

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
AGENDA
JANUARY 7, 2021
6:00 P.M.**

Roll Call.

Approval of minutes – December 3, 2020

- (1) **D-0121-01** RDM 3, LLC is requesting **Architectural Review, Landscape Review, and Final Review of Materials** for the property located at **3900 Crosshaven Dr.** The purpose of this request is for a new building. The property is owned by RDM 3, LLC and is zoned Vestavia Hills B-2.
- (2) **D-0121-02** Jerry Matthews Gilmore is requesting **Architectural Review, Landscape Review, and Final Review of Materials** for the property located at **4209 Dolly Ridge Rd.** The purpose of this request is for a new building. The property is owned by Jerry Matthews Gilmore and is zoned Vestavia Hills B-2.
- (3) **D-0121-03** Albert L. Weber is requesting **Architectural Review and Final Review of Materials** for the property located at **1442 Montgomery Hwy.** The purpose of this request is for renovation of an existing building. The property is owned by Albert L. Weber and is zoned Vestavia Hills B-2.

Time of Adjournment.

CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
MINUTES

SEPTEMBER 3, 2020

The Vestavia Hills Landscape and Architectural Control Board met in a regular session on this date at 6:00 PM. The roll was called with the following:

MEMBERS PRESENT: Robert Thompson, Chairman
Joe Ellis
Chris Pugh
Rip Weaver
Jeff Slaton
Mae Coshatt
David Giddens

MEMBERS ABSENT:

OTHER OFFICIALS PRESENT: Conrad Garrison, City Planner

APPROVAL OF MINUTES

The minutes for September 3, 2020 were presented for approval.

MOTION Motion to dispense with the reading of the minutes for September 3, 2020 was made by Mrs. Coshatt and 2nd was by Mr. Pugh. Motion as carried on a voice vote as follows:

Mr. Pugh – yes	Mr. Ellis– yes
Mr. Weaver- yes	Mr. Slaton – yes
Mrs. Coshatt – yes	Mr. Giddens– yes
Mr. Thompson – yes	
Motion carries.	

Architectural Review and Final Review of Materials

D-1220-22 Vereit Real Estate, LP requesting **Architectural Review and Final Review of Materials** for the property located at **2415 Acton Rd.** The purpose of this request is for renovation of an existing building.

The property is owned by Vereit Real Estate, LP and is zoned Vestavia Hills B-2.

Mr. Garrison described the background of the request and stated the Krystal would convert to a Dunkin’.

Roy Williams present to explain the plan.

The Board agreed with all aspects of the plan.

MOTION Motion to approve Architectural Review and Final Review of Materials for the property located at 2415 Acton Rd. was made by Mrs. Coshatt. Second was made by Mr. Pugh. Voice vote as follows:

Mr. Pugh – yes	Mr. Ellis– yes
Mr. Weaver- yes	Mr. Slaton – yes
Mrs. Coshatt – yes	Mr. Giddens– yes
Mr. Thompson – yes	
Motion carries.	

Architectural Review and Final Review of Materials

D-1220-23 Milo’s Restaurant Holdings, Inc. is requesting **Architectural Review and Final Review of Materials** for the property located at **1449 Montgomery Hwy.** The purpose of this request is for renovation of an existing building. The property is owned by Milo’s Restaurant Holdings, Inc. and is zoned Vestavia Hills B-2.

Mr. Garrison described the background of the request and stated it was for an awning.

Brian Harris was present to explain the plan.

The Board agreed with the plan.

MOTION Motion to approve Architectural Review and Final Review of Materials for the property located at 1449 Montgomery Hwy. was made by Mr. Slaton. Second was made by Mr. Weaver. Voice vote as follows:

Mr. Pugh – yes	Mr. Ellis– yes
Mr. Weaver- yes	Mr. Slaton – yes
Mrs. Coshatt – yes	Mr. Giddens– yes
Mr. Thompson – yes	
Motion carries.	

Conrad Garrison
City Planner

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
APPLICATION**

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: RDM 3, LLC / Mac Monteith
Address: 440 North Lamar Blvd, Suite 3
Oxford, Ms 38655
Phone #: 662-801-0168 Other #: _____
E-Mail: mac@capstonedev.com

Billing/Responsible Party (This Section Must Be Completed)

Name: RDM 3, LLC / Mac Monteith
Address: 440 North Lamar Blvd, Suite 3
Oxford, Ms 38655
Phone #: 662-801-0168 Other #: _____
E-Mail: mac@capstonedev.com

Representing Attorney/Other Agent

Name: Gonzalez-Strength & Associates, Inc.
Address: 1550 Riverchase Drive, Suite 200
Hoover, AL 35244
Phone #: 205-942-2486 Other #: _____
E-Mail: _____

II. DESCRIPTION OF PROPERTY:

LOCATION: 39 CrosshavenDrive
Street Address

Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST:

- | | | |
|----|-------------------------------------|---------------------------|
| 1. | <input checked="" type="checkbox"/> | Preliminary Review |
| 2. | <input checked="" type="checkbox"/> | Landscape Review |
| 3. | <input checked="" type="checkbox"/> | Architectural Review |
| 5. | <input checked="" type="checkbox"/> | Final Review of Materials |
| 6. | <input type="checkbox"/> | Other - Explain _____ |
-

IV. PROCESS:

- | | | |
|----|-------------------------------------|---|
| 1. | <input checked="" type="checkbox"/> | New Building |
| 2. | <input type="checkbox"/> | Renovation of Existing Building |
| 3. | <input type="checkbox"/> | New Landscape Plan |
| 4. | <input type="checkbox"/> | Renovation to Existing Landscaping Plan |
| 7. | <input type="checkbox"/> | Other - Explain _____ |

V. ZONING

Vestavia Hills Zoning for the subject property is B-2.

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. ***This application must be signed by the property owner before a Notary and the original application shall be submitted (no copies allowed).***

Owner Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this _____ day of _____, 20_____.

Notary Public

My commission expires _____
day of _____, 20_____.

Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

- General: Provide three copies and one digital copy (pdf format) of all drawings or plans required below for review. Drawings must be to scale. These drawings should be turned in with the application. Drawings shall be folded to size 8 ½” by 11”.
1. Architectural Review
 - a. Site plan showing roadways, entrances, exits and parking.
 - b. Building elevations showing construction material, material colors, context, and protrusions. Color rendering is preferred. Roof design must be detailed.
 - c. Presentation by architect or owner with knowledge of compatibility with adjacent structures, city context, etc.
 2. Landscape Review
 - a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
 - b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
 - c. Parking lots: Provide calculations of total square footage and square footage designated for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
 - d. Irrigation plan for all landscaped areas.
 - e. Statement of maintenance policy and provisions.

**DELEGATION OF AUTHORITY
CITY OF VESTAVIA HILLS, ALABAMA**

**RE: SHERWIN WILLIAMS – 3900 CROSSHAVEN DRIVE
GSA project number: 20-0517**

We, **Mac Monteith, RDM III, LLC** declare that we are the developers of the property involved in this Design Review Board Application. We hereby grant **Gonzalez-Strength & Associates, Inc.** to represent us in applying for said permit with the **City of Vestavia Hills, AL.** We further declare that all statements, answers, and information herein submitted is in all respects true and correct to the best of our knowledge and belief.

Sincerely,



DEVELOPER (Signature)

Ranni N. Verlangieri *12/17/20*

Notary's Signature Date Date Notary Expires



MARK	DATE	DESCRIPTION

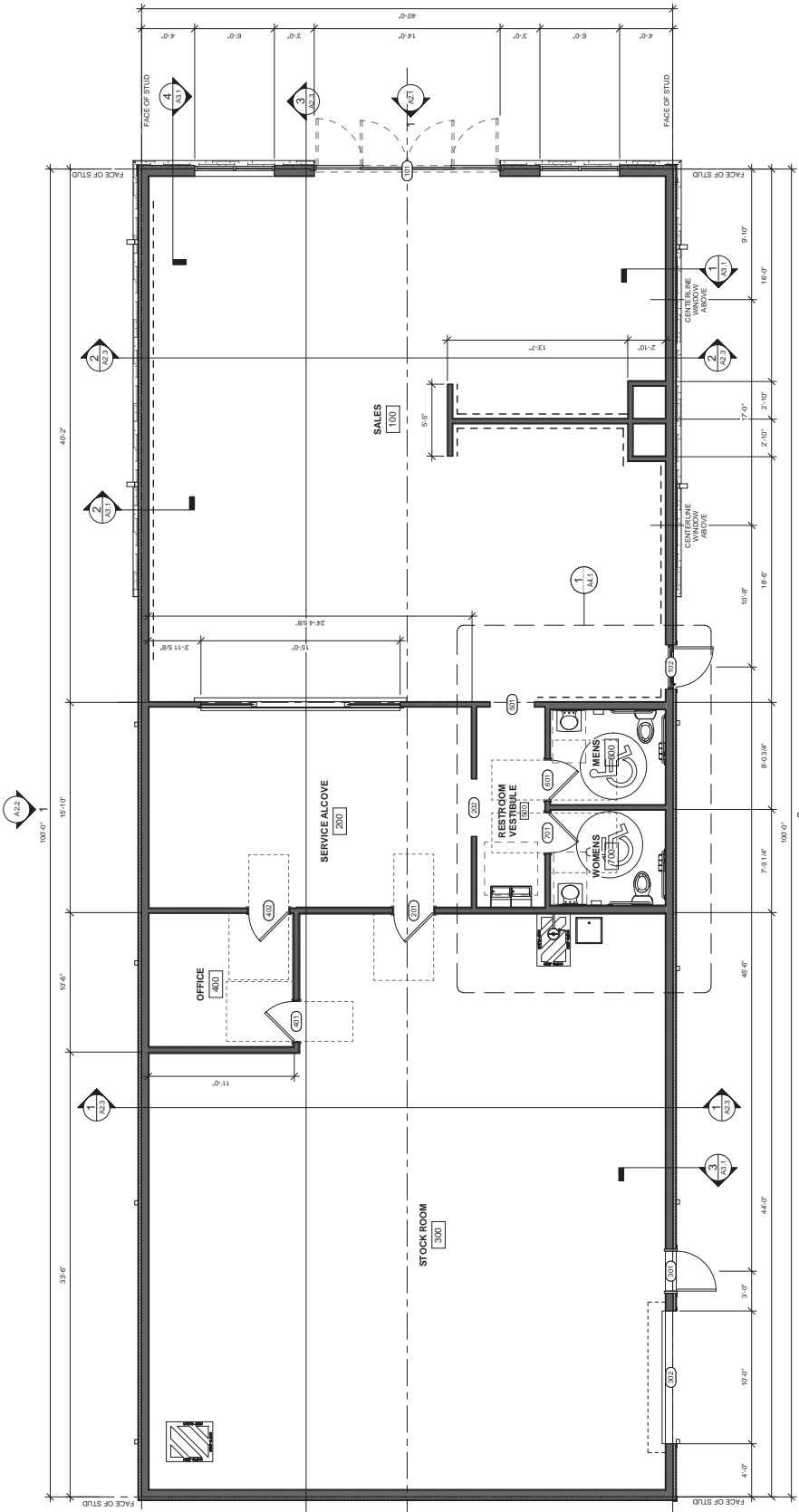
Preliminary Design
Not for Construction

PROJECT NO.	
ISSUED BY	
DATE	
CHECKED BY	
DATE	

FLOOR PLAN
A1.1
 SCALE: As Indicated

FLOOR PLAN GENERAL NOTES

- G.C. SHALL COORDINATE, SUPPLY AND INSTALL ANY FLOORING, PARTITIONING, MASONRY, MECHANICAL, ELECTRICAL, AND PLUMBING WORK.
- FURNITURE, FIXTURES, AND EQUIPMENT SHALL BE PROVIDED BY THE CLIENT OR OTHER VENDORS OR SUBCONTRACTORS.
- ALL DIMENSIONS ARE TO FINISH UNLESS NOTED OTHERWISE.
- VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING IF ANY DISCREPANCIES IN THE FIELD ARE FOUND.
- THE G.C. SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER TRADES WHERE DRIVWALL CONSTRUCTION IS IN PROGRESS. THE G.C. SHALL PROVIDE ALL NECESSARY BRIDGING AND SHORING TO SUPPORT THE DRIVWALLS AND TO MAINTAIN THE REQUIRED CLEARANCES AND SPACING.
- ALL OPSUM WALLBOARD PARTITION JOINTS SHALL BE LOCATED TO MATCH THE JOINTS OF THE EXISTING PARTITIONING.
- WALLS SHALL BE FINISHED WITH THE BASE BUILDING CORE STRUCTURES. WALLS SHALL BE FINISHED WITH A FINISH BOARD UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE TO FINISHED SURFACES UNLESS OTHERWISE NOTED.
- ALL DOORS IN DRIVWALL OR MASONRY PARTITION SHALL BE SET TO SWING OUTWARD UNLESS OTHERWISE NOTED.
- ALL JOINTS IN NEW PARTITIONS, AS WELL AS JUNCTIONS OF PARTITIONS TO EXISTING PARTITIONS, SHALL BE PAINTED AND SPACKLED AND FINISHED SMOOTH.
- THE CONTRACTOR SHALL APPLY AT LEAST TWO COATINGS OF CHAMBER CAULKING BEADS AT THE FLOOR AND CEILING JOINTS OF ALL PARTITIONS.
- PROVIDE SUFFICIENT FRAMING FOR ALL WALL OPENINGS FOR DOORS AND WINDOWS TO BE INSTALLED IN ACCORDANCE WITH THE DRAWINGS AND THE LOCAL NATIONAL CONSTRUCTION SHOP DRAWINGS. ALL SPACES OR GAPS SHALL BE PROPERLY SEALED WITH AN APPROPRIATE GASKET.
- PROVIDE ALL NECESSARY CUTS FOR THE INSTALLATION OF ELECTRICAL, MECHANICAL, AND PLUMBING DEVICES.



FINISH FLOOR
 SCALE: 1/4" = 1'-0"

MARK	DATE	DESCRIPTION

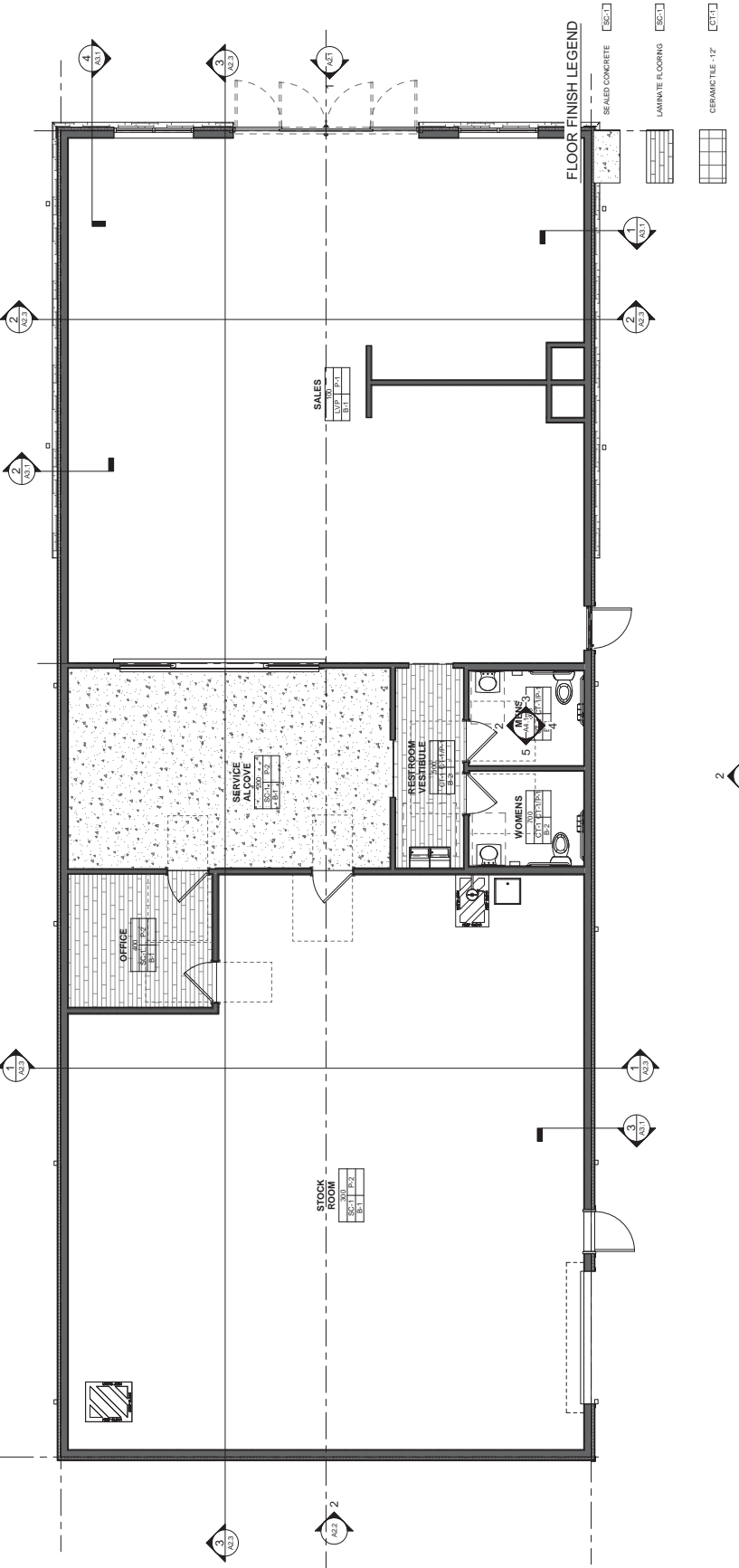
Preliminary Design
 Not for Construction

PROJECT NO.	
DATE OF DESIGN	
DESIGNED BY	
CHECKED BY	
FINISH PLAN	

A1.2
 SCALE: As indicated

FINISH PLAN NOTES

- MAINTAIN A MINIMUM TEMPERATURE IN THE SPACES TO RECEIVE THE FLOORING AND ACCESSORIES OF 60°F (15°C) THROUGHOUT THE INSTALLATION PROCESS. DO NOT ALLOW SURFACES TO BE COOLED BY AIR CONDITIONING SYSTEMS FOR AT LEAST 48 HOURS BEFORE CURING, AND FOR NOT LESS THAN 48 HOURS AFTER CURING. DO NOT ALLOW SURFACES TO BE COOLED BY AIR CONDITIONING SYSTEMS FOR AT LEAST 48 HOURS AFTER CURING. MAINTAIN TEMPERATURE OF 50°F (10°C) IN AREAS WHERE DIRECT FLOW OF HEAT FROM HOT-AIR REGISTERS, RADIATORS, OR OTHER HEATING FIXTURES AND APPLIANCES.
- SURFACE CLEANING: REMOVE DIRT, WAXES, OILS, RELEASE AGENTS, SEALERS, AND WAXES REMOVE BEFORE FLOORING IS LAYED. REMOVE ALL COBwebs, MANUFACTURER REMOVAL CURING AND HARDENING AS INDICATED BY A BOND TEST FOR THE COMPANY'S RECOMMENDATIONS FOR FLOORING.
- SURFACE CLEANING: VACUUM OR BROOM CLEAN SURFACES TO BE COVERED IMMEDIATELY BEFORE THE APPLICATION OF FLOORING. REMOVE ALL DIRT, GREASE, AND ALL FOREIGN MATERIALS.
- INS WALL FLOORING AS RECOMMENDED BY THE MANUFACTURER. DO NOT ALLOW FLOORING TO BE INSTALLED ON FLOOR-CRACKS, CABINETWORK, FURNITURE, COMPARTMENT, AND WALL PARTITIONS, ETC. FLOORING IS NOT TO BE INSTALLED OVER DOORS, CLOSETS, AND SIMILAR OPENINGS OR AS SHOWN ON THE DRAWINGS.
- Scribe, cut, and fit to permanent fixtures, columns, walls, partitions, pipes, outlets, and built-in cabinets. Do not use scribe cutters.
- Roll with a 100-pound (45 kg) cast iron roller in the field areas. Refer to specific rolling instructions of the flooring manufacturer.
- Non-load bearing metal framing shall be soga at 16" on center spacing.
- Exterior and load bearing metal framing shall be soga at 16" on center spacing.
- Gypsum wall to receive paint shall have Gypsum wall board (GWB) applied in accordance with Gypsum Association GA-24.
- Gypsum finish levels shall comply with Gypsum Association GA-24.
- Light gauge cold formed steel members shall be soga at 16" on center spacing.
- Non-load bearing metal framing shall be soga at 16" on center spacing.
- Exterior and load bearing metal framing shall be soga at 16" on center spacing.
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- Exterior and load bearing metal framing shall be soga at 16" on center spacing.



