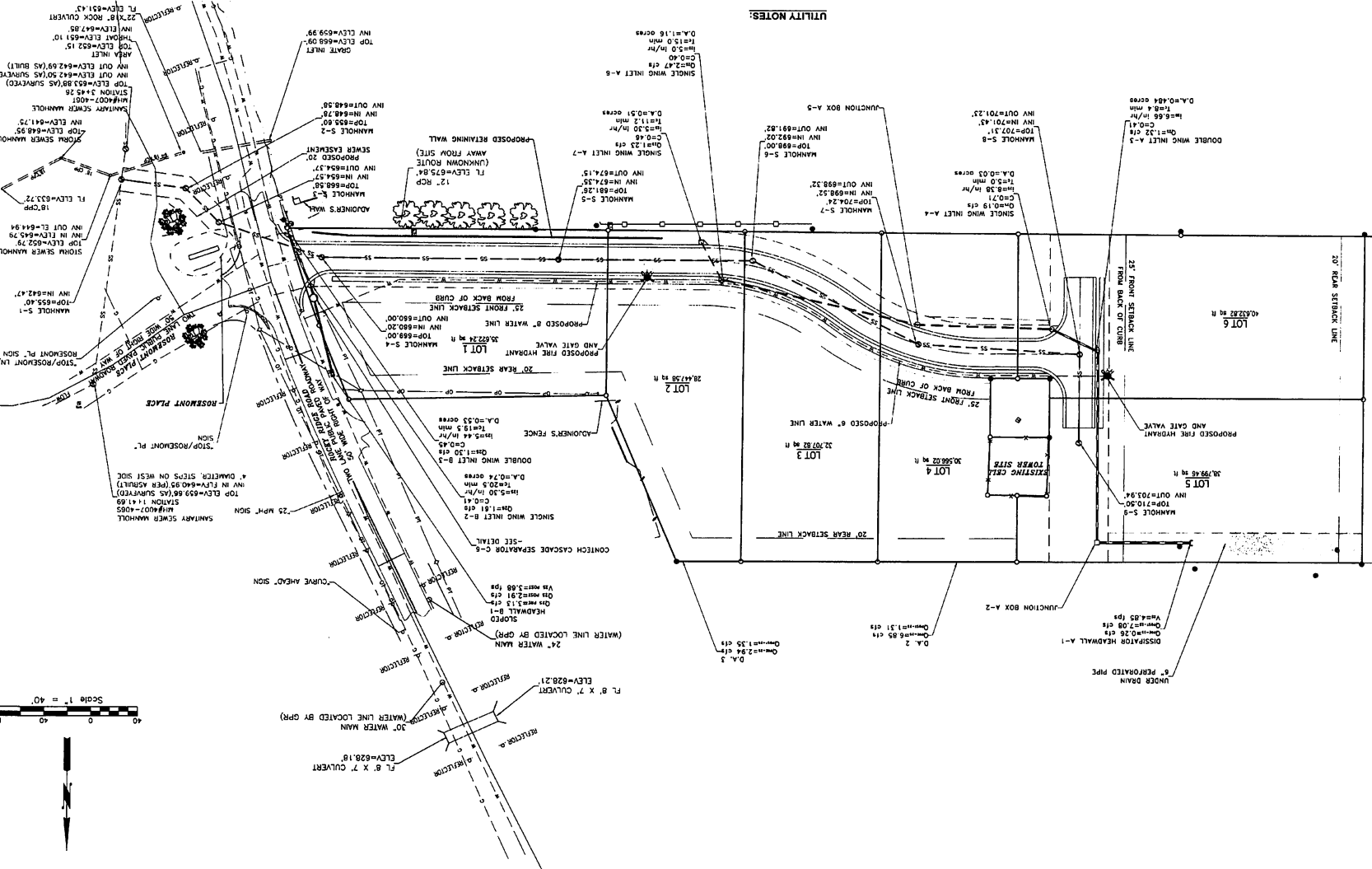
**Plan to Enroll In
 Vestavia Hills School?**

	Name(s)	Age	School Grade	Yes	No
1.					
2.					
3.					
4.					
5.					
6.					

Approximate date for enrolling students in Vestavia Hills City Schools if above response is "yes". _____

1. STANDARD SPECIFICATIONS AND DETAILS SHALL GOVERN ALL WATER AND SANITARY SEWER CONSTRUCTION.
2. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJOINING PROPERTY OWNERS AND IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO EXTRA COST TO THE OWNER.
3. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST SPECIFICATIONS OR ASMA SPECIFICATIONS OR ANY OTHER AGENCY JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL SUPPORT STREETS, SIDEWALKS AND OTHER MARKS OF PROTECTION THIS TO INCLUDE BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERMITS AND TRENCHING CONTROL FOR GRM.
4. ALL WATER PIPE SHALL BE 6" PIPE.
5. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3' OF COVER OVER ALL WATER LINES.
6. THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF WATER AND SEWER LINE IS (10') TEN FEET THE MINIMUM VERTICAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF WATER AND SEWER LINES IS (18') EIGHTEEN INCHES.
7. EXISTING UTILITIES LOCATIONS ARE APPROXIMATE AND SHOULD BE VERIFIED FOR LOCATION AND NUMBER BY THE CONTRACTOR.
8. ALL ELECTRIC, TELEPHONE AND GAS LINES, INCLUDING SERVICE LINES, ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANIES SPECIFICATIONS.
9. CONTRACTOR TO COORDINATE INSTALLATION OF ALL UTILITIES BY OTHER WITH HIS OWN WORK.
10. GAS AND UNDERGROUND ELECTRIC LINES ARE SHOWN FOR COORDINATION ONLY. EXACT LOCATION TO BE FIELD DETERMINED DURING CONSTRUCTION.