FLOOR FINISHES
 SCALE: 1/4" = 1'-0"

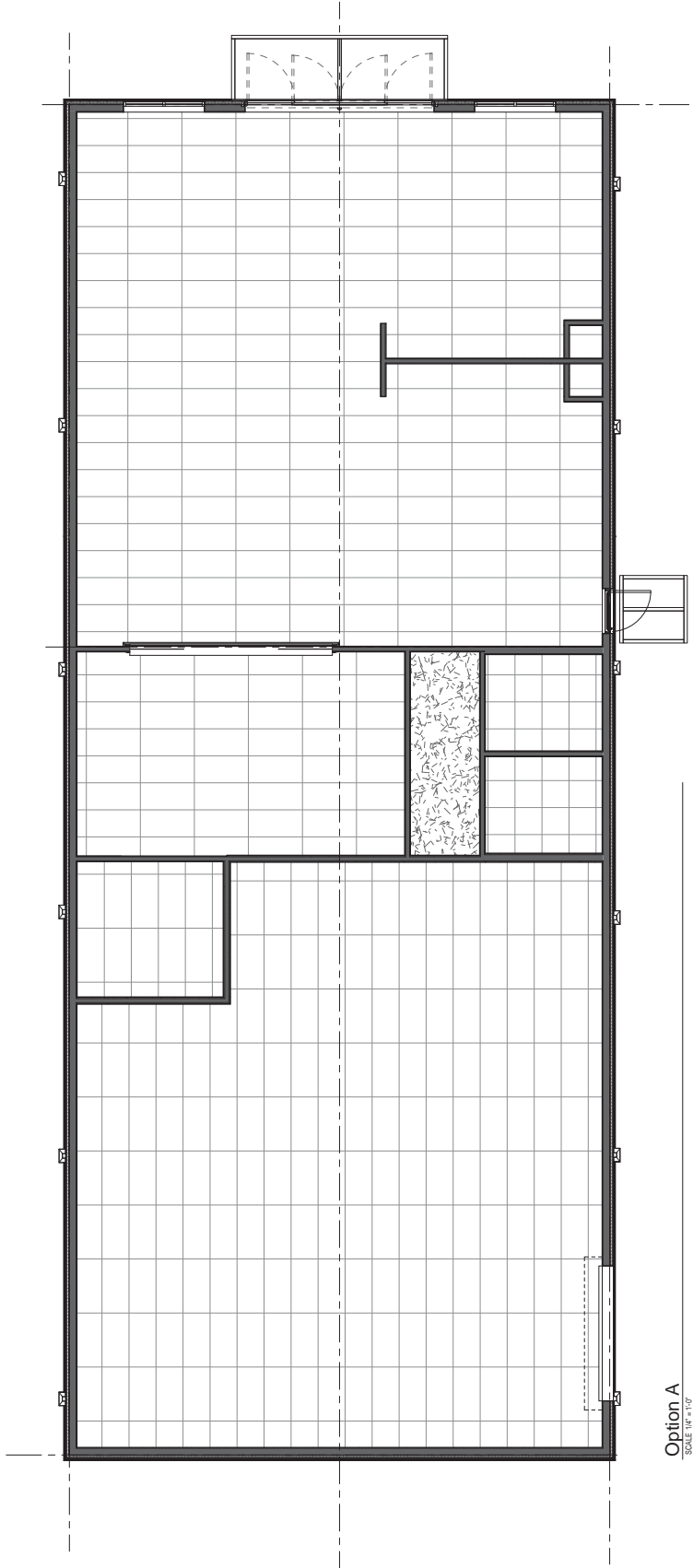
MARK	DATE	DESCRIPTION

Preliminary Design

Not for Construction

PROJECT NO.	
DRAWN BY	
CHECKED BY	
DATE	
PROJECT NAME	
PROJECT LOCATION	
PROJECT TYPE	

A1.3
SCALE: 1/4" = 1'-0"



Option A
SCALE: 1/4" = 1'-0"



DANIEL DESIGN STUDIO P.C.
1155 CAL MAE DR SUITE 100
VESTAVIA HILLS, ALABAMA 35296
PH: 205.968.6946

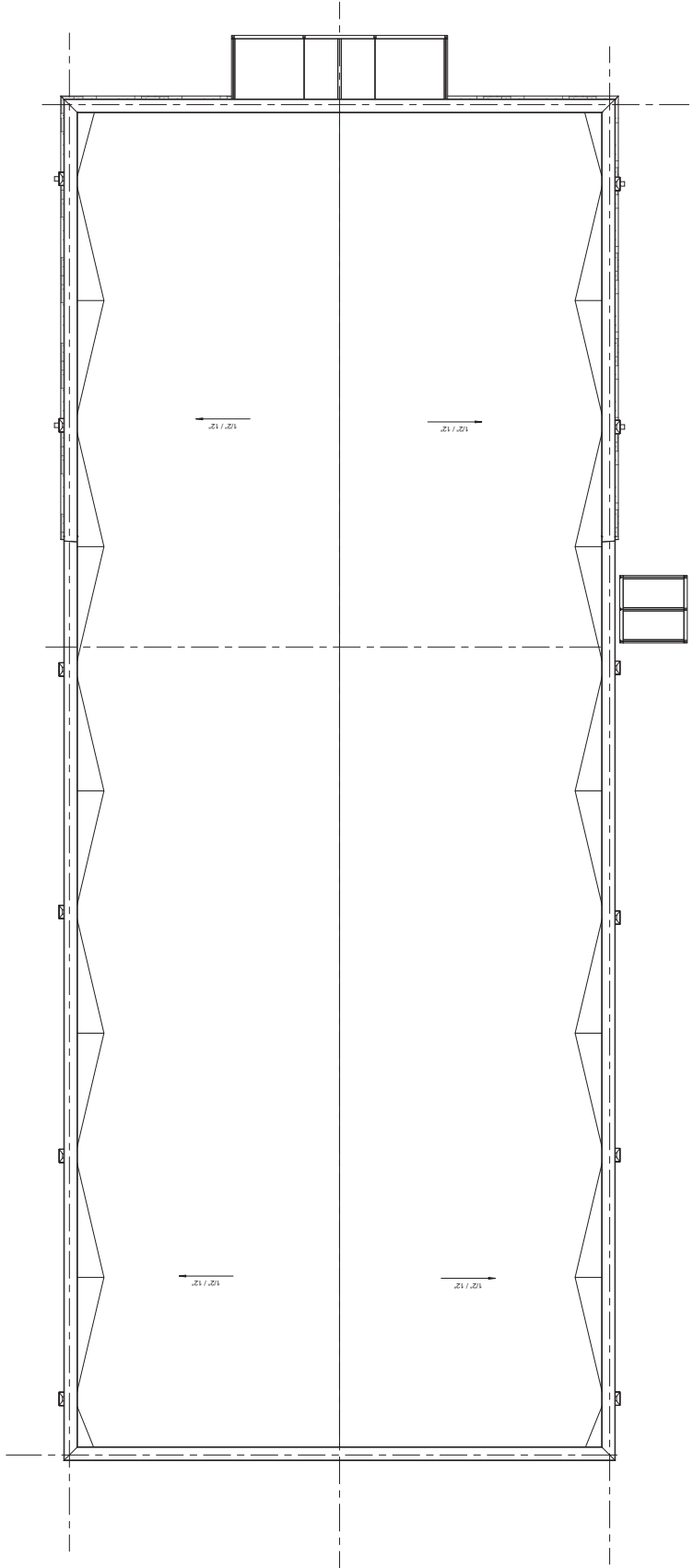
Sherwin Williams Vestavia Hills
Vestavia Hills, Alabama

MARK	DATE	DESCRIPTION

Preliminary Design
Not for Construction

PROJECT NO.: 20180001
OWNER: SHERWIN WILLIAMS
DESIGNED BY: C. GIBSON
CHECKED BY: C. GIBSON
ROOF PLAN

A1.4
SCALE: 1/4" = 1'-0"

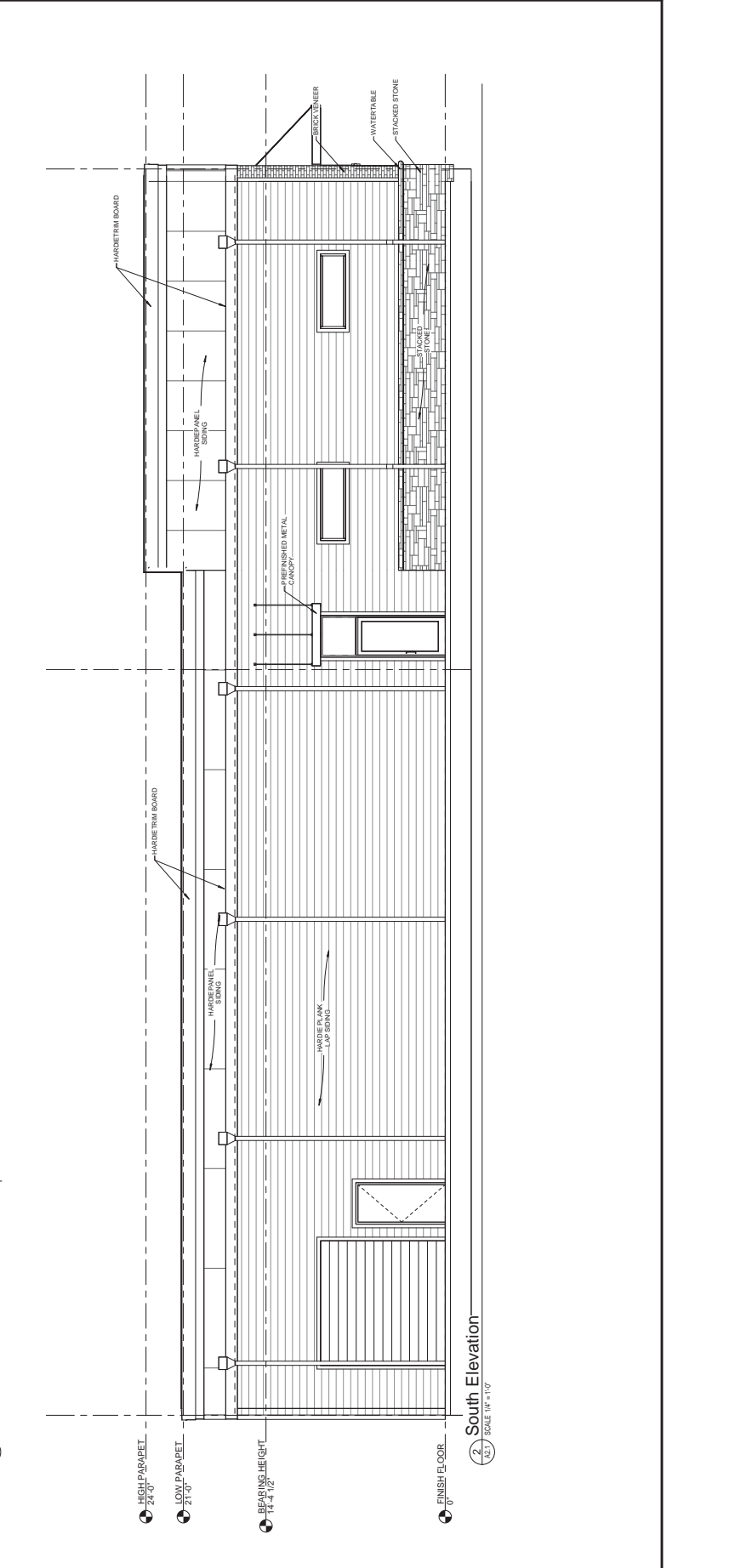
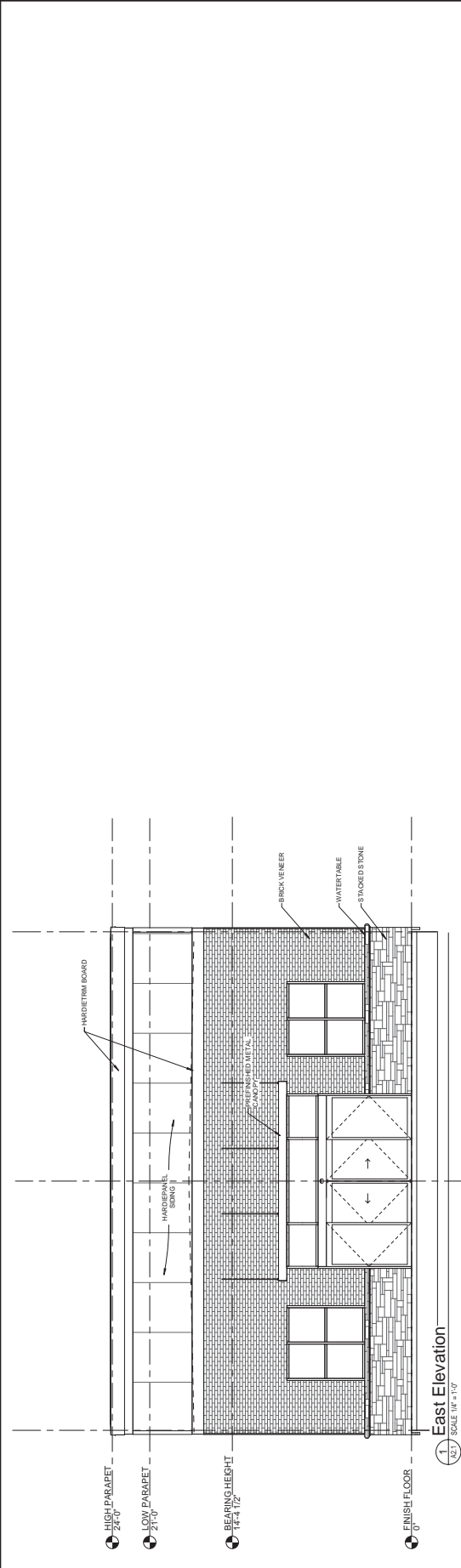


HIGH PARAPET
SCALE 1/4" = 1'-0"

DESCRIPTION	DATE	MARK

Preliminary Design
 Not for Construction

PROJECT NO.	23117
DATE	06/28/2023
DESIGNED BY	SK/SA
CHECKED BY	SK/SA
EXTERIOR ELEVATIONS	

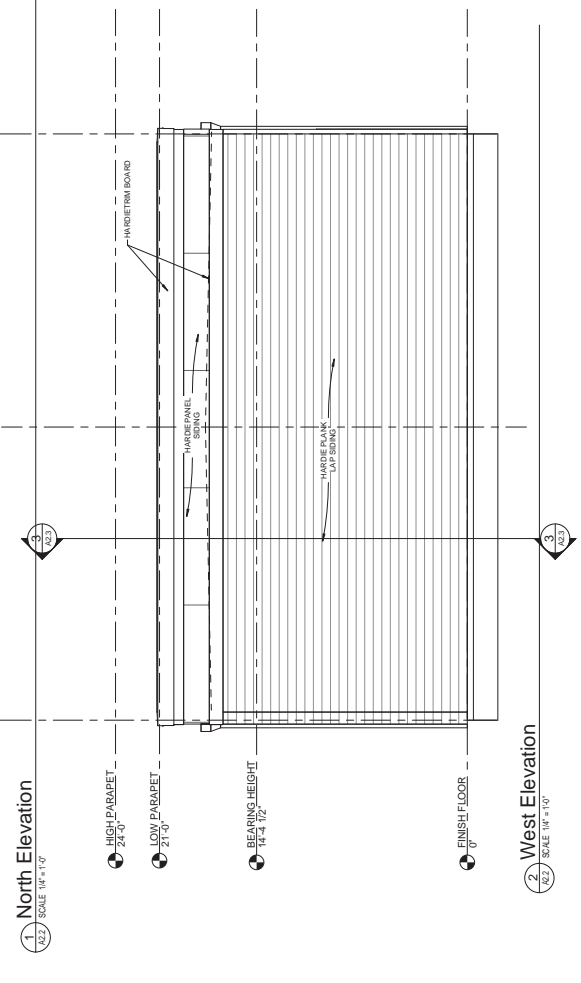
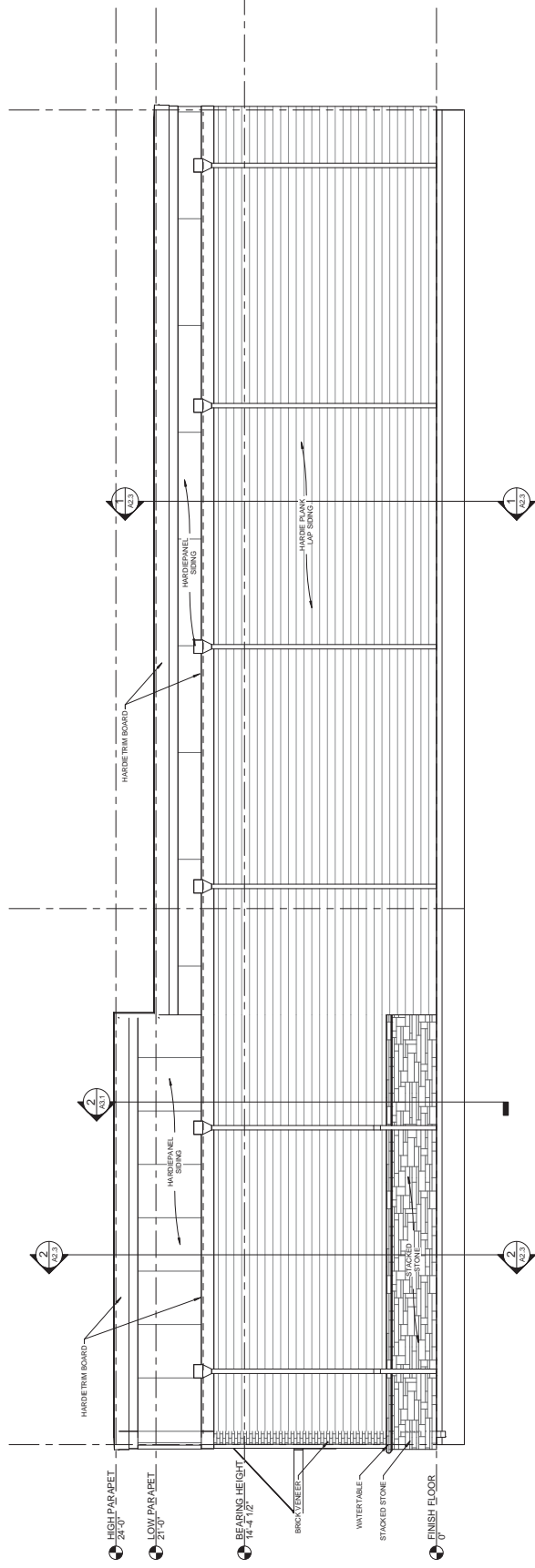


MARK	DATE	DESCRIPTION

Preliminary Design
 Not for Construction

PROJECT NO.: 2023-001
 DRAWING NO.: EX-001
 CHECKED BY: [Signature]
 EXTERIOR ELEVATIONS

A2.2
 SCALE: 1/4" = 1'-0"



1 North Elevation
 SCALE: 1/4" = 1'-0"

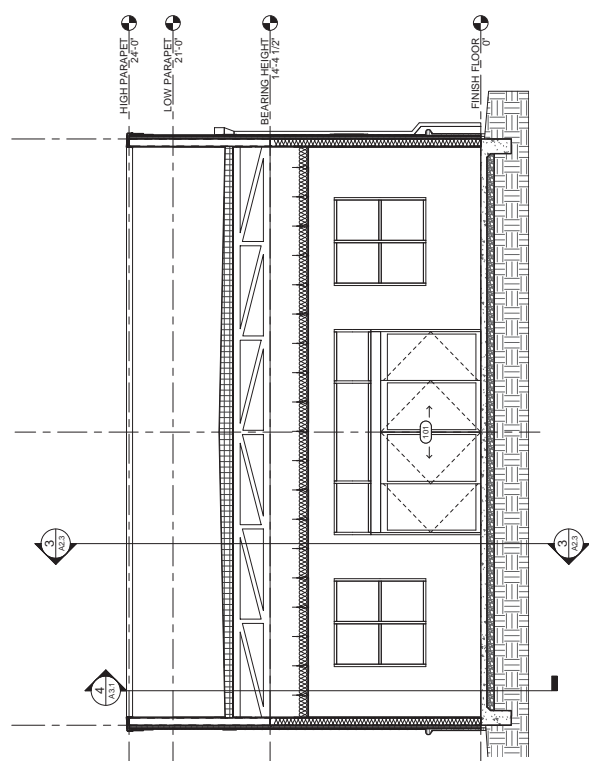
2 West Elevation
 SCALE: 1/4" = 1'-0"

MARK	DATE	DESCRIPTION

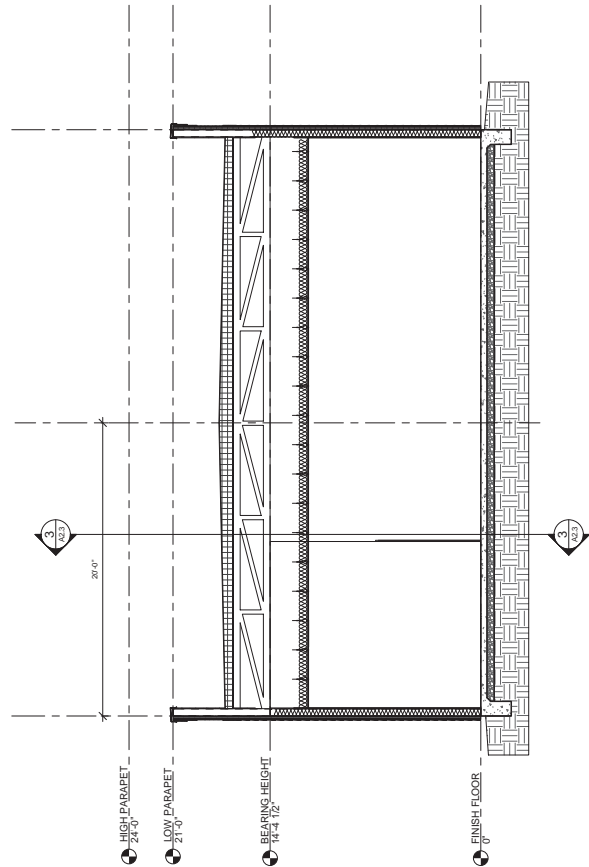
Preliminary Design
 Not for Construction

PROJECT NO. 2018-001
 DRAWING NO. 01-01
 CHECKED BY: C. CHAMBERLAIN
 BUILDING SECTIONS

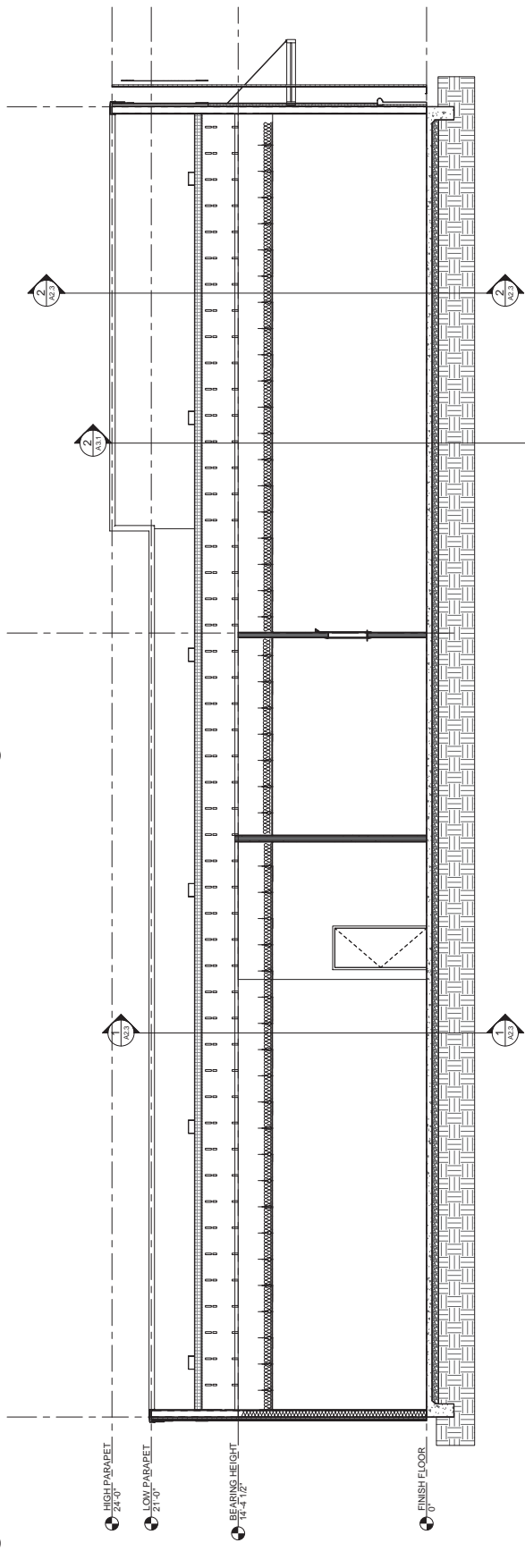
A2.3
 SCALE: 1/4" = 1'-0"



1. BUILDING SECTION
 SCALE: 1/4" = 1'-0"



2. BUILDING SECTION
 SCALE: 1/4" = 1'-0"



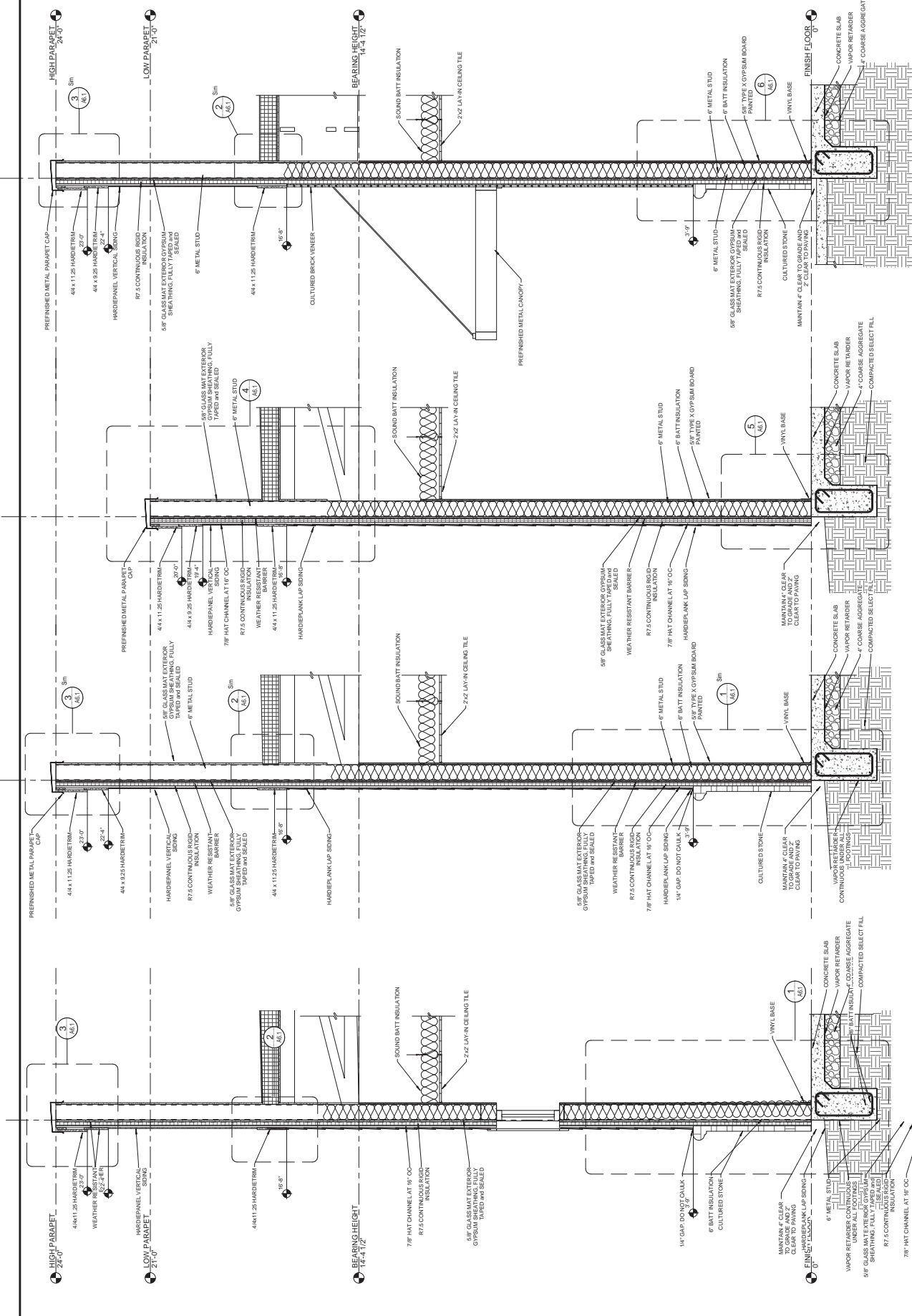
3. BUILDING SECTION
 SCALE: 1/4" = 1'-0"

MARK	DATE	DESCRIPTION

Preliminary Design
Not for Construction

PROJECT NO. 2018002
 DRAWING NO. 2018002-01
 CHECKED BY: C. BROWN
 WALL SECTIONS

A3.1
 SCALE: 3/8" = 1'-0"



1 WALL SECTION
 (3/8") SCALE 3/8" = 1'-0"

2 WALL SECTION
 (3/8") SCALE 3/8" = 1'-0"

3 WALL SECTION
 (3/8") SCALE 3/8" = 1'-0"

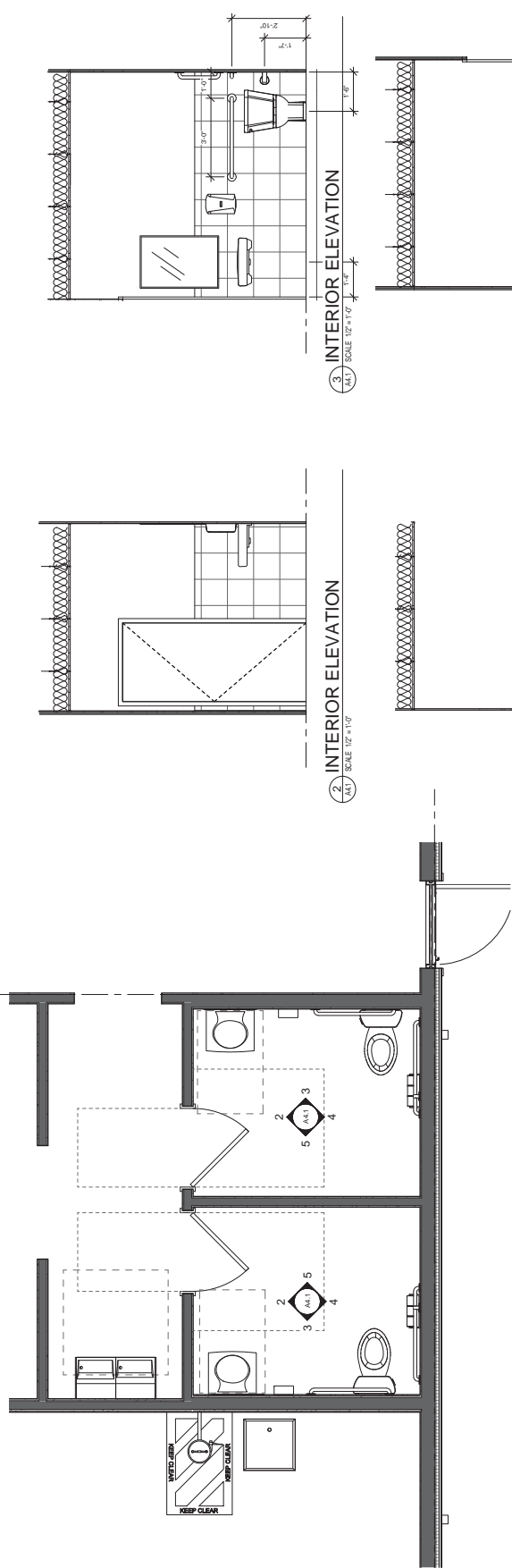
4 WALL SECTION
 (3/8") SCALE 3/8" = 1'-0"

MARK	DATE	DESCRIPTION

Preliminary Design
Not for Construction

PROJECT NO. **180308**
 DRAWING NO. **180308-01**
 CHECKED BY: **CS**
 ENLARGED FLOOR PLAN

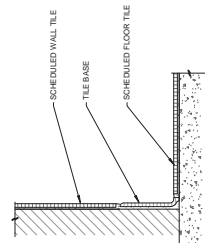
A4.1
 SCALE: As Indicated



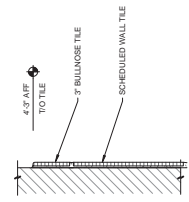
ACCESSORY LEGEND

(A)	1" GRAB BAR
(B)	3" GRAB BAR
(C)	2" GRAB BAR
(D)	TOILET PAPER DISPENSER
(E)	TOILET TONGUE DISPENSER
(F)	SOAP DISPENSER
(G)	MIRROR
(H)	SHOWER BOARD
(I)	TACK BOARD

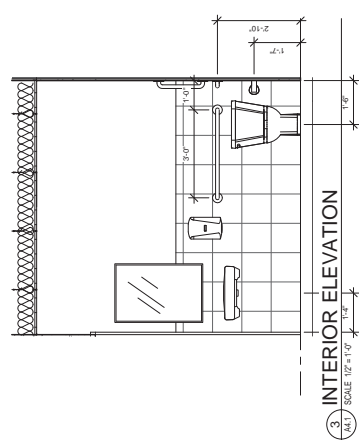
1 ENLARGED FLOOR PLAN
 A4.1 SCALE 1/2" = 1'-0"



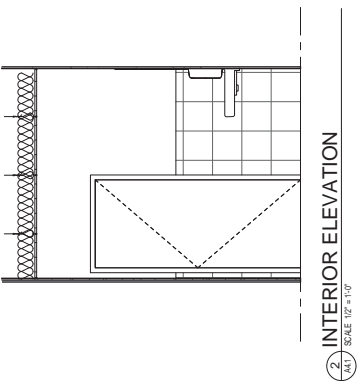
2 TRANSITION - FLOOR TILE TO WALL TILE
 A4.1 SCALE 3/8" = 1'-0"



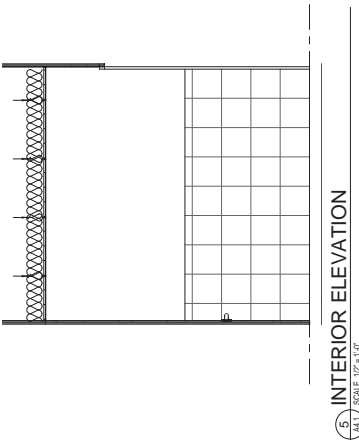
3 TRANSITION - WALL TILE TO WALL TILE
 A4.1 SCALE 3/8" = 1'-0"



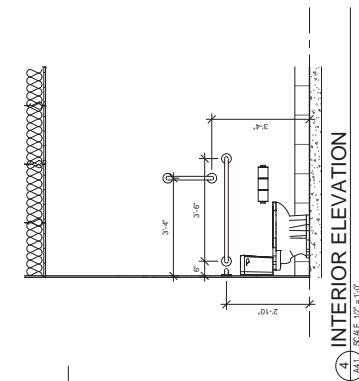
4 INTERIOR ELEVATION
 A4.1 SCALE 1/2" = 1'-0"



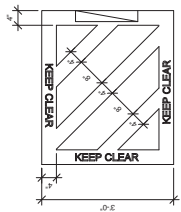
5 INTERIOR ELEVATION
 A4.1 SCALE 1/2" = 1'-0"



6 INTERIOR ELEVATION
 A4.1 SCALE 1/2" = 1'-0"

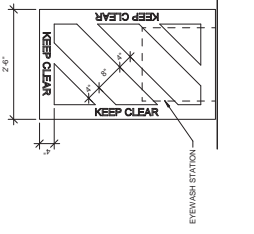


7 INTERIOR ELEVATION
 A4.1 SCALE 1/2" = 1'-0"



LETTERS SHALL BE MINIMUM 2" HIGH AND SHALL CONTRAST WITH THE BACKGROUND COLOR. ALL LETTERS AND STRIPES SHALL BE 1/8" THICK. STRIPES SHALL BE 1/2" WIDE AND SPACED 1/2" APART AND APPLIED DIAGONALLY. STRIPES REQUIRED IN STRIPED AREAS MAY BE AN APPROVED COLOR.