UTILITY NOTES:



76.184-06

SHEET 1 OF 1

DATE: 7/1/14

TAMWORTH, LLC

PROJECT NAME: **GE ENRIDGE 2758 ROCKY RIDGE ROAD UNINCORPORATED JEFFERSON COUNTY, ALABAMA**

UTILITY PLAN

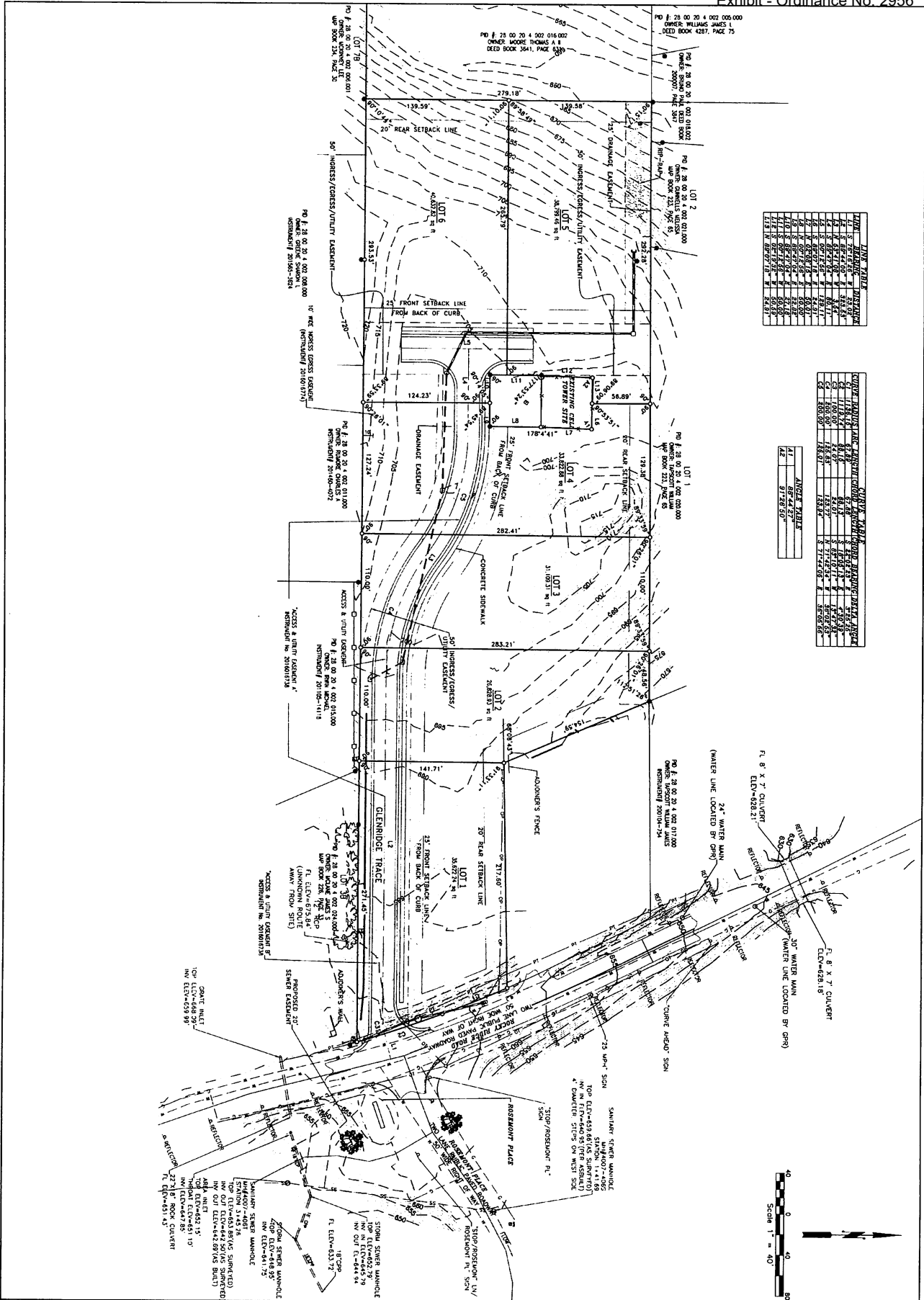
NO.	DESCRIPTION	DATE	BY	REVISIONS

CARR & ASSOCIATES ENGINEERS, INC.
 153 CANABA VALLEY PARKWAY
 FREDONIA, ALABAMA 35728
 CIVIL, STRUCTURAL & ENVIRONMENTAL ENGINEERS
 LAND SURVEYORS

DATE: 7/1/14

Scale: 1" = 40'

Product No. 2514

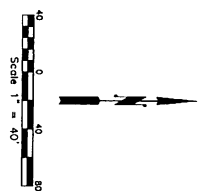


AREA TABLE

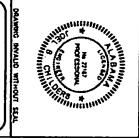
NO.	DESCRIPTION	AREA (SQ. FT.)
1	LOT 1	10,000.00
2	LOT 2	10,000.00
3	LOT 3	10,000.00
4	LOT 4	10,000.00
5	LOT 5	10,000.00
6	LOT 6	10,000.00
TOTAL		60,000.00

AREA TABLE

NO.	DESCRIPTION	AREA (SQ. FT.)
1	LOT 1	10,000.00
2	LOT 2	10,000.00
3	LOT 3	10,000.00
4	LOT 4	10,000.00
5	LOT 5	10,000.00
6	LOT 6	10,000.00
TOTAL		60,000.00



<p>CLIENT: TAMWORTH, LLC</p> <p>PROJECT NAME: GLENRIDGE 2758 ROCKY RIDGE ROAD UNINCORPORATED JEFFERSON COUNTY, ALABAMA</p> <p>DRAWING TITLE: PRELIMINARY PLAT</p>	<p>PRODUCTION FIELD BOOK: 1133 CHECK SHEET: CC LADD OPER: WBO LADD FILE: WBO DESIGN (INC): WBO DESIGN FILE: DATE: 2/10/20 SCALE: 1" = 40'</p>	<p>REVIEW SUPERVISOR DESIGN ENGINEER P. E. PRINCIPAL</p>	<p>REVISIONS</p> <table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	DESCRIPTION	BY	DATE													<p>CARR & ASSOCIATES ENGINEERS, INC. 153 CAHABA VALLEY PARKWAY PELHAM, ALABAMA 35124 PHONE: 205-988-7400 FAX: 205-988-7401 WWW.CARR-ENGINEERS.COM</p> <p>CIVIL, STRUCTURAL & ENVIRONMENTAL ENGINEERS AND LAND SURVEYORS</p> <p>© COPYRIGHT, 2020 NO PART OF THIS DRAWING MAY BE REPRODUCED, COPIED, DIGITIZED, FAXED, OR TRANSMITTED WITHOUT THE EXPRESS WRITTEN CONSENT OF CARR & ASSOCIATES ENGINEERS, INC.</p>
NO.	DESCRIPTION	BY	DATE																	