8 TYP FLOOR STRIPING DETAIL (ELECTRICAL PANEL)
 A4.1 SCALE 3/4" = 1'-0"



LETTERS SHALL BE MINIMUM 2" HIGH AND SHALL CONTRAST WITH THE BACKGROUND COLOR. ALL LETTERS AND STRIPES SHALL BE 1/8" THICK. STRIPES SHALL BE 1/2" WIDE AND SPACED 1/2" APART AND APPLIED DIAGONALLY. STRIPES REQUIRED IN STRIPED AREAS MAY BE AN APPROVED COLOR.

9 TYP FLOOR STRIPING DETAIL (EYE WASH STATION)
 A4.1 SCALE 3/4" = 1'-0"

MARK	DESCRIPTION	DATE	MARK	DESCRIPTION	DATE

Design Development
Not for Construction

PROJECT NO.: **1801008**
ISSUED NO.: **03**
CHECKED BY: **CS/JS**
SCHEDULES:

A5.1
SCALE: As indicated

Finish Schedule Abbreviations

LAT	Light Acoustic Tile
CMU	Concrete Masonry Unit
PCMU	Painted Concrete Masonry Unit
SB	Synthetic Stone Base
CR	Ceramic Tile Base
HM	Hollow Metal
SCW	Solid Core Wood
WG	Wire Glass
VCT	Vinyl Composite Tile

Door Schedule Abbreviations

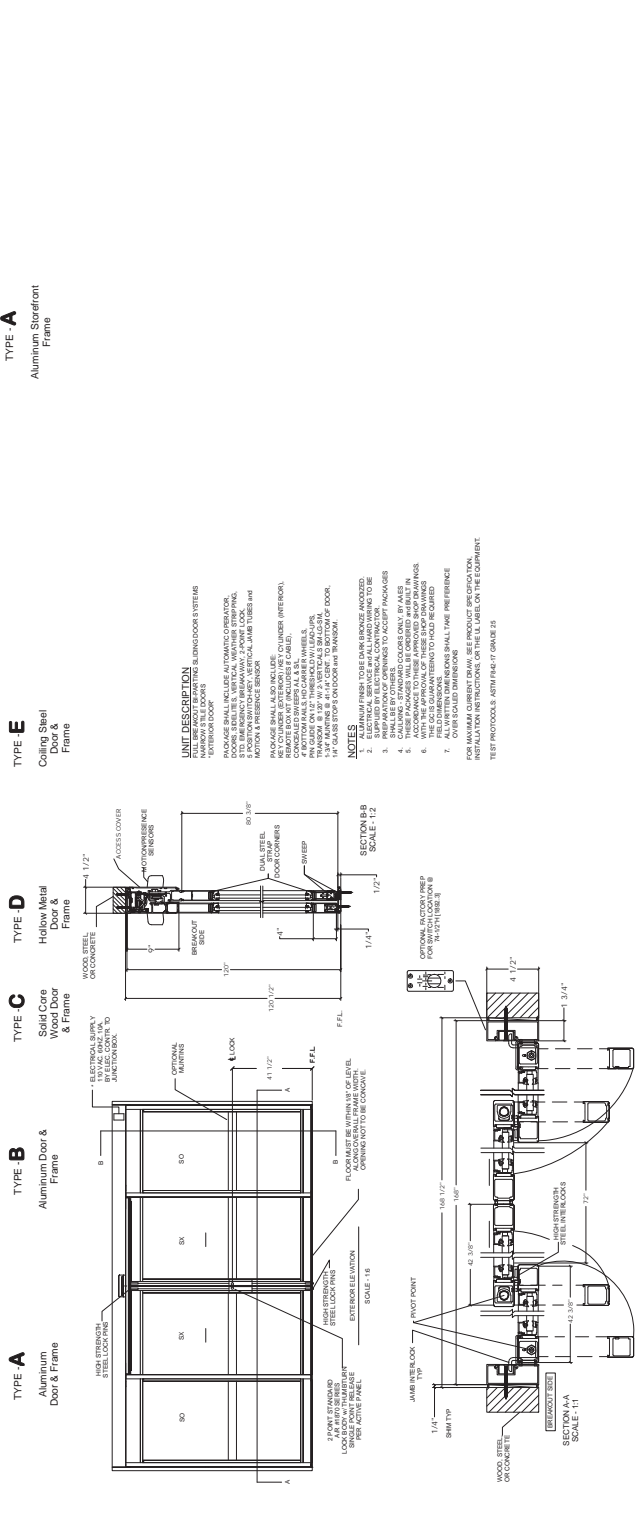
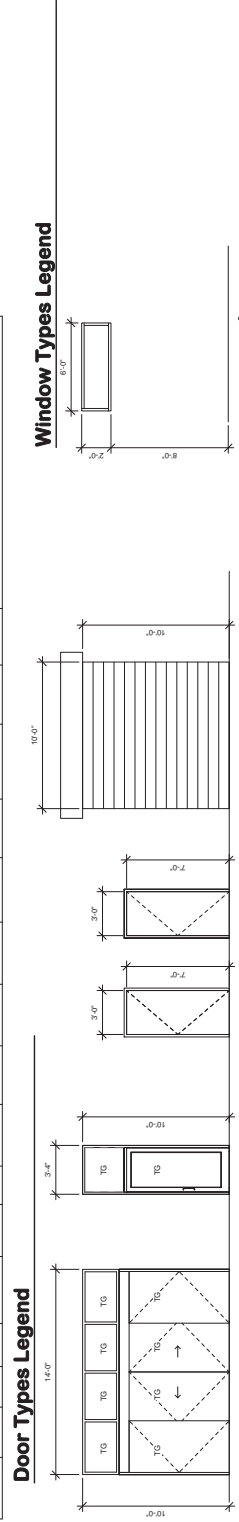
ADA	International Symbol Of Accessibility
ALUM	Aluminum
CM	Changeable Message
HM	Hollow Metal
SCW	Solid Core Wood
XXX	3 Digit Number
FF	Female Figure
MF	Male Figure

Room Finish Schedule

Number	Room Name	Room Finishes			Comments
		Floor	Wall	Ceiling	
100	SALES	LVP	P-1	LAT	
200	SERVICE ALCOVE	B-1	P-2	LAT	
300	STOCK ROOM	B-1	P-2	LAT	
400	OFFICE	SC-1	LAT	LAT	
500	RESTROOM	SC-1	LAT	LAT	
600	RESTROOM	CT-1	LAT	LAT	
700	WOMEN'S	CT-1	LAT	LAT	

Door Schedule

No.	Single/Double Size	Width	Height	Thickness	Material			Sill Detail	Fire Rating	Notes	Description		
					Glass								
					Head	Jamb	Material						
101	SINGLE	3'-0"	7'-0"	2"	FULL	B	5/16x2-1/2"	3/4x8/2	-	None	-		
102	SINGLE	3'-0"	7'-0"	2"	FULL	B	5/16x2-1/2"	3/4x8/2	-	None	-		
201	SINGLE	3'-0"	7'-0"	1-3/4"	-	-	11/16x2-1/2 SIM	12/16x2 SIM	13/16x2 SIM	HM	-	GYP BD OPENING	
202	SINGLE	3'-0"	7'-0"	1-3/4"	-	-	-	9/16x2	10/16x2	Frame MB1	Frame Typ 1	-	-
302	SINGLE	10'-0"	10'-0"	2"	-	-	-	-	-	Steel	Frame Typ 1	-	-
401	SINGLE	3'-0"	7'-0"	1-3/4"	-	-	-	11/16x2 SIM	12/16x2 SIM	13/16x2 SIM	HM	-	-
402	SINGLE	3'-0"	7'-0"	1-3/4"	-	-	-	11/16x2	12/16x2	13/16x2	HM	-	-
501	SINGLE	3'-0"	7'-0"	1-3/4"	-	-	-	11/16x2	12/16x2	13/16x2	HM	-	-
601	SINGLE	3'-0"	7'-0"	1-3/4"	-	-	-	11/16x2	12/16x2	13/16x2	HM	-	-
701	SINGLE	3'-0"	7'-0"	1-3/4"	-	-	-	11/16x2	12/16x2	13/16x2	HM	-	-

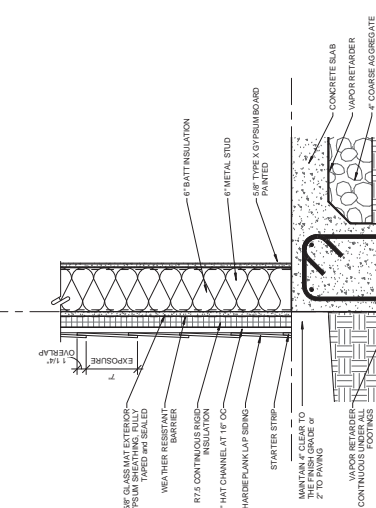


MARK	DATE	DESCRIPTION

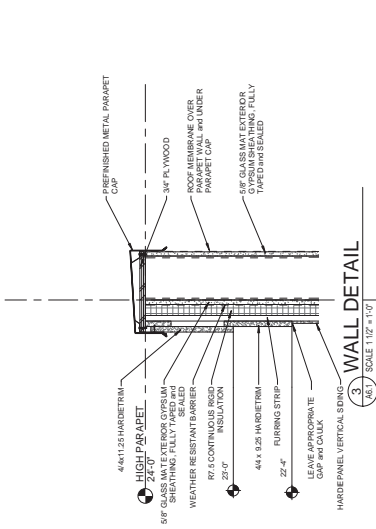
Design Development
Not for Construction

PROJECT NO. **DA18000**
 DRAWING NO. **01-000**
 DESIGNED BY: **CS**
 CHECKED BY: **CS**
 DETAILS

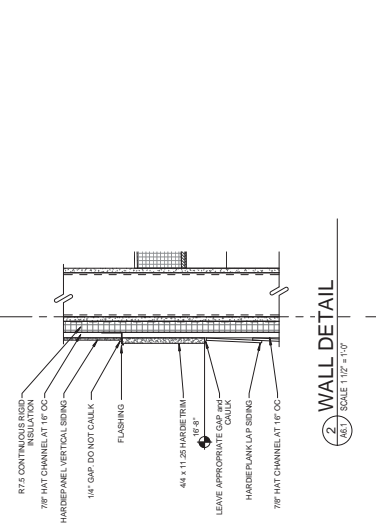
A6.1
 SCALE: 1/16" = 1'-0"



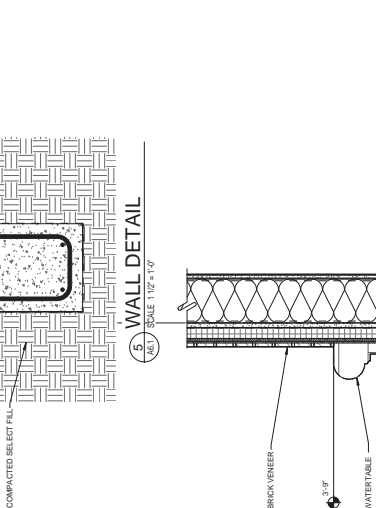
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 (A6.1) SCALE 1/16" = 1'-0"



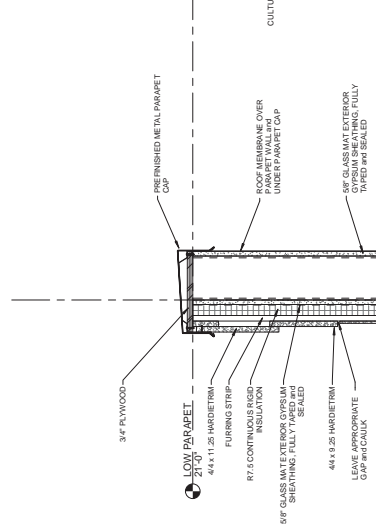
2 WALL DETAIL
 (A6.1) SCALE 1/16" = 1'-0"



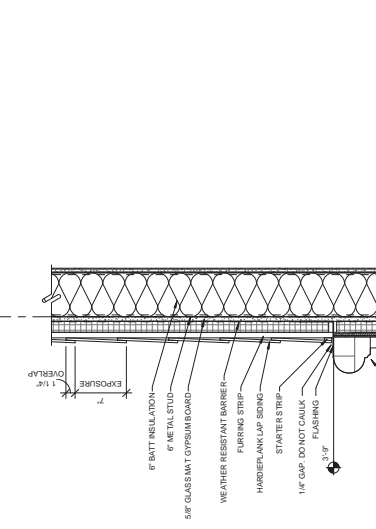
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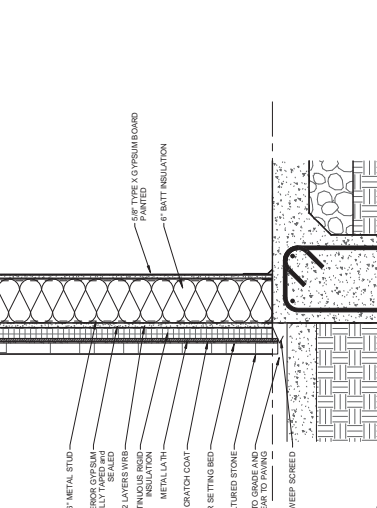
4 WALL DETAIL
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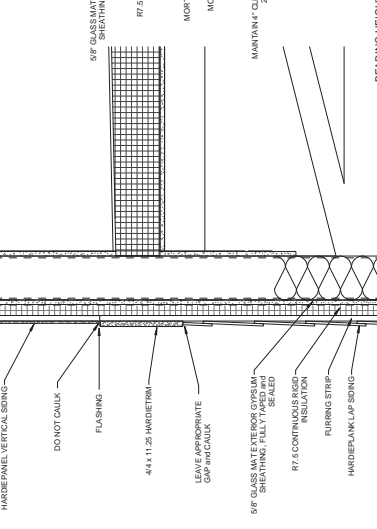
5 WALL DETAIL
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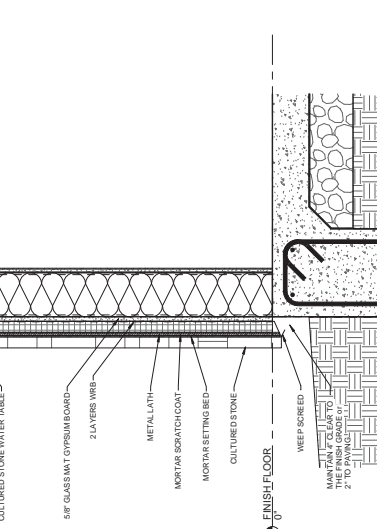
6 WALL DETAIL
 (A6.1) SCALE 1/16" = 1'-0"



7 WALL DETAIL
 (A6.1) SCALE 1/16" = 1'-0"



8 WALL DETAIL
 (A6.1) SCALE 1/16" = 1'-0"



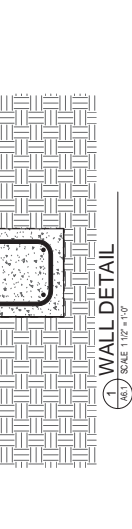
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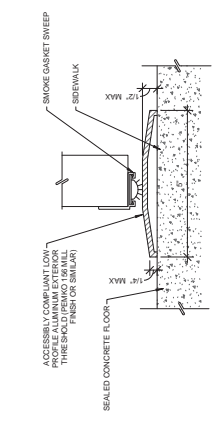
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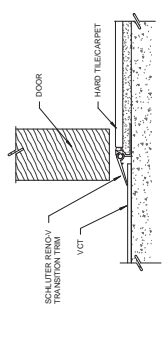
11 WALL DETAIL
 (A6.1) SCALE 1/16" = 1'-0"



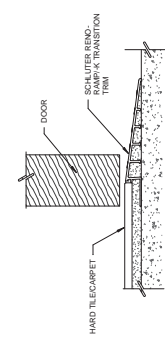
12 WALL DETAIL
 (A6.1) SCALE 1/16" = 1'-0"



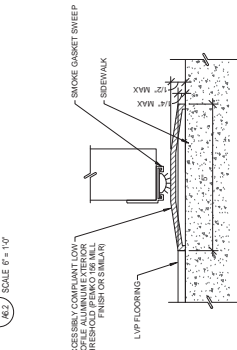
1 TRANSITION - CONCRETE TO SIDEWALK
SCALE 3/8" = 1'-0"



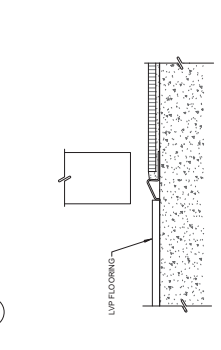
2 TRANSITION - TILE/CARPET TO LVT/VCT
SCALE 3/8" = 1'-0"



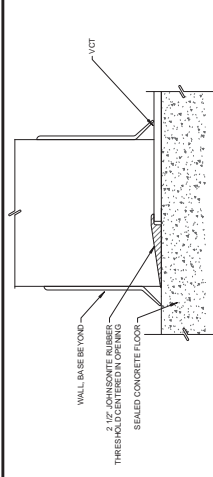
3 TRANSITION - TILE/CARPET TO CONCRETE
SCALE 3/8" = 1'-0"



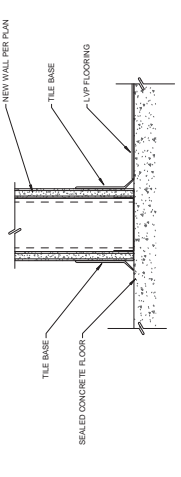
4 TRANSITION - LVT TO SIDEWALK
SCALE 3/8" = 1'-0"



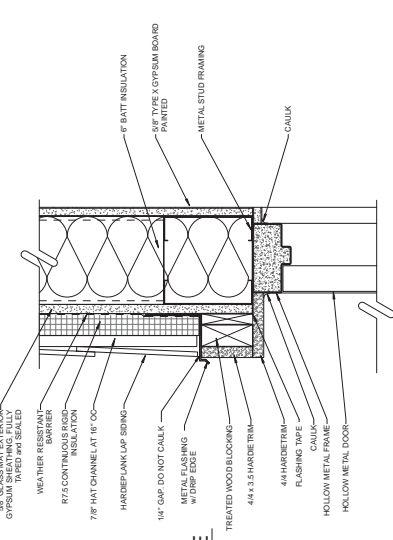
5 TRANSITION - LVT TO TILE
SCALE 3/8" = 1'-0"



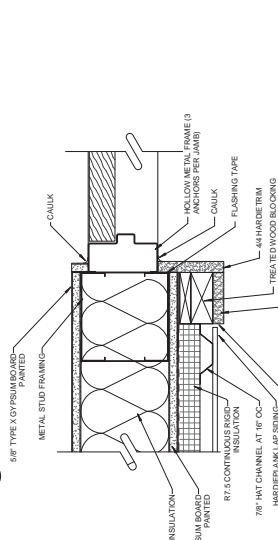
6 TRANSITION - VCT TO CONCRETE
SCALE 3/8" = 1'-0"



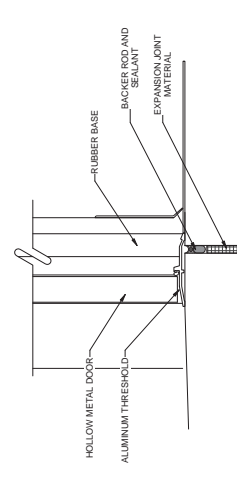
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SCALE 3/8" = 1'-0"



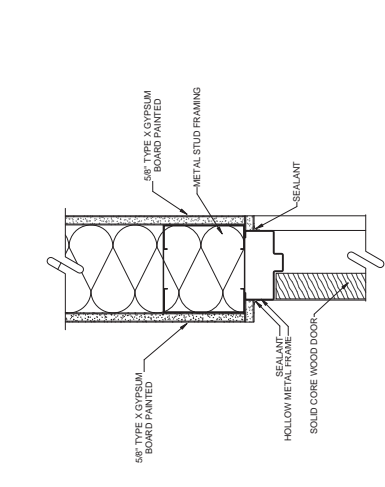
8 EXTERIOR HOLLOW METAL FRAME HEAD DTL
SCALE 3/8" = 1'-0"



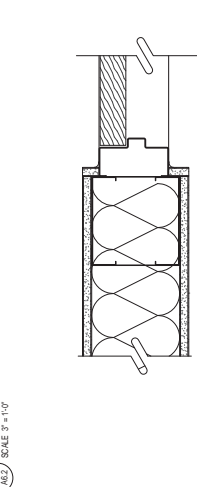
9 EXTERIOR HOLLOW METAL FRAME JAMB DETAIL
SCALE 3/8" = 1'-0"



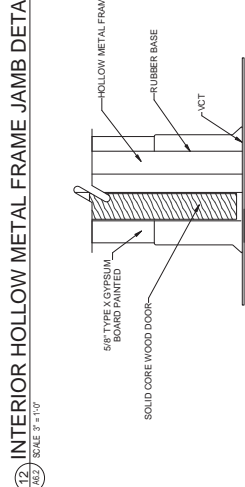
10 EXTERIOR HOLLOW METAL FRAME SILL DETAIL
SCALE 3/8" = 1'-0"



11 INTERIOR HOLLOW METAL FRAME HEAD DETAIL
SCALE 3/8" = 1'-0"



12 INTERIOR HOLLOW METAL FRAME JAMB DETAIL
SCALE 3/8" = 1'-0"



13 INTERIOR HOLLOW METAL FRAME SILL DETAIL
SCALE 3/8" = 1'-0"

MARK	DATE	DESCRIPTION

Design Development
Not for Construction

PROJECT NO.:
DRAWING NO.:
DESIGNED BY:
CHECKED BY:
DATE:



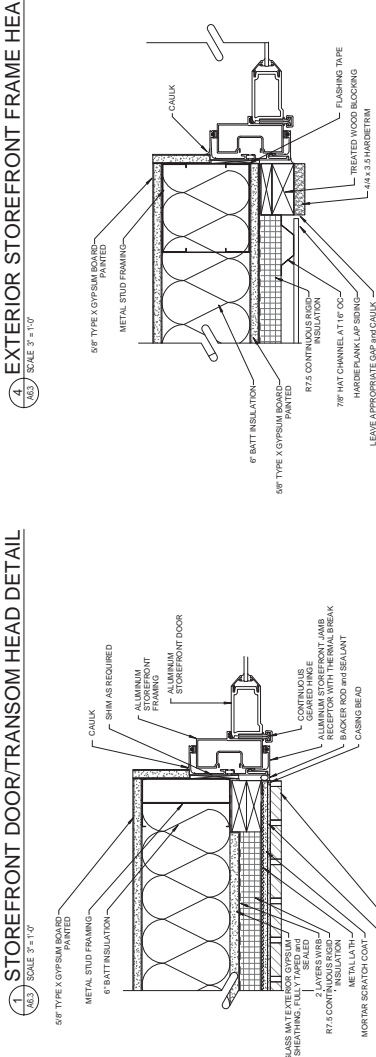
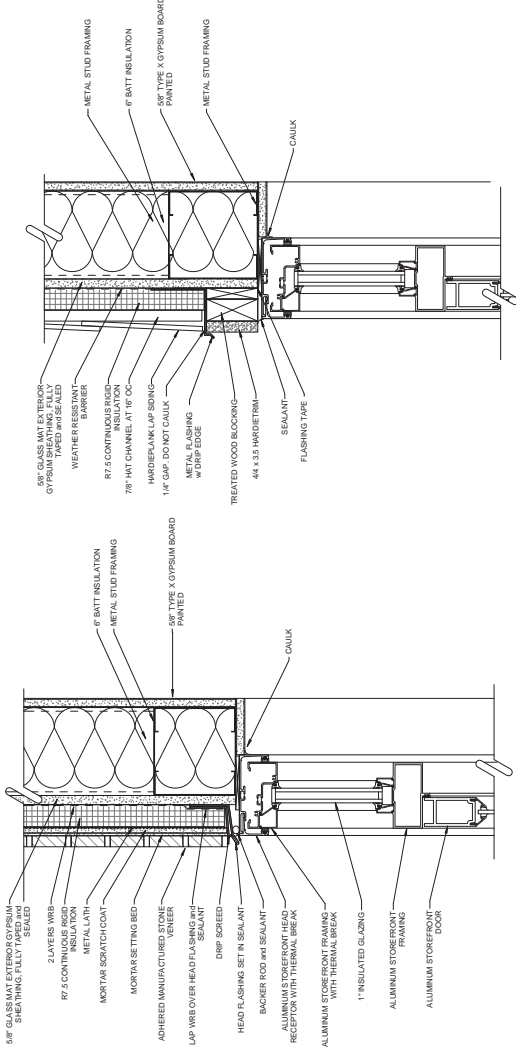
Sherwin Williams Vestavia Hills
Vestavia Hills, Alabama

MARK	
DATE	
DESCRIPTION	

Design Development
Not for Construction

PROJECT NO.	
DRAWING NO.	
DATE	
DESIGNED BY	
CHECKED BY	
DETAILS	

A6.3
SCALE: 3/4" = 1'-0"



MARK	
DATE	
DESCRIPTION	

NO.	REVISIONS	DATE

LANDSCAPE CONCEPT PLAN

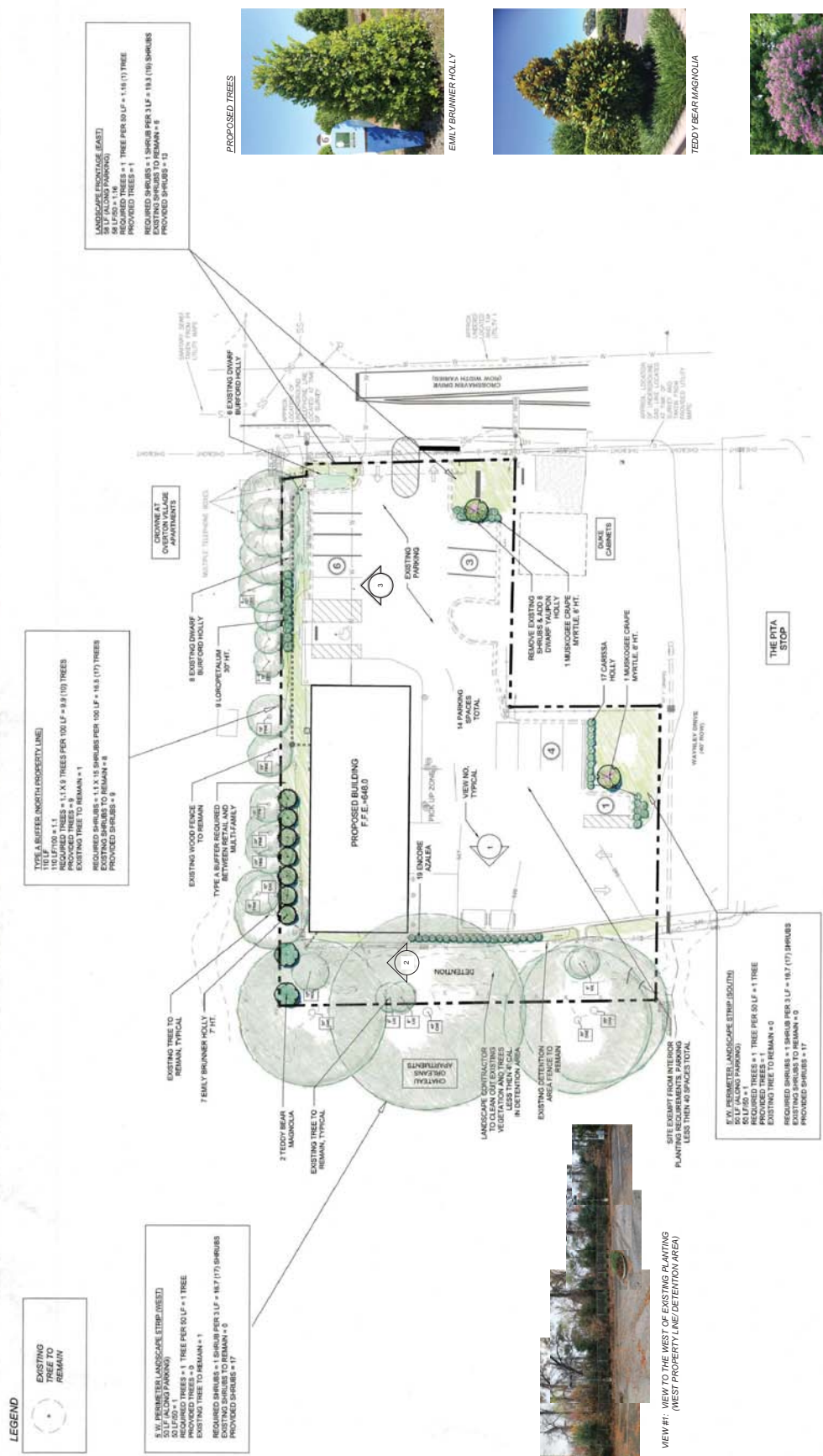
BRUSTERS ADDITION TO CAHABA HEIGHTS

CAPSTONE DEVELOPMENT

OWN BY: M.L. PL.A.
 DES. BY: M.L. PL.A.
 SCALE: 1/8"=1'-0"
 DATE: 12/18/20

GONZALEZ - STRENGTH & ASSOCIATES, INC.
 CIVIL ENGINEERING, LAND SURVEYING, PLANNING, TRAFFIC & TRANSPORTATION
 1800 WOODS CREEK WYNCHUNK DRIVE, SUITE 200
 HOUSTON, ALABAMA 35244
 PHONE: (205) 842-2888
 FAX: (205) 842-2833
 WWW.GONZALEZ-STRENGTH.COM

DATE PLOTTED:	11/08/20
PROJECT:	BRUSTERS
DRAWN BY:	L.L.O.
CHECKED BY:	J.P.G.



TYPE A BUILDING (NORTH PROPERTY LINE)

110 LF ALONG PROPERTY LINE

REQUIRED TREES = 1, X 9 TREES PER 100 LF = 9.9 (10) TREES

PROVIDED TREES = 9

EXISTING TREE TO REMAIN = 1

REQUIRED SHRUBS = 1, X 15 SHRUBS PER 100 LF = 15.5 (17) TREES

EXISTING SHRUBS TO REMAIN = 0

PROVIDED SHRUBS = 8

TYPE B BUILDING (SOUTH PROPERTY LINE)

110 LF ALONG PROPERTY LINE

REQUIRED TREES = 1, X 9 TREES PER 100 LF = 9.9 (10) TREES

PROVIDED TREES = 9

EXISTING TREE TO REMAIN = 1

REQUIRED SHRUBS = 1, X 15 SHRUBS PER 100 LF = 15.5 (17) TREES

EXISTING SHRUBS TO REMAIN = 0

PROVIDED SHRUBS = 8

TYPE C PERIMETER LANDSCAPE (EAST SIDE)

50 LF ALONG PARKING

REQUIRED TREES = 1 TREE PER 50 LF = 1 TREE

PROVIDED TREES = 0

EXISTING TREE TO REMAIN = 1

REQUIRED SHRUBS = 1 SHRUB PER 3 LF = 18.7 (17) SHRUBS

EXISTING SHRUBS TO REMAIN = 0

PROVIDED SHRUBS = 17

LANDSCAPE PROVISIONS (EAST SIDE)

REQUIRED TREES = 1 TREE PER 50 LF = 1.15 (1) TREE

PROVIDED TREES = 0

EXISTING TREE TO REMAIN = 1

REQUIRED SHRUBS = 1 SHRUB PER 3 LF = 19.3 (18) SHRUBS

EXISTING SHRUBS TO REMAIN = 0

PROVIDED SHRUBS = 13

LEGEND

EXISTING TREE TO REMAIN

EXISTING TREE TO REMAIN

7 EMILY BRUNNER HOLLY 7 FT.

EXISTING TREE TO REMAIN, TYPICAL

EXISTING TREE TO REMAIN

2 TEDDY BEAR MAGNOLIA

EXISTING TREE TO REMAIN, TYPICAL

EXISTING TREE TO REMAIN

8 EXISTING DWYAR BURFORD HOLLY 20 FT.

9 LOROPETALUM 20 FT.

EXISTING DWYAR BURFORD HOLLY

EXISTING TREE TO REMAIN

8 EXISTING DWYAR BURFORD HOLLY 20 FT.

9 LOROPETALUM 20 FT.

EXISTING DWYAR BURFORD HOLLY

EXISTING TREE TO REMAIN

15 ENDORGE AZALEA

PICK UP ZONING

EXISTING TREE TO REMAIN

17 GARGRASS HOLLY

1 MUSKOGEE CRAPE MYRTLE 6 FT.

EXISTING TREE TO REMAIN

17 GARGRASS HOLLY

1 MUSKOGEE CRAPE MYRTLE 6 FT.

EXISTING TREE TO REMAIN

17 GARGRASS HOLLY

1 MUSKOGEE CRAPE MYRTLE 6 FT.

EXISTING TREE TO REMAIN

17 GARGRASS HOLLY

1 MUSKOGEE CRAPE MYRTLE 6 FT.

EXISTING TREE TO REMAIN

17 GARGRASS HOLLY

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EXISTING TREE TO REMAIN

17 GARGRASS HOLLY

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17 GARGRASS HOLLY

1 MUSKOGEE CRAPE MYRTLE 6 FT.

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1 MUSKOGEE CRAPE MYRTLE 6 FT.

EXISTING TREE TO REMAIN

17 GARGRASS HOLLY

1 MUSKOGEE CRAPE MYRTLE 6 FT.

EXISTING TREE TO REMAIN

17 GARGRASS HOLLY

1 MUSKOGEE CRAPE MYRTLE 6 FT.



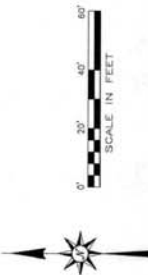
EMILY BRUNNER HOLLY



TEDDY BEAR MAGNOLIA



MUSKOGEE CRAPE MYRTLE



VIEW #1: VIEW TO THE WEST OF EXISTING PLANTING (WEST PROPERTY LINE DETENTION AREA)



VIEW #2: VIEW TO THE NORTH OF EXISTING PLANTING (WEST SIDE OF NORTH PROPERTY LINE)



VIEW #3: VIEW TO THE NORTH OF EXISTING PLANTING (EAST SIDE OF NORTH PROPERTY LINE)



VIEW #4: VIEW TO THE NORTH OF EXISTING PLANTING (EAST SIDE OF NORTH PROPERTY LINE)



VIEW #5: VIEW TO THE NORTH OF EXISTING PLANTING (EAST SIDE OF NORTH PROPERTY LINE)



VIEW #6: VIEW TO THE NORTH OF EXISTING PLANTING (EAST SIDE OF NORTH PROPERTY LINE)



VIEW #7: VIEW TO THE NORTH OF EXISTING PLANTING (EAST SIDE OF NORTH PROPERTY LINE)



VIEW #8: VIEW TO THE NORTH OF EXISTING PLANTING (EAST SIDE OF NORTH PROPERTY LINE)



VIEW #9: VIEW TO THE NORTH OF EXISTING PLANTING (EAST SIDE OF NORTH PROPERTY LINE)



VIEW #10: VIEW TO THE NORTH OF EXISTING PLANTING (EAST SIDE OF NORTH PROPERTY LINE)

	Label File contents and folder
-	Insert Staff Feedback form in folder
-	Deposit application fee
+	Obtain Staff feedback from Engineer
+	Obtain Staff feedback from Fire Marshal
+	Obtain Staff feedback from Building Safety
+	Obtain Staff feedback from City Clerk
+	Schedule case for presentation to Board
+	Place request on agenda
+	Request is presented to Commission
+	Request is Approved
+	Request is not approved

CITY OF VESTAVIA HILLS DESIGN REVIEW BOARD APPLICATION

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: Jermy Matthew Gilmore

Address: 3536 East St

Vestavia Hills, AL 35243

Phone #: 205 383 6390 Other #: _____

E-Mail: mgilmore@shookandfletcher.com

Billing/Responsible Party (This Section Must Be Completed)

Name: SAME ↑

Address: _____

Phone #: _____ Other #: _____

E-Mail: _____

Representing Attorney/Other Agent

Name: Engineering Design Group, LLC

Address: 120 Bishop Circle

Pelham, AL 35124

Phone #: 205 403 9158 Other #: _____

E-Mail: wade@ed.alabama.com

II. DESCRIPTION OF PROPERTY:

LOCATION: 4209 Dolly Ridge Rd
Street Address

Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST:

- | | | |
|----|-------------------------------------|---------------------------|
| 1. | <input checked="" type="checkbox"/> | Preliminary Review |
| 2. | <input checked="" type="checkbox"/> | Landscape Review |
| 3. | <input checked="" type="checkbox"/> | Architectural Review |
| 5. | <input type="checkbox"/> | Final Review of Materials |
| 6. | <input type="checkbox"/> | Other - Explain _____ |

IV. PROCESS:

- 1. New Building
- 2. Renovation of Existing Building
- 3. New Landscape Plan
- 4. Renovation to Existing Landscaping Plan
- 7. Other - Explain _____

V. ZONING

Vestavia Hills Zoning for the subject property is B-3.

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. **This application must be signed by the property owner before a Notary and the original application shall be submitted (no copies allowed).**



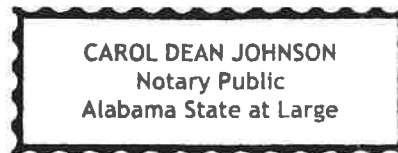
Owner Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this 23 day of December, 2020.



Notary Public



My commission expires 18
day of December, 2023.

Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

- General: Provide three copies and one digital copy (pdf format) of all drawings or plans required below for review. Drawings must be to scale. These drawings should be turned in with the application. Drawings shall be folded to size 8 ½” by 11”.
1. Architectural Review
 - a. Site plan showing roadways, entrances, exits and parking.
 - b. Building elevations showing construction material, material colors, context, and protrusions. Color rendering is preferred. Roof design must be detailed.
 - c. Presentation by architect or owner with knowledge of compatibility with adjacent structures, city context, etc.
 2. Landscape Review
 - a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
 - b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
 - c. Parking lots: Provide calculations of total square footage and square footage designated for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
 - d. Irrigation plan for all landscaped areas.
 - e. Statement of maintenance policy and provisions.