76.184-04

ORDINANCE NUMBER 2957

**AN ORDINANCE AUTHORIZING THE MAYOR AND CITY MANAGER
TO EXECUTE AND DELIVER A MEMO OF UNDERSTANDING WITH
THE VESTAVIA HILLS CHAMBER OF COMMERCE**

WHEREAS, in December 2002, the Mayor executed and delivered an agreement with the Vestavia Hills Chamber of Commerce (“the Chamber”) detailing services for the City to be performed by the Chamber in return for office space and utilities to be provided by the City, a copy of said agreement is marked as Exhibit A, attached to and incorporated into this Ordinance Number 2957 as if written fully therein; and

WHEREAS, in a strategic planning session by the Chamber, a memo of understanding (“MOU”) was drafted revising said conditions and presented to the City Manager and City Council, a copy of said MOU is marked as Exhibit B, attached to and incorporated into this Ordinance Number 2957 as if written fully therein; and

WHEREAS, the Mayor and City Council feel it is in the best public interest to authorize the Mayor and City Manager to execute and deliver said MOU with the Chamber.

**NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL
OF THE CITY OF VESTAVIA HILLS, ALABAMA, AS FOLLOWS:**

1. The Mayor and City Manager are hereby authorized to execute and deliver a MOU with the Chamber of Commerce as detailed in Exhibit B; and
2. This Ordinance Number 2957 shall become effective immediately upon adoption and approval.

DONE, ORDERED and APPROVED this the 28th day of September, 2020.

Rusty Weaver
Mayor Pro-Tem

ATTESTED BY:

Rebecca Leavings
City Council

CONTRACT FOR SERVICES

This Agreement made this 30th day of December, 2002, by and between the City of Vestavia Hills, Alabama, a municipal corporation, (hereinafter referred to as the "City"), and the Vestavia Hills Chamber of Commerce a non-profit organization with its principal place of business in Vestavia Hills, Alabama (hereinafter referred to as the "Chamber").

ARTICLE 1

TERM OF CONTRACT

1.01. This agreement is effective on the 1st day of January 2003, and will renew annually unless terminated as provided in Article 6 of this Agreement

ARTICLE 2

SERVICES TO BE PERFORMED BY THE CHAMBER

2.01. The Chamber agrees to provide a professionally qualified staff to carry out the functions of the Chamber, which is to promote the City of Vestavia Hills and its economic development. The Chamber commits to seek to attract and promote tourism, commercial development, new employment opportunities and the implementation of quality of life programs for the benefit and economic improvement of the City and its residents.

Additionally, the Chamber agrees to provide the following services:

1. Gather, keep updated, research and distribute information and data to be used as advertisements, and presentations to general and specific, business prospects.
2. Develop and secure tools of trade such as maps, charts, photos, briefing facilities, brochures and reports, as are necessary and required to adequately promote new and expanding commerce in the City.
3. If requested to do so, receive, study and respond to or answer all mail inquiries and City referrals which are directly or otherwise sent to the City, by potential visitors, businesses and professional people, students from all over the United States and the World, research and survey agencies and a myriad of outside sources and individuals seeking information about the community, its people, government, history, economical base, institutions, professions, state and federal agencies, schools and educational institutions, housing, job opportunities, legal professions, hospitals, and paramedical services, churches, climatic conditions (geographical, business, and social), laws and statutes, taxes and license.
4. Serve as principal public relations and information agency for the City and for all people who are referred by the City and who comes into the Chamber office but would otherwise have to call upon the City for the service and information and serve or give directions to visitors in the City.

5. Welcome individuals and groups deemed by the City to be important to Vestavia Hills; and assist and help in coordinating groundbreaking, openings, civic presentations, and other activities involving the City and its officials.
6. Through management and staff of the Chamber, as well as volunteers from local leadership, to do everything possible to foster and promote Vestavia Hills to create and maintain its good name and good will.
7. The Chamber will promote and advertise the City and market Vestavia Hills businesses by means of conducting, participating, or contributing to special events and any activities mutually agreed upon between the City and the Chamber Board of Directors.

2.02. The Chamber may, at the Chamber's own expense; employ any assistants that the Chamber deems necessary to perform the services required of the Chamber by this Agreement. The City does not control, direct, or supervise the Chamber's assistants or employees in the performance of those services.

ARTICLE 3

COMPENSATION

3.01. In consideration for the services to be performed by the Chamber, the City agrees to provide 1311 sq. feet of office space and utilities (power and water) without charge commencing on September 1, 2003. The office space is located at 1973 Merryvale Road.

ARTICLE 4

OBLIGATIONS OF THE CHAMBER

4.01. The Chamber agrees that any services described in this Agreement that must be performed on City's premises, must be conducted pursuant to City Ordinances, and Rules and Regulations relating to such activities, which is to include, but not be limited to building codes, or other structural or improvement codes relating to the activities of the Chamber.

4.02. The Chamber will supply all personnel, tools, materials and instruments required to perform the services under this Agreement.

4.03. The Chamber will obtain any and all permission or authority necessary relating to the contracted services from appropriate property owners where the services are to be performed or located.

4.04. The Chamber agrees to hold harmless and indemnify the City, its agents, employees and representatives from any liability arising out of the performance of any of the terms and conditions of this agreement, which is to include, but not be limited to costs, expenses, and attorneys' fees incurred by the City defending any claims, losses or charges incurred by the City relating to the Chamber's activities pursuant to this Agreement.

4.05. The parties to this Agreement agree that the City has no financial interest in the business of the Chamber and shall not be liable for any debts or obligations of the Chamber nor should the City be deemed or construed to be a partner, in a joint venture or otherwise interested in the assets or debts of the Chamber or monies earned or derived by the Chamber. The Chamber shall not, at any time, use the name or credit of the City to purchase equipment, supplies or other things of value whatsoever.