REVISIONS	DATE	DESCRIPTION

DATE:	DECEMBER 22, 2020
DRAWING DWG:	
PROJECT NO.:	CLG
CHECKED BY:	WHL
DRAWN BY:	CLG

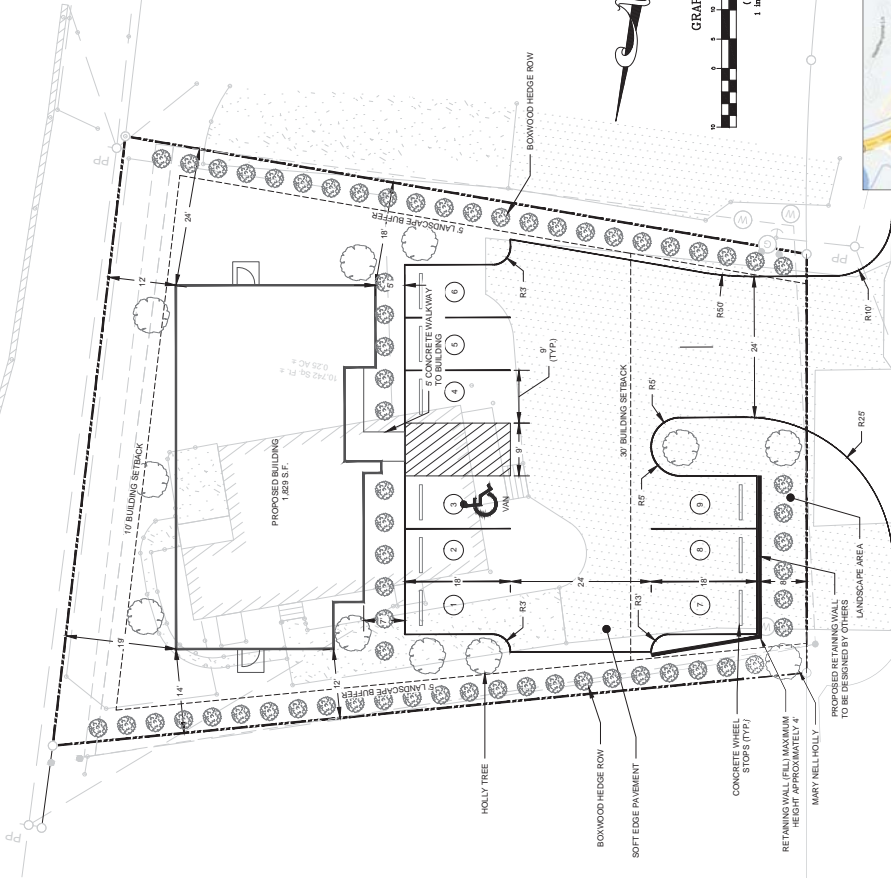
PROJECT: THRIVE PHYSICAL THERAPY
 VESTAVIA HILLS, ALABAMA
 TITLE: CONCEPTUAL SITE PLAN AND LANDSCAPING EXHIBIT

120 BISHOP CIRCLE, SUITE 300
 PELHAM, AL 35124
 TEL - (205) 403-9158
 FAX - (205) 403-9175

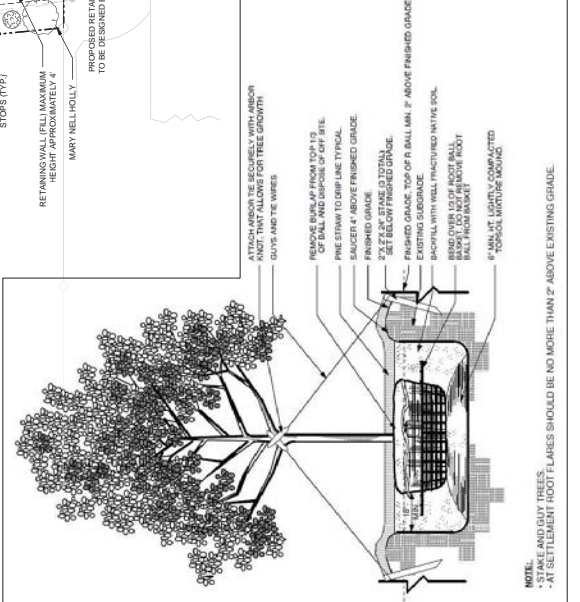
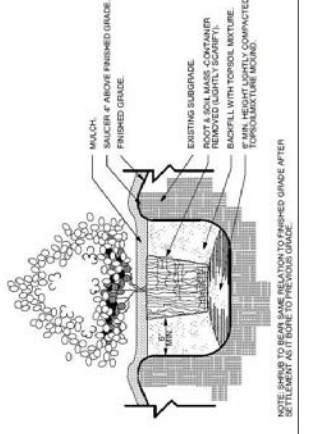
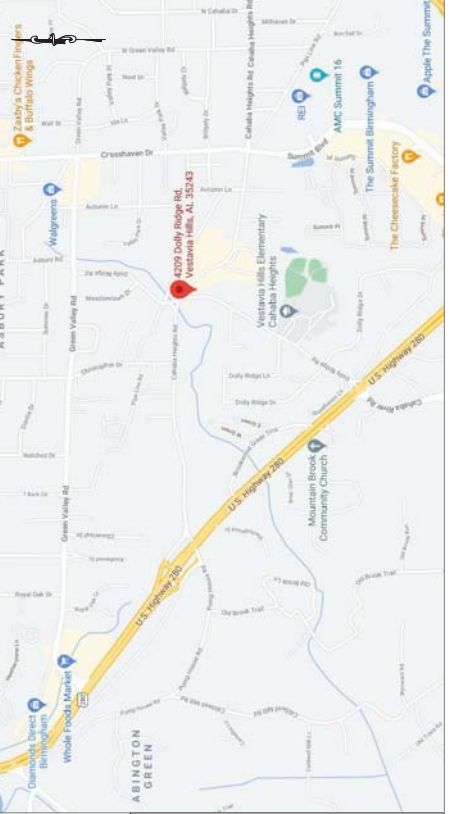
EDG
 ENGINEERING DESIGN GROUP, LLC
 12801 WOODBINE
 BIRMINGHAM, AL 35244
EXB

- PLANTING NOTES:**
1. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE LOCAL AGENCIES AND AGENCIES TO BE DETERMINED PRIOR TO BEGINNING PLANTING. PROVIDE QUANTITIES AS REQUIRED TO MEET DESIGN INTENT.
 2. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE LOCAL AGENCIES AND AGENCIES TO BE DETERMINED PRIOR TO BEGINNING PLANTING. PROVIDE QUANTITIES AS REQUIRED TO MEET DESIGN INTENT.
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 7. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE LOCAL AGENCIES AND AGENCIES TO BE DETERMINED PRIOR TO BEGINNING PLANTING. PROVIDE QUANTITIES AS REQUIRED TO MEET DESIGN INTENT.
 8. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE LOCAL AGENCIES AND AGENCIES TO BE DETERMINED PRIOR TO BEGINNING PLANTING. PROVIDE QUANTITIES AS REQUIRED TO MEET DESIGN INTENT.
 9. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE LOCAL AGENCIES AND AGENCIES TO BE DETERMINED PRIOR TO BEGINNING PLANTING. PROVIDE QUANTITIES AS REQUIRED TO MEET DESIGN INTENT.
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 14. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE LOCAL AGENCIES AND AGENCIES TO BE DETERMINED PRIOR TO BEGINNING PLANTING. PROVIDE QUANTITIES AS REQUIRED TO MEET DESIGN INTENT.
 15. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE LOCAL AGENCIES AND AGENCIES TO BE DETERMINED PRIOR TO BEGINNING PLANTING. PROVIDE QUANTITIES AS REQUIRED TO MEET DESIGN INTENT.

- PLANT LIST**
- MARYNELL HOLLY
 - CLEYERA
 - DWARF WALPON HOLLY
 - BOXWOOD
 - PARSONS JUNIPER

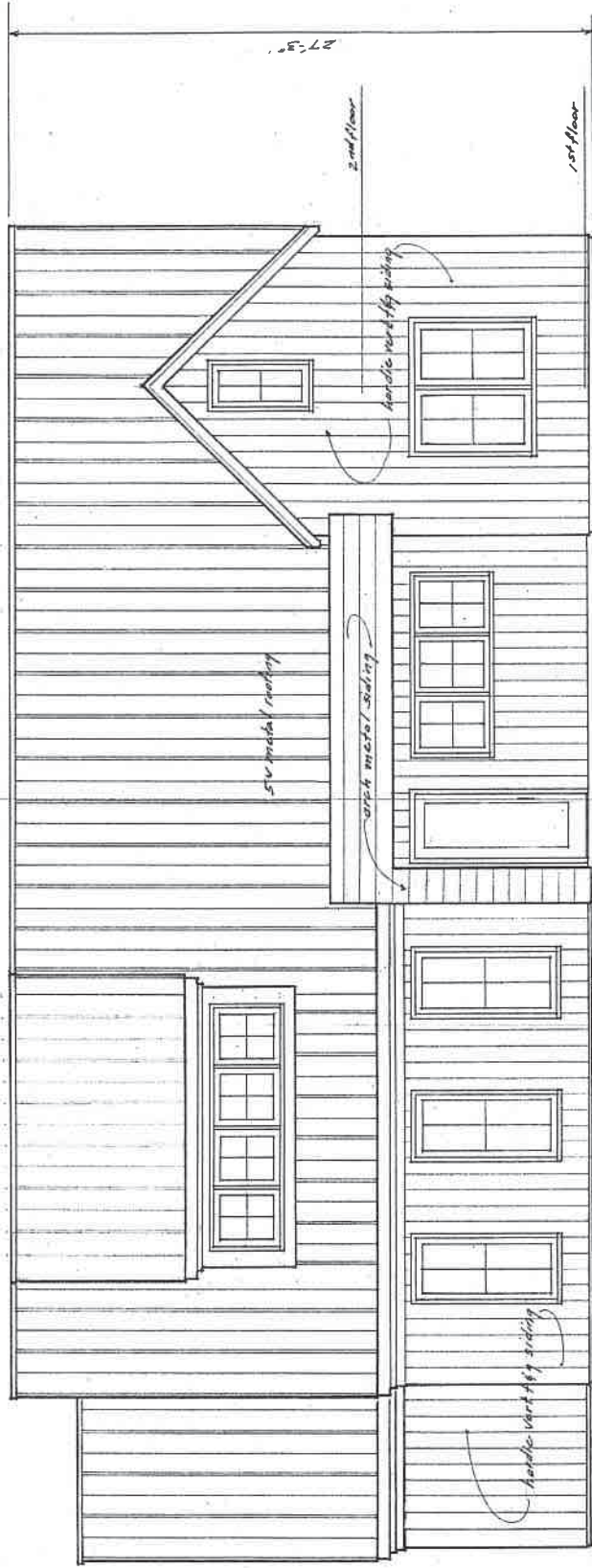


VICINITY MAP



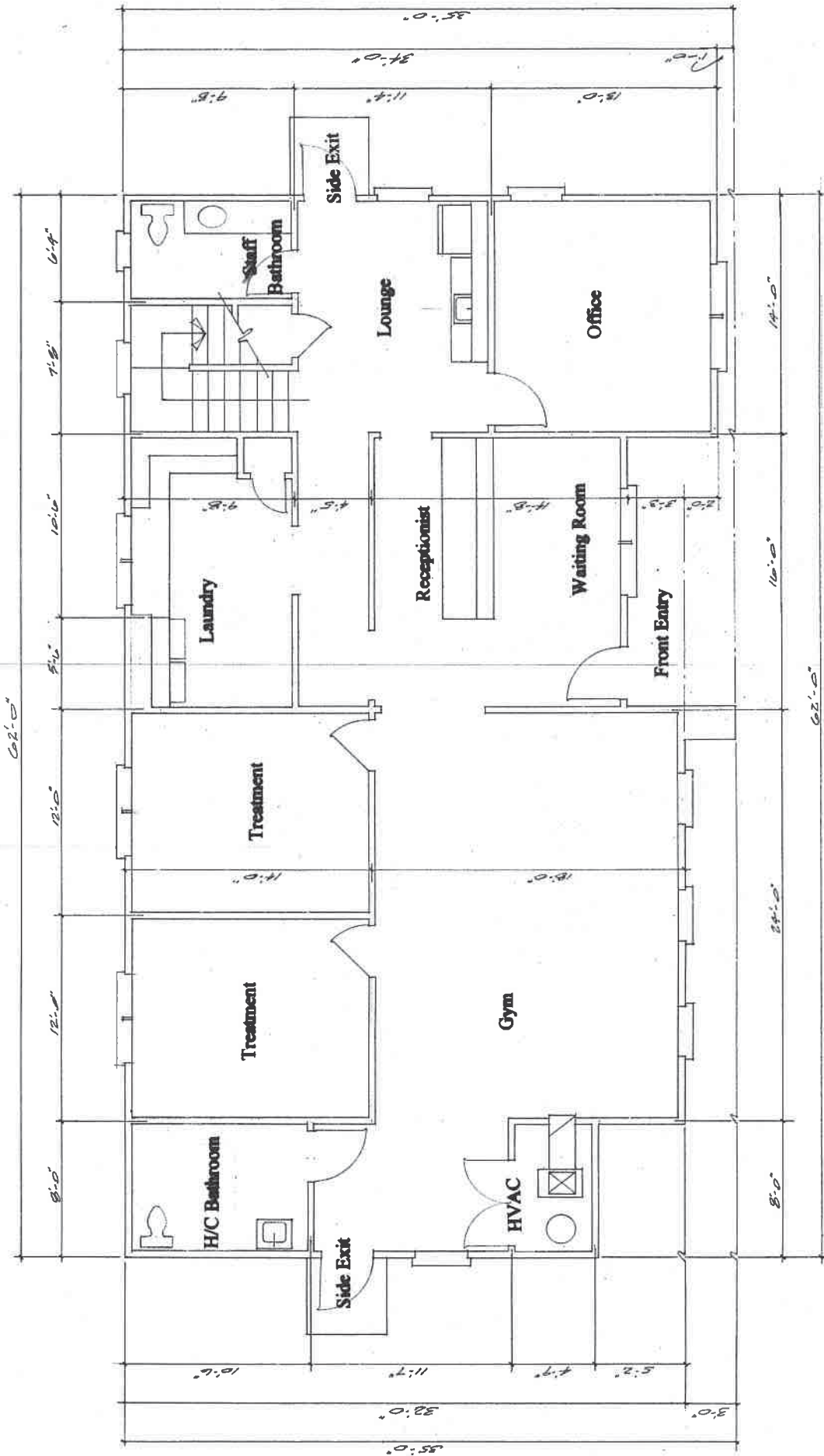
- ATTACH ABOVE THE SECURELY WITH ANCHOR AND THAT ALLOW FOR TREE GROWTH, GUY AND THE WIRES
- REMOVE 6" MIN. FROM TOP 15" OF BALL AND DISPOSE OF OFF SITE. PREPARE TO DRIP LINED TYPICAL SAUCER 4" ABOVE FINISHED GRADE. 2" SET GRADE 0.5" TOTAL 2" SET BELOW FINISHED GRADE.
- FINISHED GRADE TOP OF BALL MIN. 2" ABOVE FINISHED GRADE.
- EXISTING SUBGRADE SHOULD BE WITH FINISHED GRADE WITH THE SOIL SHOULD NOT BE IN CONTACT WITH ROOT BALL FROM BASKET.
- 4" MIN. HT. LIGHTLY COMPACTED TOPSOIL MIXTURE MOUND.

NOTE:
 - STAKE AND GUY TREES.
 - AT SETTLEMENT ROOT FLARES SHOULD BE NO MORE THAN 2" ABOVE EXISTING GRADE.



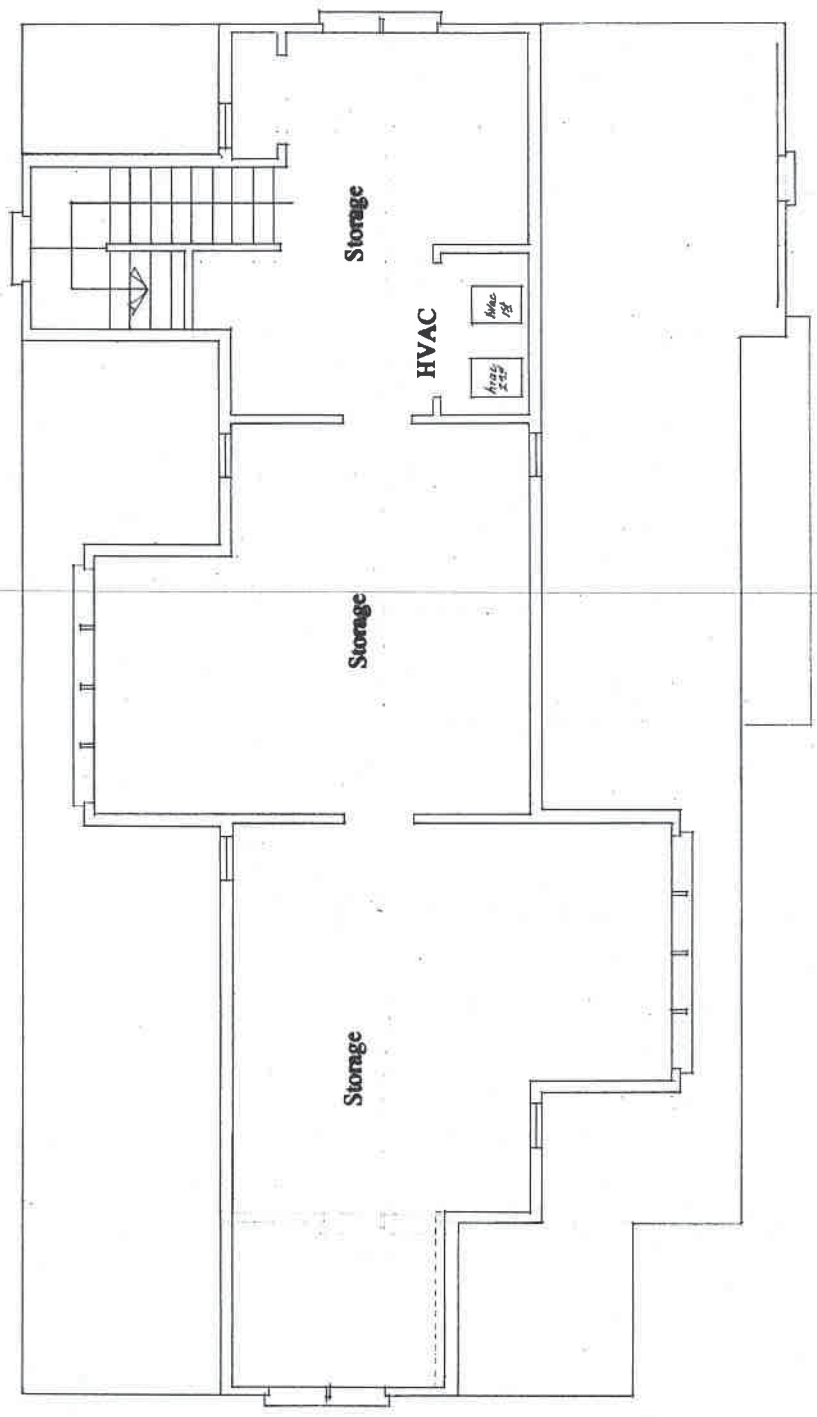
FRONT ELEVATION

THRIVE PHYSICAL THERAPY 4309 DAILY RIDGE ROAD	
SCALE: 1/8" = 1'-0" DATE: 12-15-20	APPROVED BY: ST REVISED:
EXTERIOR ELEVATION	
designed & built by: SCOTT THOMPSON BUILDER, INC.	
DRAWING NUMBER 1 of 3	