4.06. It is further agreed that the City does not and will not assume any responsibility for the means or manner in which the services pursuant to this Agreement are provided by the Chamber. Furthermore, the Chamber is wholly responsible for any and all actions taken by the Chamber in providing the contracted services to the City. It is specifically intended by the parties hereto that the Chamber and the City shall not be construed to be agents for the other and that neither party has the power to bind the other without the prior written consent of both parties to this Agreement.

4.07. The Chamber agrees to comply with all Federal, State and Local laws regulating any activities of the Chamber as contemplated by this Agreement.

ARTICLE 5

OBLIGATIONS OF THE CITY

5.01. City agrees to comply with all reasonable requests of the Chamber necessary for the performance of the Chamber's duties under this Agreement.

ARTICLE 6

TERMINATION OF AGREEMENT

6.01. Notwithstanding any other provision of this Agreement, the City or the Chamber may terminate this Agreement at any time by giving ninety (90) days written notice to the other party. The City shall provide such reasonable additional time (not to exceed an additional 90 days) for the Chamber to vacate the office space after the date of termination. Upon the termination of this Agreement, all future obligations for compensating the Chamber shall expire and there shall be no further obligation on behalf of either of the parties to perform any additional services subsequent to the effective date of the termination, except for the indemnity provided by Article 4 above, which shall survive the termination or expiration of this Agreement.

ARTICLE 7

GENERAL PROVISIONS

7.01. Any notices to be given under this Agreement by either party to the other may be effective either by personal delivery in writing or by registered or certified mail, with postage prepaid and return receipt requested. Mailed notices shall be addressed to the parties at the following addresses:

For the City:

For the Chamber:

P.O. Box 660793
Vestavia Hills, AL
35266

However, each party may change the address for receipt of notice by giving written notice in accordance with this paragraph. Notices delivered personally will be deemed communicated at the time of delivery. Mailed notices will be deemed communicated two days after such notices are deposited in the mail, postage prepaid.

7.02. This Agreement supercedes any and all agreements, both oral and written, between the parties with respect to the rendering of services by the Chamber for City and contains all of the covenants and agreements between the parties with respect to the rendering of these services in any manner whatsoever. Each party acknowledges that no representations, endorsements, promises, or agreements, written, or oral, have been made by either party, or by anyone acting on behalf of either party, that are not embodied in this Agreement. Any modification of this Agreement will be effective only if it is in a writing signed by the party to be changed.

7.03. If any provision in this Agreement is held by a court of competent jurisdiction to be invalid, void, or unenforceable, the remaining provisions will nevertheless continue in full force without being impaired or invalidated in any way.

7.04. This Agreement will be governed by and construed in accordance with the laws of the State of Alabama.

**VESTAVIA HILLS CHAMBER
Of COMMERCE**

By: Michael S. Jackson
MICHAEL S. JACKSON
Its: President

**CITY OF VESTAVIA HILLS,
Alabama**

By: Charles A. McCallum
Charles A. McCallum
Its: Mayor, City of Vestavia Hills

STATE OF ALABAMA

JEFFERSON COUNTY

ADDENDUM TO CONTRACT FOR SERVICES

WITNESS THIS ADDENDUM TO CONTRACT FOR SERVICES made and entered into on this the 25th day of April, 2003, by and between the City of Vestavia Hills, Alabama, hereinafter referred to as the "City", and the Vestavia Hills Chamber of Commerce, hereinafter referred to as "Chamber."

WITNESSETH THESE RECITALS:

WHEREAS, on November 18, 2002, the City Council of the City of Vestavia Hills, Alabama approved and adopted Resolution Number 3217 authorizing and directing the Mayor to execute and deliver an agreement with the Vestavia Hills Chamber of Commerce entitled "Contract for Services"; and

WHEREAS, on or about, to-wit, April 24, 2003, the City and Chamber entered into a written Contract for Services, hereinafter referred to as "Contract"; and

WHEREAS, a copy of the Contract is attached hereto, marked as Exhibit A and incorporated by reference as though set out fully herein; and

WHEREAS, the City invited competitive bids for the improvement and renovation of the premises described in the Contract; and

WHEREAS, Battle-Miller Construction Company, hereinafter referred to as "Contractor", submitted the lowest, best and most responsible bid for the construction project in the amount of Seventy Thousand Nine Hundred Dollars (\$70,900.00); and

WHEREAS, on April 21, 2003, the City Council of the City of Vestavia Hills, Alabama approved and adopted Resolution Number 3264-A accepting the low bid of \$70,900.00 and authorized the Mayor to take any and all legal steps necessary to complete the improvement and renovation construction project subject to and contingent upon the Chamber agreeing to pay to the City a portion of the construction cost in the amount of Twenty Thousand Nine Hundred Dollars (^{kgo} ^g ^{ful} ~~\$20,900.00~~) on or before April 21, 2005; and

WHEREAS, the Chamber is willing to pay to the City the sum of \$20,900.00 within a period of two (2) years, but no later than April 21, 2005; and

WHEREAS, the City and Chamber wish to reduce their agreement to writing; and

VESTAVIA HILLS CHAMBER OF COMMERCE

By Michael J. Jackson
Its President

ATTESTED:

By Karen J. Odle

STATE OF ALABAMA

JEFFERSON COUNTY

ACKNOWLEDGMENT

I, the undersigned authority, a Notary Public in and for said County, in said State, hereby certify that Charles A. McCallum, whose name as Mayor of the City of Vestavia Hills, Alabama is signed to the foregoing Addendum, and who is known to me, acknowledged before me on this day that, being informed of the contents of the document, he, as such officer and with full authority, executed the same voluntarily for and as the act of said City of Vestavia Hills, Alabama.

Given under my hand and official seal, this the 25th day of April, 2003.

Starr L. Burlic
Notary Public

STATE OF ALABAMA

My commission expires 3/4/07.

JEFFERSON COUNTY

ACKNOWLEDGMENT

I, the undersigned authority, a Notary Public in and for said County, in said State, hereby certify that MICHAEL J. JACKSON whose name as President of the Vestavia Hills Chamber of Commerce is signed to the foregoing Addendum, and who is known to me, acknowledged before me on this day that, being informed of the contents of the document, he, as such officer and with full authority, executed the same voluntarily for and as the act of said Vestavia Hills Chamber of Commerce.

Given under my hand and official seal, this the 25th day of April, 2003.