FIRST FLOOR

THRIVE PHYSICAL THERAPY 4209 POLLY RIDGE ROAD	
SCALE: 1/8" = 1'-0" DATE: 12-25-20	APPROVED BY: DRAWN BY: ST REVISED
FLOOR PLAN	
DESIGNED & BUILT BY: SCOTT THOMPSON/BUILDER, INC.	
DRAWING NUMBER: 2 OF 3	



SECOND FLOOR

THRNE PHYSICAL THERAPY 1809 DOLLY RIDGE ROAD	
SCALE: 1/4" = 1'-0" DATE: 12-15-20	APPROVED BY: DRAWN BY: ST. REVIEWED:
FLOOR PLAN	
Designed & built by: SCOTT THOMPSON BUILDING, INC.	
DRAWING NUMBER 3 of 3	

CITY OF VESTAVIA HILLS DESIGN REVIEW BOARD APPLICATION

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: Albert L Weber (Michael Weber - Son)

Address: 1442 Montgomery Highway
Vestavia Hills, AL 35216

Phone #: (205) 823-6701 Other #: (205) 229-2267

E-Mail: budweber1@hotmail.com, michael@webermortgage.com

Billing/Responsible Party (This Section Must Be Completed)

Name: Michael Weber / Weber Mortgage

Address: 1442 Montgomery Highway
Vestavia Hills, AL 35216

Phone #: (205) 229-2267 Other #: (205) 823-6701

E-Mail: michael@webermortgage.com

Representing Attorney/Other Agent

Name: _____

Address: _____
N/A

Phone #: _____ Other #: _____

E-Mail: _____

II. DESCRIPTION OF PROPERTY:

LOCATION: 1442 Montgomery Highway
Street Address

Parcel # 29 00 36 4 006 014.000
Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST:

- | | | |
|----|--------------------------|---------------------------|
| 1. | <input type="checkbox"/> | Preliminary Review |
| 2. | <input type="checkbox"/> | Landscape Review |
| 3. | <input type="checkbox"/> | Architectural Review |
| 5. | <input type="checkbox"/> | Final Review of Materials |
| 6. | <input type="checkbox"/> | Other - Explain _____ |

D-0121-03//29003640060104.000

1442 Montgomery Hwy.
Weber Mortgage
Albert Weber

2020 DEC 23 A 7:54

IV. PROCESS:

- | | | |
|----|-------------------------------------|---|
| 1. | <input type="checkbox"/> | New Building |
| 2. | <input checked="" type="checkbox"/> | Renovation of Existing Building |
| 3. | <input type="checkbox"/> | New Landscape Plan |
| 4. | <input type="checkbox"/> | Renovation to Existing Landscaping Plan |
| 7. | <input type="checkbox"/> | Other - Explain _____ |

V. ZONING

Vestavia Hills Zoning for the subject property is Commercial

VI. OWNER AFFIDAVIT:

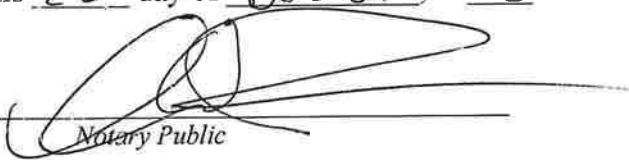
I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. ***This application must be signed by the property owner before a Notary and the original application shall be submitted (no copies allowed).***



Owner Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this 23rd day of December, 2020.



Notary Public

My commission expires 23rd
day of September, 2023.

EXTERIOR RENOVATION

1442 Montgomery Highway
Vestavia Hills, Alabama 35216

CODE COMPLIANCE NOTES:

THIS SCOPE OF THIS PROJECT CONSISTS OF EXTERIOR RENOVATION WORK AT AN EXISTING BUSINESS USE COMMERCIAL BUILDING. THE FUNCTIONS OF THE BUILDING ARE UNCHANGED.

THE EXTERIOR RENOVATION WORK IS BEING UNDERTAKEN DUE TO MAINTENANCE NEEDS AND WATER-INTRUSION PREVENTIVE REASONS. THE WORK WILL ALSO UPDATE THE ORIGINAL LOOK OF THE BUILDING. THE EXTERIOR RENOVATION WORK WILL INCLUDE THE REPAIR AND REPLACEMENT OF THE EXISTING MASONRY AND THE INSTALLATION OF NEW MASONRY STRUCTURES OVER THE FRONT ENTRY CORNER. NEW APPLIED HARD-PANEL SIDING OVER PORTIONS OF THE FRONT AND SIDES. NEW SIMULATED STUCCO EXTERIOR COATING SYSTEM OVER EXISTING CONCRETE WALL AND/OR EXTERIOR WALLS. NEW WINDOW CASINGS AND A NEW FINISH OVER AN EXISTING REAR BALCONY. NEW DECORATIVE STONE INSET ALONG THE FRONT, NEW WINDOWS, AND A NEW FINISH OVER AN EXISTING REAR BALCONY.

NEW SOUNDING IS FINISHED AND IS A SEPARATE SUBMISSION. NEW WINDOWS OR DOORS ARE PLANNED OVER EXISTING WINDOWS AS MINIMUM. REQUIREMENTS FOR THE WORKER ARE NEW WINDOWS OR DOORS TO BE INSTALLED TO MEET ALL APPLICABLE REQUIREMENTS. PLANNING TO PROVIDE EGRESS LOCATIONS AT EXTERIOR EXITS AND EGRESS PATHS, OR FOR LIMITED NEW DECORATIVE FEATURES AT THE FRONT FACADE.

APPLICABLE CODES & REGULATIONS:

CITY OF VESTAVIA HILLS, ALABAMA – ADOPTED CODES:

The following code books are available for review during regular business hours of Monday-Friday, 7 a.m.-4 p.m. at Vestavia Hills City Hall, or through various online services.

- 2015 International Building Code
- 2015 International Plumbing Code
- 2015 International Mechanical Code
- 2015 International Gas Code
- 2015 International Fire Code
- 2015 International Residential Code
- 2015 International Building Code
- 2009 ANSI A117.1 – Accessible and Usable Buildings and Facilities
- 2014 National Electrical Code

ALL WORK MUST COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA)

THIS PROPERTY IS ZONED "B-3 CONDITIONAL BUSINESS DISTRICT", AND IS A CONTINUATION OF AN EXISTING SUITABLE FUNCTION (BUSINESS), PER THE CITY ZONING ORDINANCE.

OCCUPANCY CLASSIFICATION:

OCCUPANCY: GROUP "B" BUSINESS

CONSTRUCTION CLASSIFICATION:

CONSTRUCTION TYPE: TYPE VB) – NON-SPRINKLERED
ALLOWABLE AREA / # OF STORIES / MAX HEIGHT: 9,000 sq ft per Story / 2 Story (Max 40 FT HT)
ACTUAL AREA / # OF STORIES (TOTAL BUILDING): 2,496 sq ft Footprint / 2 Story (33'1"-0" @ Max.)

THE CONSTRUCTION OF THE BUILDING CONSISTS OF CONCRETE BEARING WALLS, STEEL FLOOR JOISTS WITH CONCRETE SLAB ON TOP, AND MASONRY VENEER. THE EXISTING REAR BALCONY AND STAIR ARE WOOD FRAME WITH A CONCRETE TOPPING AT THE BALCONY LEVEL.

FIRE RESISTANCE FEATURES

THE NEW MANSARD ROOF FRAMING WILL BE WOOD FRAMED (NON-RATED, AS IS ALLOWED FOR ROOF CONSTRUCTION & SECONDARY MEMBERS FOR THIS TYPE OF CONSTRUCTION).

MEANS OF EGRESS:

THE MEANS OF EGRESS FROM THE BUILDING ARE UNCHANGED.

PARKING REQUIREMENTS:

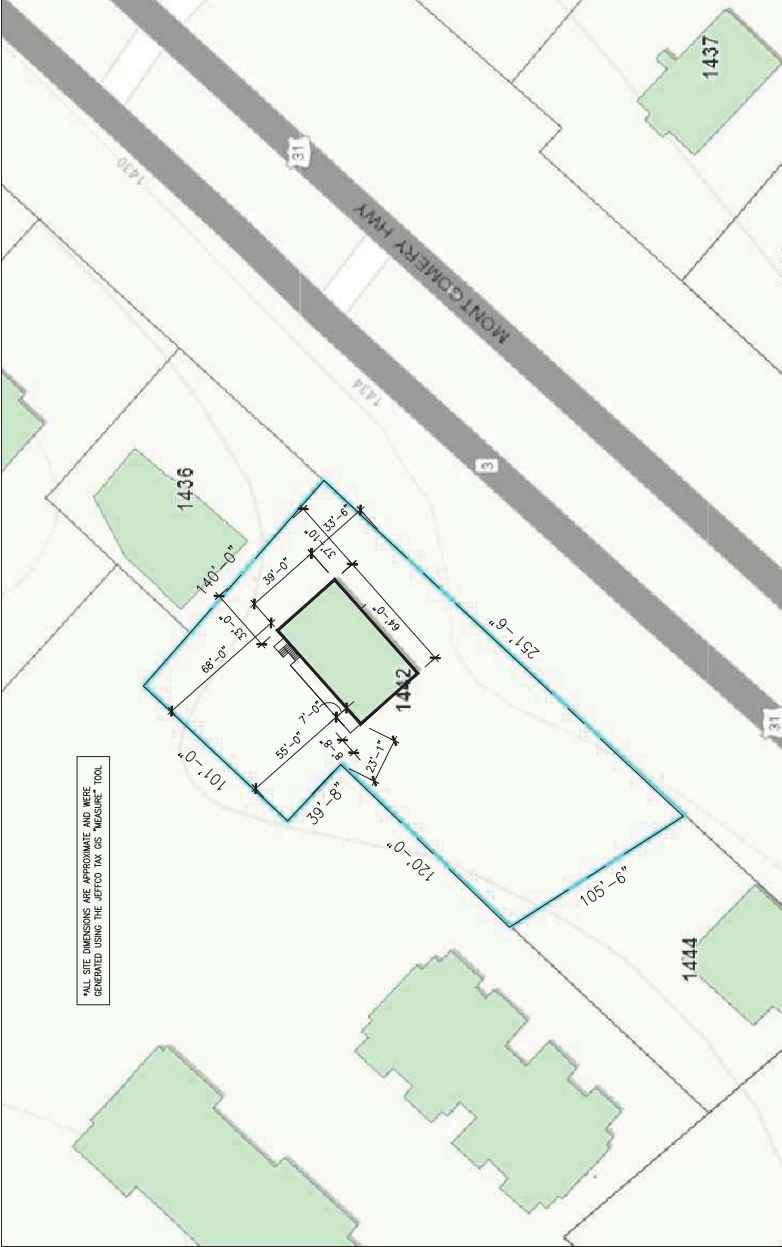
THE FUNCTION AND OCCUPANCY OF THE BUILDING IS UNCHANGED. THE SQUARE FOOTAGE AND OCCUPANT LOAD ARE UNCHANGED. THEREFORE, THE EXISTING PARKING IS UNCHANGED AND IS ASSUMED SUITABLE FOR THE CONTINUED USE OF THE BUILDING.

GENERAL PROJECT NOTES:

1. DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE ARCHITECTURAL DESIGN CONCEPT AND ARE BASED ON A LIMITED AMOUNT OF FIELD VERIFICATIONS AND SITE / EXISTING CONDITION DOCUMENTATION PROVIDED TO THE ARCHITECT BY THE OWNER OR OWNER'S CONSULTANTS. CONTRACTOR(S) SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR(S) SHALL THOROUGHLY ACCQUANT THEMSELVES WITH EXISTING WORKING CONDITIONS WITH REGARDS TO ACHIEVING THE FINAL PRODUCT WITH THE WORK.
2. ALL DRAWINGS, SPECIFICATIONS, MANUFACTURER DATA AND VENDOR DRAWINGS ARE COMPREHENSIVE AND COMPLEMENTARY AND TOGETHER FORM THE BASIS OF THE "CONTRACT DOCUMENTS". ANY AND ALL BIDDERS SHALL FAMILIARIZE THEMSELVES WITH THE ENTIRE SET OF CONTRACT DOCUMENTS TO PROPERLY ASCERTAIN THE SCOPE OF THEIR WORK. OMISSIONS AND/OR BID ERRORS DUE TO ONLY REVIEWING PORTIONS OF THE COMPLETE SET OF CONTRACT DOCUMENTS IS NOT ACCEPTABLE.
3. ANY DISCREPANCIES THAT ARE IN CONFLICT WITH THE DESIGN INTENT SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ARCHITECT FOR CLARIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH THE WORK.
4. DO NOT SCALE DRAWINGS. ALL DIMENSIONS SHALL BE READ OR CALCULATED. IF DIMENSIONS ARE IN QUESTION, VERIFY WITH THE ARCHITECT BEFORE ORDERING MATERIALS OR CONTINUING THE WORK.
5. WHERE SPECIFIC MANUFACTURERS/PRODUCTS ARE INDICATED ON THE DRAWINGS, REFER TO THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDED PRACTICES FOR DETAILED DESCRIPTION OF THE (ITEMS) AND METHODS OF INSTALLATION.
6. MINIMUM CLEARANCE DIMENSIONS INDICATED SHALL BE STRICTLY MAINTAINED.
7. ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE, FEDERAL, REGULATIONS, ORDINANCES, AND REQUIREMENTS OF THE REGULATORY AGENCY HAVING JURISDICTIONAL AUTHORITY. WHEN MORE THAN ONE AGENCY HAS JURISDICTION OVER THE PROJECT, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES.
8. FINISH AND INSTALL WOOD BELONGING TO ALL LOCATIONS WHERE REQUIRED FOR THE INSTALLATION OF APPLIED BUILDING FINISHES AND ACCESSORIES. ALL WOOD BELOGING IN RATED AND/OR EXTERIOR WALLS SHALL BE FIRE RETARDANT TREATED, UNLESS OTHERWISE NOTED.
9. ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE SEPARATED VIA METAL FLASHING, BITUMINOUS MEMBRANE FLASHING, OR SHALL BE TREATED LUMBER RATED FOR DIRECT CONTACT WITH MASONRY OR CONCRETE. WOOD SHALL NOT BE IN DIRECT CONTACT WITH SOILS. ALL EXTERIOR EXPOSED WOOD SHALL BE PRESSURE TREATED LUMBER UNLESS OTHERWISE NOTED.
10. ALL DOORS REQUIRED BY CODE TO BE SELF-CLOSING SHALL BE PROVIDED WITH A SUITABLE AUTOMATIC CLOSING DEVICE.
11. MAXIMUM EFFORT SHALL BE 5 POUNDS TO OPERATE INTERIOR DOORS, 8-1/2 POUNDS FOR EXTERIOR DOORS. DOOR HARDWARE SHALL BE ADA COMPLIANT LEVER TYPE.
12. CONTRACTOR(S) SHALL COORDINATE ALL ANCHORAGE REQUIREMENTS WITH THE APPROPRIATE TRADES. ALL FASTENERS ARE TO BE CONCEALED EXCEPT AS SPECIFICALLY SHOWN.
13. FILL ANY GAPS AND VOIDS IN FINISH TRANSITIONS, ETC.
14. NOTE: THE BUILDING'S ADDRESS MUST BE POSTED PER IFC SECTION 505 "PREMISES IDENTIFICATION". E.G. TO COORDINATE WITH OWNER'S SIGN VENDOR.

DRAWING INDEX:

- A1 CODE SUMMARY, NOTES, INDEX AND SITE PLAN
- A2 BUILDING PLANS
- A3 BUILDING ELEVATIONS
- A4 MISCELLANEOUS DETAILS



SITE PLAN: 1"=30' Note: This site plan was prepared from general information available from Jefferson County Tax Map GIS (and is subject to verification)



NO.	REVISION	DATE

Project No. — 1904
Issue Date — 12.27.2020
Issued For — Review & Construction

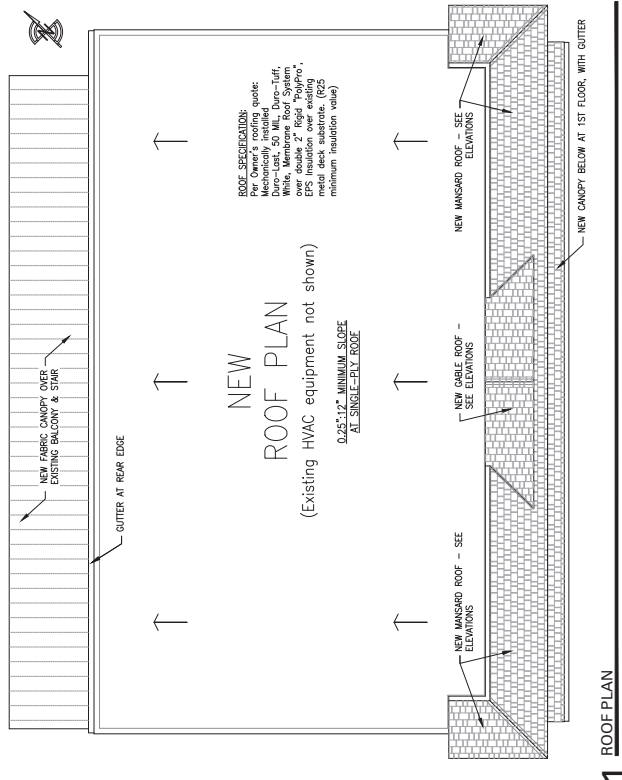
CODE SUMMARY,
NOTES, INDEX AND
SITE PLAN
A1