Sherry Martin
Notary Public

WHEREAS, the Contract for Services, dated to-wit, April 24, 2003, and this Addendum together shall constitute the entire agreement by and between the City and the Chamber.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: That in consideration of the mutual covenants, premises and promises contained herein and other good and valuable consideration in hand paid by the parties hereto to each other, the receipt and sufficiency whereof is hereby mutually acknowledged, the City and Chamber covenant and agree as follows:

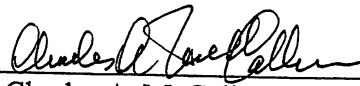
1. The City shall accept the lowest, best and most responsible bid of Battle-Miller Construction Company in the amount of Seventy Thousand Nine Hundred Dollars (\$70,900.00); shall enter into a written contract with said Contractor for the improvement and renovation of the premises described in the Contract for Services, dated to-wit, April 24, 2003, by and between the City and the Chamber; and shall complete or cause to be completed the renovation of the premises described in said Contract for Services all in accordance with the plans and specifications contained in the invitation to bid.

2. In consideration thereof, the Chamber shall pay to the City the sum of Twenty Thousand Nine Hundred Dollars (\$20,900.00) within a two-year period but in no event later than April 21, 2005.

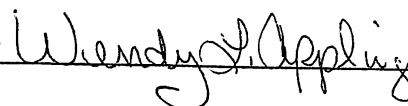
3. It is further agreed by and between the City and the Chamber that any and all other aspects and provisions of the original Contract for Services, dated to-wit, April 24, 2003, not in conflict with this Addendum are hereby ratified, approved and confirmed by the parties.

IN WITNESS WHEREOF, the City of Vestavia Hills, Alabama and the Vestavia Hills Chamber of Commerce have caused this Addendum to be executed by their duly authorized officers and their respective seals to be affixed hereto on this the _____ day of April, 2003.

CITY OF VESTAVIA HILLS, ALABAMA

By 
Charles A. McCallum
Mayor

ATTESTED

By 

Memorandum of Understanding

To: Karen Odle, President/CEO
Vestavia Hills Chamber of Commerce

From: Jeff Downes
City Manager
City of Vestavia Hills

Date: October 1, 2020

Re: Economic Development Strategic Plan

As a part of the on-going economic development strategy of the City of Vestavia Hills (City) and in keeping with the existing high-level responsibilities enumerated in the 2013 MOU between the Vestavia Hills Chamber of Commerce (CoC) and City and the 2002 Contract for Services between the CoC and City (included as Exhibit 1), the City shall provide, subject to City Council approval, a supplemental appropriation to the CoC in the amount of \$30,000. In return for this payment, the Chamber shall have the general responsibility of serving as the marketing lead for the City's economic development plan and coordinator of brand development for the City. This general goal shall be accomplished, at a minimum, through the following tasks:

1. Continue **brand development** of the City Council adopted branding concept through the following actions:
 - a) Work with landlords or appointees in each Entertainment District to assist with the development/promotion of events in their respective areas and/or city wide efforts. These may include, but are not limited to:
 - Wine Walk
 - Savor the Summer
 - b) Work with existing groups to promote/assist on-going events that are already in operation.

2. Develop two **programmatic activities for business enhancement** in targeted business corridors. These programmatic activities will involve the engagement and organization of the merchants of those areas but utilize resources in the appropriation for brand conscious advertising or program supplies to support

public involvement with the selected programs. (These programs might involve themed events surrounding Valentine's Day, St Patrick's Day, Halloween, or some other notable date)

- a) The Chamber shall organize a working group of its members to envision, plan and implement the two activities. The Chamber shall evaluate the effectiveness of these activities, annually, to determine the ability to achieve the goal of economic growth within the city.
 - The two current activities include: Back 2 School Night in Cahaba Heights and Helping Hands in the Hills Day
- b) Determine, within budget constraints, the most effective means to market existing City of Vestavia Hills businesses while being conscious of brand loyalty.

3. **Produce micro strategies that reinforce and grow current businesses within Vestavia Hills.** The strategies should include economic growth strategies in specific trade areas; determine strategies by business sector (i.e. retail, service and professional sectors.) as well as strategies that reinforce brand identity. These efforts should produce the following output:

- a) A written plan for each area of concentration
- b) A budget to accomplish said effort
- c) An outcome measure of success with a timeline for implementation
- d) A dedicated new or existing human resource responsible for implementation
- e) A recommendation of needed additional financial resources to accomplish the particular micro strategy

Upon submission of a particular micro strategy, the City will review and determine resources supplemental to this agreement for support of the request.

4. The **CoC shall keep the City apprised of projects** to support the existing businesses of Vestavia Hills and serve as the primary communicator to that existing business community.
5. In an effort to **focus on the growth of businesses within the geographic boundaries of the City of Vestavia Hills,** the CoC shall keep a uniquely identified list of businesses located within the City of Vestavia Hills for the purpose of business promotion and economic growth. This list shall be promoted through the utilization of various strategies while not precluding the CoC's responsibility to support its membership regardless of the location of the particular member.

6. The CoC shall develop strategies to assist in the **welcoming of new residents and new businesses** that relocate or establish operations in the City of Vestavia Hills. Furthermore, the CoC shall serve as a physical location for visitors and other interested parties to receive a welcome packet and materials that promote the city consistent with our branding guidelines and goals.
7. The supplemental appropriation may be used to offset the administrative and personnel costs of the CoC in accomplishing these tasks.
8. While supporting each other's activities, **the City shall serve as the primary lead for strategic new business creation while the CoC shall serve as the primary lead for improving the business climate** within Vestavia Hills to support existing businesses.
9. CoC shall include the City of Vestavia Hills and its representative(s) as active members of its organization

Vestavia Hills Chamber of Commerce
Approval

City of Vestavia Hills
Approval

President
Vestavia Hills Chamber of Commerce

Mayor, City of Vestavia Hills

Date

Date

City Manager, City of Vestavia Hills

Date

ORDINANCE NUMBER 2958

**AN ORDINANCE AUTHORIZING THE MAYOR AND THE CITY
MANAGER TO EXECUTE AND DELIVER A THREE-YEAR
AGREEMENT WITH RIVERTREE SYSTEMS, INC., FOR AUDITING
SERVICES**

WHEREAS, the City of Vestavia Hills designated Rivertree Systems, Inc. (“Rivertree”, for auditing and collection services pursuant to a certain written agreement which is set to expire on September 18, 2020; and

WHEREAS, the Finance Director has received a new 3-year agreement with Rivertree with amendments as required under Act No. 2016-406 of the Alabama Legislature regarding Final Assessments and Terminations. A copy of said agreement is marked as “Exhibit A” attached to and incorporated into this Ordinance Number 2958 as if written fully therein; and

WHEREAS, the Finance Director and City Manager have reviewed said agreement and have recommended approval to continue utilization of Rivertree’s services.

**NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL
OF THE CITY OF VESTAVIA HILLS, ALABAMA, AS FOLLOWS:**

1. The Mayor and City Manager are hereby authorized to execute and deliver said agreement with Rivertree Systems, Inc.; and
2. This Ordinance Number 2958 shall become effective immediately upon adoption and approval.

APPROVED and ADOPTED this the 28th day of September, 2020.

Rusty Weaver
Mayor Pro-Tem

ATTESTED BY:

Rebecca Leavings
City Clerk

RIVERTREE SYSTEMS, INC.

P. O. Box 361361

Birmingham AL 35236

Exhibit A - Ordinance No. 2958



AUDITORS FOR THESE ALABAMA CITIES AND COUNTIES:

ALABASTER*ALEXANDER CITY* ANDALUSIA* CALERA
CHELSEA*COLUMBIA*DECATUR*GARDENDALE
GULF SHORES*HARTSELLE* HELENA * HOMEWOOD
HUEYTOWN* IRONDALE*JACKSONVILLE*JASPER*LINCOLN*MADISON
MILLBROOK*MONTEVALLO*MONTGOMERY*MOODY*NORTHPORT
ORANGE BEACH*OZARK* PELHAM*PELL CITY*PRATTVILLE
TALLADEGA*TRUSSVILLE*TUSCUMBIA*VESTAVIA HILLS
INDIAN SPRINGS VILLAGE & TRINITY (BUSINESS LICENSE)
COLBERT COUNTY*MONTGOMERYCOUNTY*MORGAN COUNTY
SHELBY COUNTY*ST. CLAIR COUNTY

JAMES M. THOMAS
205-988-0331 x301
Fax 205- 988-9687
jimthomas308@bellsouth.net

July 17, 2020

CITY OF VESTAVIA HILLS

Attn: Melvin Turner, III

Finance Director

P. O. Box 660854

Vestavia Hills, AL 35266-0854

RE: Audit Contract Renewal

Dear Mr. Turner,

My records show that the current 3-year contract is set to expire September 18, 2020. It has been my experience that with City Council members it often takes a couple of months to get approval.

Please note the following:

1. The hourly rate will be \$75.00 an hour.
2. Under termination the change is from 60 to 90 days to cancel the contract.
3. Under 1. (f), the statements on Preliminary Assessments and Final Assessments are based on Act 2016-406. Rivertree has always kept you informed on problem audits and had you sign-off on the Final Assessments

If the City Council approves this contract please mail a signed copy of page 9 for my files. We will also need a new signed and dated Authorization Letter, per Section 40-2A-13(d). I have attached a copy of the current letter we have on file for your information. We have had a good relationship and desire to continue to generate revenue for the City of Vestavia Hills.

Yours truly,

James M. Thomas –President
Certified Revenue Examiner

RiverTree Systems Audit Revenue Report
City of Vestavia Hills
January 2017 - August 2020

Year	Audit Revenue	Audit Fee	%
2017	\$ 133,392.74	\$ 30,338.75	22.74%
2018	\$ 149,820.17	\$ 33,897.50	22.63%
2019	\$ 28,534.70	\$ 7,166.25	25.11%
2020 (thru Aug 31)	\$ 21,582.60	\$ 5,232.50	24.24%
	\$ 333,330.21	\$ 76,635.00	22.99%

Total Audit Revenue:	\$333,330.21
Total Audit Fee:	\$76,635.00
Net Revenue to City:	\$256,695.21

* Please Note: The above revenue figures do not include any continuing taxpayer compliance revenues resulting from RiverTree Systems audit work.

Compliance revenue is generated from taxpayers who, until audited, did not remit correctly to the City. Those taxpayers are now registered with the City and continue to produce revenues in the form of:

- Business License calculations, purchases and/or renewals
- Sales, Sellers Use, Consumer Use, Lodgings, Gas Excise, Rental/Lease Tax, etc. remittances

STATE OF ALABAMA

COUNTY OF JEFFERSON

AGREEMENT FOR EXAMINATION SERVICES

THIS AGREEMENT made and entered into on this the ___ day of _____ 2020 by and between the **CITY OF VESTAVIA HILLS**, hereinafter referred to as the "Client", and **RIVERTREE SYSTEMS, INC.**, an Alabama corporation (hereinafter referred to as "**RIVERTREE**").

1. The Client desires to provide for the collection of all local taxes and fees, regardless of the jurisdiction in which a taxpayer subject to the Client's taxing power maintains its principal office, to provide that all taxpayers are treated equally and to provide that all tax related ordinances are uniformly and consistently applied. In order to accomplish these goals and objectives, the Client desires to retain the services of a company legally qualified as a "private auditing or collecting firm" as defined in the Alabama Taxpayers' Bill of Rights and Uniform Revenue Procedures Act, Code of Alabama (1975) §40-2A-1 et seq. (hereinafter the "Taxpayers' Bill of Rights") to perform audits and examinations of such taxpayers' books and records.

2. RIVERTREE is qualified as a private auditing or collecting firm under the Taxpayers' Bill of Rights and, as such, provides collection, examining and consulting services for local governments throughout the State of Alabama. RIVERTREE has represented to the Client that (i) it is knowledgeable of all laws and regulations applicable to private auditing or collecting firms, (ii) it provides its services in full compliance with all applicable laws and

regulations, and (iii) it obtains all the legally required certifications, fidelity bonds, and legal letters of authority to act as a private auditing or collecting firm.

3. The Client desires to retain RIVERTREE as a private auditing firm to provide tax auditing and examination services under the terms and conditions, of this Agreement.

NOW, THEREFORE, PREMISES CONSIDERED, RIVERTREE and the Client hereby agree as follows:

1. **RIVERTREE SYSTEMS, Inc.** The Client and RIVERTREE hereby agree that RIVERTREE will provide the following services:
 - a) Identify and prepare a written list of "taxpayer candidates for examination "based on objective criteria to be agreed upon by RIVERTREE and the Client in advance of such work.
 - b) Pursuant to Code of Alabama (1975) §40-2A-13(d) upon first contact with the taxpayer, RIVERTREE shall disclose in writing the identity of the Client and all other clients represented by RIVERTREE and shall provide a copy of appropriate written authorization of RIVERTREE's representation from the Client and from any such other client.
 - c) Inspect and examine on behalf of the Client, all books, records and other documents of taxpayers assigned to be examined by the Client to determine to what extent, if any, the taxpayer owes the Client sales and use taxes, occupational taxes, license fees, lease taxes, tobacco taxes, gasoline taxes, and any other city tax, plus interest, penalties and other charges thereon, as directed by Client and in accordance with the ordinances, resolutions and regulations of the Client.
 - d) RIVERTREE acknowledges that Code of Alabama (1975) §40-2A-13(f) provides that when a private examining or collecting firm represents more than one county, city or town on the date it first contacts a taxpayer, the private examining or collecting firm shall examine the taxpayer's books and records for all such counties, cities or towns simultaneously. Therefore, when conducting examinations initiated by other RIVERTREE clients (counties or other cities and towns), RIVERTREE will include Client on the list of entities for which the examination is being conducted. In the event RIVERTREE examines a taxpayer on behalf of other RIVERTREE clients who have not enacted the same taxes as Client, then RIVERTREE's audit of such taxpayer shall include all such taxes of Client.

- e) Perform examinations of taxpayer's records in accordance with "*The Minimum Standard Examination Program*" established by the Alabama Local Tax Institute of Standards and Training (the "Minimum Standards").
- f) Report to the Client that information necessary for the Client to assess the taxpayer's sales and use taxes, license fees, lease taxes, and all other City taxes, plus interest, penalties and other charges thereon for transactions which RIVERTREE reasonably believes may have resulted in an obligation of the taxpayer to pay such taxes to the Client. RIVERTREE shall issue the Preliminary Assessments on audit findings. If a **Final Assessment** is required the Client will issue either on a City form or sign off on the RIVERTREE Final Assessment. At no time will RIVERTREE issue a Final Assessment without the Client's approval.
- g) Report to the Client that information necessary for the Client to assess the taxpayer's sales and use taxes, license fees, lease taxes, and all other County taxes, plus interest, penalties and other charges thereon for transactions which RIVERTREE reasonably believes may have resulted in an obligation of the taxpayer to pay such taxes to the Client.
- h) Prepare and present to the Client a "Findings Report," which shall include, at a minimum, all information required to prepare a written report under the Minimum Standards and a summary thereof on each examination performed. In the event RIVERTREE's audit indicates that a particular taxpayer has no tax Liability to the Client, RIVERTREE shall provide the Client a written report including the name of the taxpayer audited, the types of tax for which the taxpayer was examined and found to have no liability, and the audit period.
- i) Provide full cooperation to the Client in the preparation of any legal documents, attend any judicial, administrative, departmental, appellate or other legal hearings and be available to testify at hearings that may be required to collect any amounts due to the Client from the taxpayer.
- j) Pursuant to the Code of Alabama (1975) §40-2A-1 3(h) RIVERTREE shall notify the taxpayer if any tax overpayments are discovered and the taxpayer is due any refunds from the Client, or if the taxpayer owes any tax to the Client.
- k) Any additional or incidental services which are allowable by law and are reasonably necessary to carry out RIVERTREE's obligations under this Agreement.

RIVERTREE shall collect all taxes with checks payable to the CITY OF VESTAVIA HILLS.

2. **Compensation.** It is understood that each RIVERTREE client will only pay a prorated portion of total audit costs when RIVERTREE is conducting examinations for multiple clients at one time. Client agrees to pay RIVERTREE its prorated portion of each audit's total audit costs which shall consist of **seventy-five dollars (\$75.00) per hour.**

RIVERTREE shall be paid monthly based upon hours worked submitted to the Client by the fifteenth (15th) day of the month for the month next proceeding. The parties acknowledge that the Code of Alabama (1975) §40-2A-6 specifically prohibits the Client from entering into any contract or arrangement with a private examining or contracting firm for the examination of a taxpayer's books on a contingency fee basis and agree that RIVERTREE's compensation under this Agreement is not in any way contingent upon or otherwise related to the amounts discovered during examinations nor contingent upon or related to amounts finally received by the Client.

3 **Representations and Warranties.** RIVERTREE represents and warrants as follows:

- a. RIVERTREE is a corporation valid and existing and in good standing under the laws of the State of Alabama.
- b. As of the effective date of the Agreement, RIVERTREE and any employee, agent, or independent auditor/examiner of RIVERTREE providing services under this Agreement, shall have obtained all licenses and bonds necessary or appropriate to perform RIVERTREE's obligations under this Agreement and all such licenses and bonds shall be current and in good standing, and shall be maintained throughout the term of this Agreement.
- c. RIVERTREE and its employees, agents and independent auditors/examiners agree to comply with all current and future laws, rules and regulations applicable to all services provided by RIVERTREE under this Agreement, including, but not limited to, the Local Tax Simplification Act of 1998, the Alabama Local Tax Procedures Act of 1998 and the Taxpayers' Bill of Rights as currently in effect and hereafter amended.

- d. RIVERTREE agrees to comply with all laws and regulations relating to the employees of RIVERTREE, including, without limitation, all tax withholding requirements and worker's compensation laws.

4 **Change in Law.** The parties agree that in the event of any conflict between the requirements of any applicable law and the terms of this Agreement, then the requirements of such applicable law shall control. If any law applicable to the services provided by RIVERTREE under this Agreement shall be amended, or otherwise changed following the effective date of this Agreement, and the Client, in its sole discretion, determines that such amendment, modification or change in the law shall impair or frustrate the Client's purposes for entering into this Agreement, then the Client shall have the option to terminate this Agreement as provided in Paragraph 10 below.