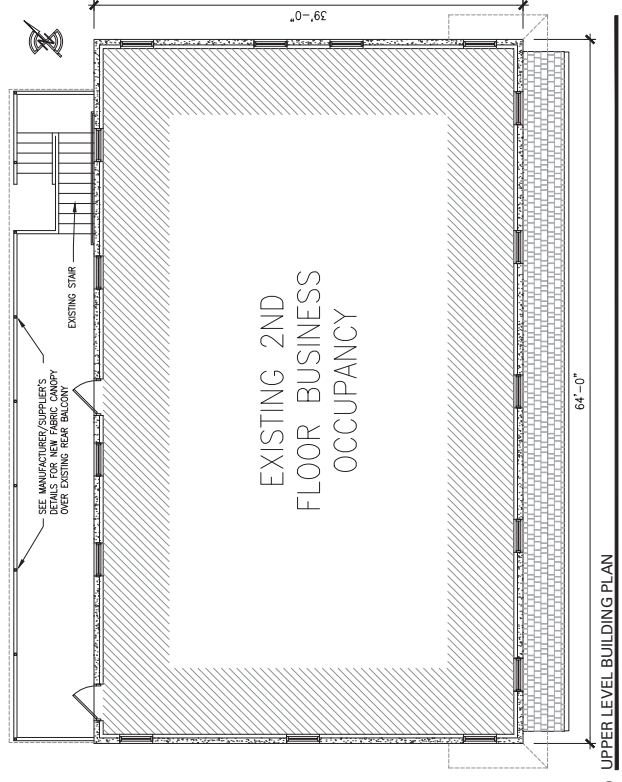
DATE	DESCRIPTION

Project No. 19044
Issue Date 12/27/2020
Author
Reviewer 6 Construction

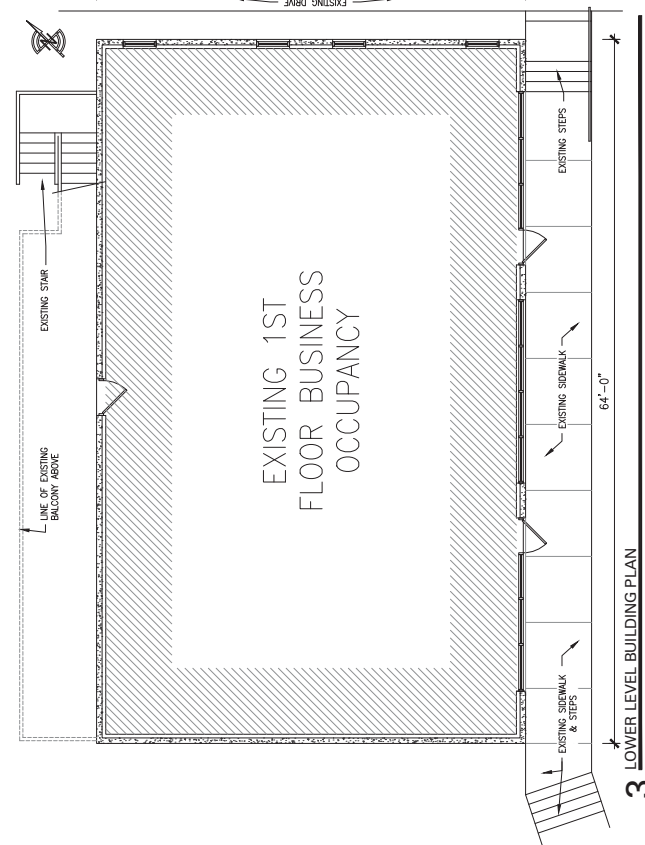
BUILDING PLANS
A2



1 ROOF PLAN
SCALE: 3/16" = 1'-0"



2 UPPER LEVEL BUILDING PLAN
SCALE: 3/16" = 1'-0"



3 LOWER LEVEL BUILDING PLAN
SCALE: 3/16" = 1'-0"

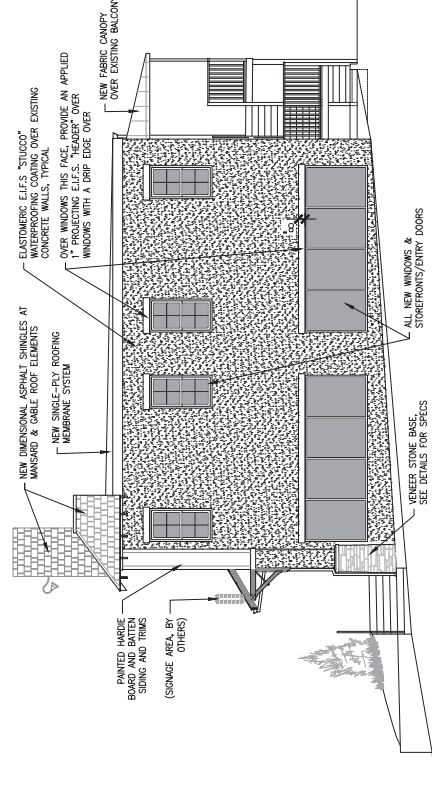


NO.	REVISION	DATE

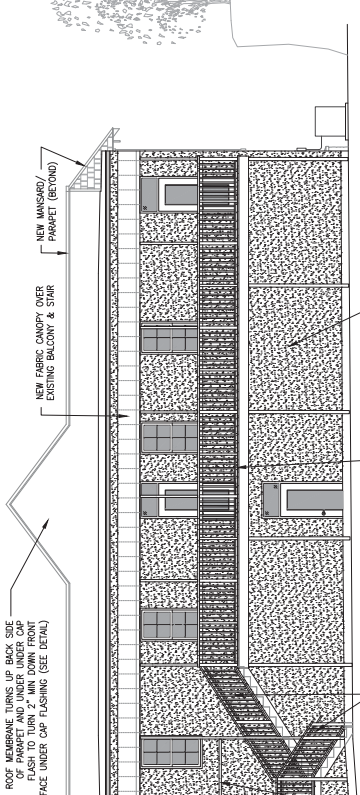
Project No. — 1904
Issue Date — 12.27.2020
Revision 6 Construction

BUILDING ELEVATIONS

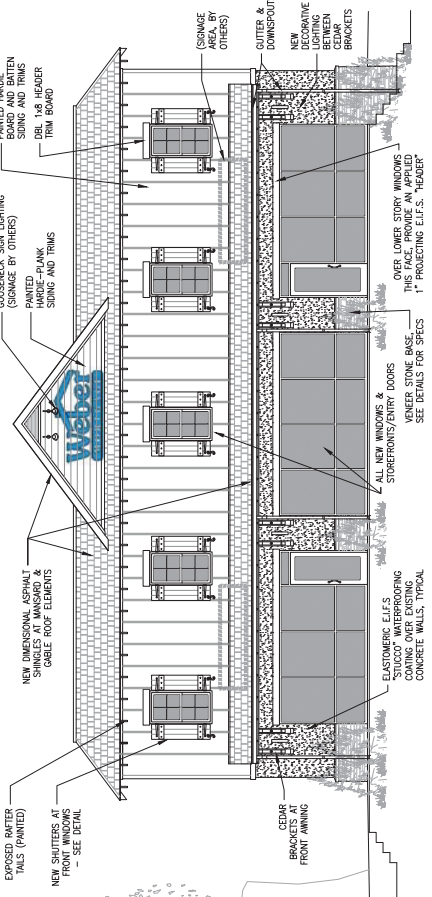
A3



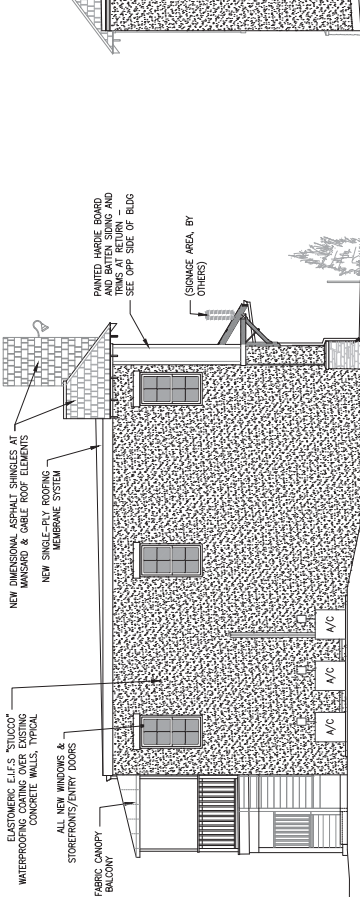
2 NORTHEAST SIDE ELEVATION (NEW/RENOVATED)
SCALE: 3/16" = 1'-0"



4 NORTHWEST REAR BUILDING ELEVATION (NEW/RENOVATED)
SCALE: 3/16" = 1'-0"



1 HIGHWAY 31 / SOUTHEAST BUILDING ELEVATION (NEW/RENOVATED)
SCALE: 3/16" = 1'-0"



3 SOUTHWEST SIDE ELEVATION (NEW/RENOVATED)
SCALE: 3/16" = 1'-0"

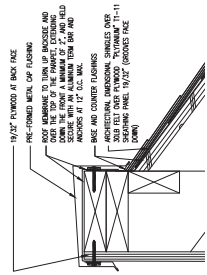
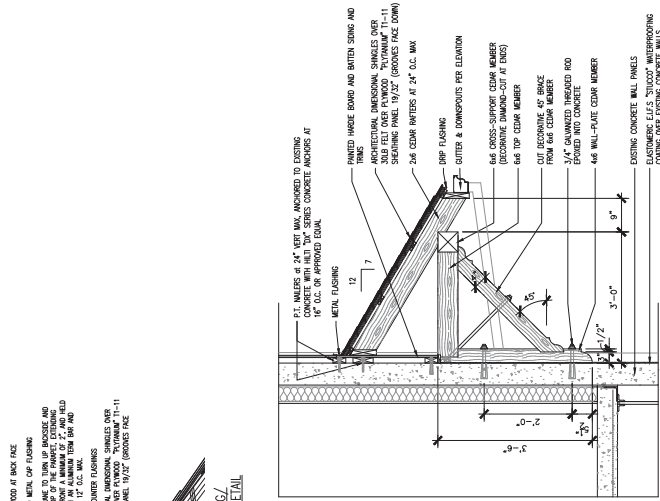
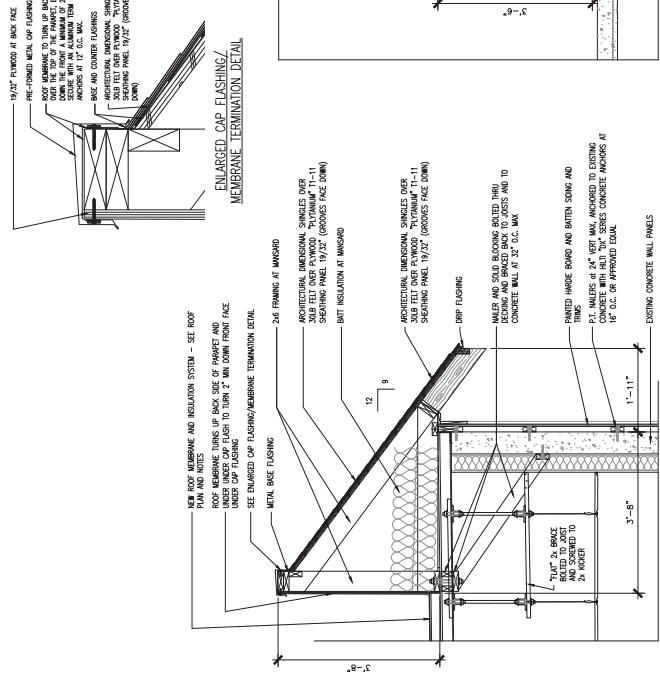
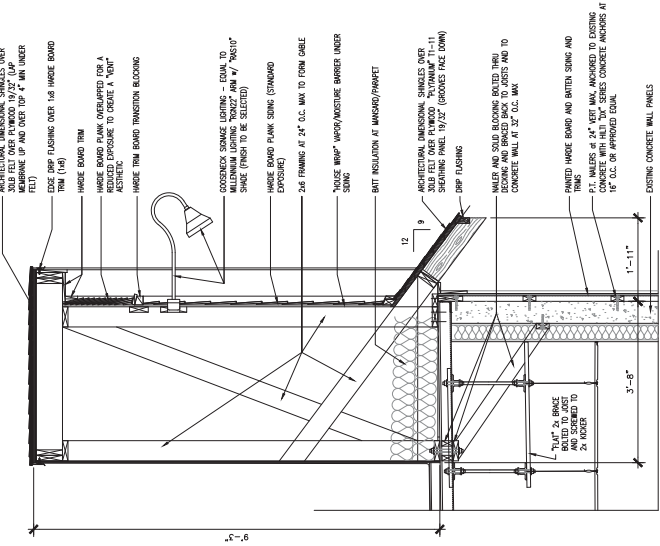
- NOTES:**
- EXISTING BALCONY TO RECEIVE NEW TRAVELABLE TRAFFIC COATING SLOPED AWAY FROM BUILDING FACE. Substrate: 710/715 Traffic System comprised of the following, or approved equal products for a complete system:
A. Surface prep water-based epoxy primer or other primer recommended by manufacturer.
B. Substrate 715 Top one-component anionic polyurethane top coat.
C. Substrate 715 Top one-component anionic polyurethane top coat.
D. Substrate 709 ACL accelerator (optional).
E. Substrate 739 AL 736 AL U-ACC and 748 PH optional aliphatic top coats.
All coatings, or approved equal.
 - ALL EXISTING CONCRETE BUILDING WALLS TO RECEIVE AN ELASTOMERIC EIFS STUCCO WATERPROOFING COATING. Equal to the following, or approved equal:
A. <https://www.stucco.com/efi-silicone-elastomeric-coating-mid-lint-box-04114049z.html>
B. Sto's Stoppewall Extracoat system: <https://www.sto.com/efi-silicone-elastomeric-coating-mid-lint-box-04114049z.html>
C. BECO-JUST Systems upon Owner's selection and approval. (Architect does not represent that such systems have been reviewed or approved, but are acceptable based on the Owner's preference and budget).
 - NEW WINDOW PRODUCTS AND WINDOW FLASHINGS ARE BY OWNER'S SPECIFICATION - REFER TO OWNER'S VENDOR QUOTE.
 - NEW ROOF MEMBRANE IS PER OWNER'S SPECIFICATION AND AS NOTED ON THE ROOF PLAN - REFER TO OWNER'S VENDOR QUOTE.
 - ROOF SHINGLES: CERTAINTED LANDMARK ARCHITECTURAL SHINGLES - "DRIFTWOOD"
 - PAINT COLORS ARE:
TRIM - SHERWIN WILLIAMS SW 7047 "PORPOISE"
TRIM - SHERWIN WILLIAMS SW 7045 "INTELLECTUAL GREY"
 - CEGAR SHUTTERS AND CEDAR BRACKETS AT FRONT AWNING TO RECEIVE TRANSPARENT SEALER.
 - PROVIDE POWER TO L-BLOCK AT ALL SCISSOR AREAS INDICATED, COORDINATE WITH OWNER'S SIGN VENDOR FOR ANY ADDITIONAL BLOCKING/BRACING NEEDED FOR VENDOR'S SIGN INSTALLATION AND FOR CONNECTION TO ELECTRICAL.
 - LANSCAPING IS SHOWING PER DESIGN CONCEPT ONLY. THE SITE MUST RECEIVE ADDITIONAL LANDSCAPING THAT HAS NOT YET BEEN CONFIRMED OR APPROVED, AND THEREFORE LANDSCAPING SHALL BE REDEFINED VIA SEPARATE EXISTING/LOOK-OUT REVIEW AND APPROVAL.



DATE	DESCRIPTION	BY

Project No. — 19044
Issue Date — 12.22.2020
Author — JLP
Reviewer — JLP
Reviewed Construction —

MISCELLANEOUS
DETAILS
A4





1 HIGHWAY 31 / SOUTHEAST BUILDING ELEVATION (NEW/RENOVATED)

SCALE: 3/16" = 1'-0"

**1442 Montgomery Highway
Vestavia Hills, Alabama 35216**



2 NORTHEAST SIDE ELEVATION (NEW/RENOVATED)

SCALE: 3/16" = 1'-0"

1442 Montgomery Highway
Vestavia Hills, Alabama 35216



Driftwood

Quick Stack® Color Options

Additional colors may be available for this profile, please [contact us](#) for more information.

[Profile Project Gallery](#)

[Specification Sheet](#)

[Installation Guides](#)



Quick Stack® - Carmel Mountain



Quick Stack® - Antique Cream



Quick Stack® - Aspen



Quick Stack® - Cape Cod Grey



Quick Stack® - Cathedral Grey



Quick Stack® - Coastal Brown



SW 7045

Intellectual Gray

Interior / Exterior

Location Number: 245-C3

245

Intellectual Gray

COORDINATING COLORS

SW 7043

Worldly Gray

SW 7702

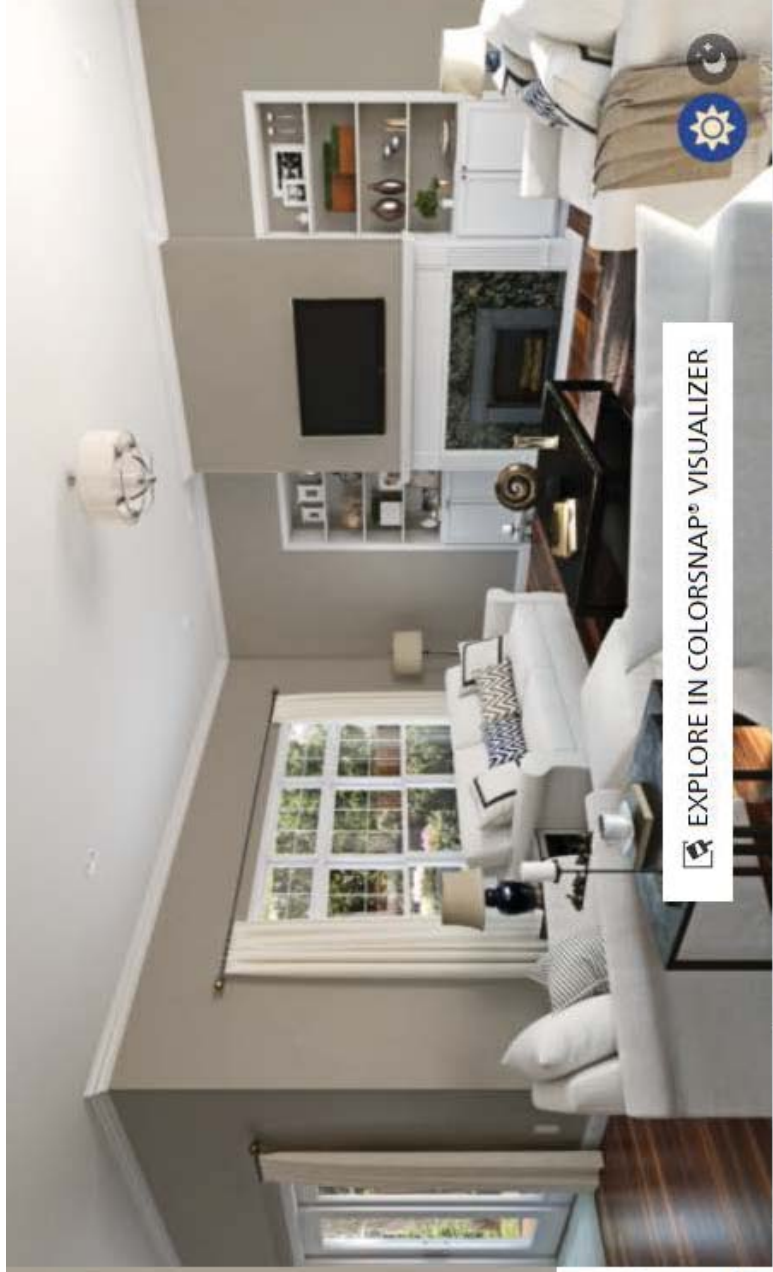
Spiced Cider

SW 7042

Shoji White

SIMILAR COLORS

DETAILS



EXPLORE IN COLORS.NAP® VISUALIZER





SW 7047

Porpoise

Interior / Exterior

Location Number: 245-C6

245

Porpoise

COORDINATING COLORS

SW 7014

Eider White

SW 9030

Limón Fresco

SW 7042

Shoji White

SIMILAR COLORS

DETAILS



EXPLORE IN COLORS.NAP® VISUALIZER