5. **Requirements of Examiners.** All examiners employed by RIVERTREE shall meet all requirements of the Taxpayers' Bill of Rights and other current or future applicable law. At a minimum, all such examiners shall (i) be certified public accountants or accountants licensed by the State Board of Public Accountants, or (ii) be certified by the Alabama Local Tax Institute of Standards and Training, and (iii) maintain fidelity bonds in accordance with the Code of Alabama (1975) §40-23-30, as currently in effect and hereafter amended, and (iv) maintain a business license as required by Code of Alabama (1975) §40-12-2, as currently in effect and hereafter amended. If any assessment based on an audit by RIVERTREE is invalidated due to lack of proper certification of RIVERTREE's auditors, RIVERTREE must either provide an audit of the assessed taxpayer conducted by a certified auditor or reimburse Client for all amounts paid to RIVERTREE relating to the audit. RIVERTREE shall indemnify and hold Client harmless from any loss in revenues arising from or relating to any invalidated assessment based upon an audit conducted by

RIVERTREE if such invalidation is due to lack of proper certification of RIVERTREE 's auditors or due to any other fault of RIVERTREE.

6. **Inspection.** The Client reserves the right at all reasonable times to inspect the documents, information, taxpayer examination system and procedures of RIVERTREE to ensure that RIVERTREE and its employees, agents, and independent auditors/examiners are complying with the terms of this Agreement and all applicable laws. Any such inspection or any lack of inspection by the Client, however, shall not be deemed to waive the requirements of, or excuse the foregoing from complying with, the terms of this Agreement and all applicable laws.

7. **Confidentiality of Tax Information.** RIVERTREE and its employees, agents, and independent auditors/examiners shall not print, publish or divulge the return of any taxpayer or any part of a return or any information or data supplied by the Client or secured in arriving at the amount of the tax value reported and shall act in conformance with all current and future federal, state and local laws and regulations concerning the confidentiality of tax information, including, but not limited to, the Taxpayers' Bill of Rights (collectively, the "Confidentiality Laws"). All principals, officers, employees and independent auditors/examiners of RIVERTREE involved with the services provided by RIVERTREE under this Agreement, prior to undertaking such services, shall execute an agreement in form and context acceptable to the Client binding such principals, officers, employees and independent auditors/examiners to observe the Confidentiality Laws.

8. **Independent Contractor.** The parties agree that RIVERTREE is and shall always be considered an independent contractor and neither it nor its employees or its independent auditors/examiners shall be considered employees of the Client or entitled to any rights or

benefits accorded to employees of the Client. RIVERTREE and the Client affirm that this Agreement does not create a partnership or joint venture and that no expressed, implied or apparent rights are intended to inure to any third parties under the terms and conditions herein.

9. **Term.** This Agreement shall be effective as of the date set forth in the preamble and will continue for a period of 3 year(s) from the date unless terminated as herein provided. Pursuant of the Code of Alabama (1975-40-2A-12, this Agreement shall not be renewed or extended beyond such three (3) year term: provided, however, that parties may negotiate a new contract concerning the subject matter of this Agreement to become effective following expiration of this Agreement.

10. **Default.** If RIVERTREE shall fail in any respect to comply with the terms of this Agreement, the Client shall notify RIVERTREE in writing of the matters regarding which default is asserted, and RIVERTREE shall have thirty (30) days to cure such default. If RIVERTREE fails to either cure such default within said time, then the Client may terminate this Agreement at any time thereafter by giving written notice to RIVERTREE of its election to terminate.

11. **Termination.** Either party may terminate this Agreement by giving the other party written notice of termination at least NINETY (90) days prior to the effective date of termination. Notwithstanding the foregoing, this Agreement shall be terminated automatically, without notice, if RIVERTREE, for any reason loses or foregoes its license required under Code of Alabama (1975) §40-2A-13 or §40-2A-14. RIVERTREE shall provide the Client all documentation, records, reports, and examinations as of the effective date of the termination with a final itemized statement of fees due.

12. **Assignment; Subcontracting of Services.** Client acknowledges and agrees that RIVERTREE may retain auditors or examiners on an independent contractor basis to provide the services described in this Agreement and Client consents to RIVERTREE's retention of such auditors or examiners provided, however, that any such auditor or examiner must meet all criteria applicable to auditors and examiners under law or under this Agreement and provided further that all terms and conditions of this Agreement, including but not limited to indemnities, applicable to services provided by RIVERTREE shall apply to any work performed by such auditors and examiners. RIVERTREE shall maintain and, upon Client's request, shall provide to Client a list of all auditors and examiners authorized to provide services on behalf of RIVERTREE. Except as provided in this Paragraph 12, RIVERTREE shall not assign any of its rights or obligations under this Agreement or enter into an agreement with any person, entity or subcontractor to perform the obligations of RIVERTREE under this Agreement. Any such assignment or other agreement by RIVERTREE shall be null and void.

13. **Applicable Law.** This Agreement shall be governed by and construed in accordance with the laws of the State of Alabama. If a dispute arises out of or relates to this Agreement or its breach, the parties shall endeavor to settle the dispute first through direct discussions and negotiations. If the dispute cannot be settled through direct discussions or negotiations, the parties shall endeavor to settle the dispute by non-binding mediation. The location of the mediation shall be Vestavia Hills. Either party may terminate the mediation at any time after the session, but the decision to terminate must be delivered in person to the other party and the mediator. Engaging in mediation is a condition precedent to any other form of binding dispute resolution. If the parties cannot agree on a mutual resolution then

any disputes not resolved by mediation shall be decided in the Circuit Court of Jefferson County, Alabama and governed by the laws of the State of Alabama between the Vestavia Hills and RIVERTREE.

IN WITNESS WHEREOF, the undersigned parties, through their duly authorized officers, have executed this Agreement on the year and day first above written.

CITY OF VESTAVIA HILLS

By: _____

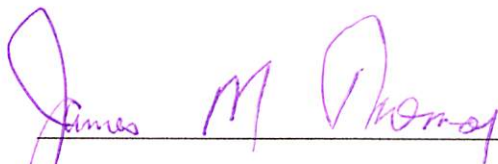
Title: MAYOR

CITY OF VESTAVIA HILLS

By: _____

Title: CITY MANAGER

RIVERTREE SYSTEMS, INC.

 _____

PRESIDENT