

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
AGENDA
APRIL 1, 2021
6:00 P.M.**

Roll Call.

Approval of minutes – March 4, 2021

- (1) D-0320-08** Stone Creek Dental is requesting **Final Review of Materials** for the property located at **1990 Southwood Rd.** The purpose of this request is for a new building. The property is owned by Stone Creek Dental and is zoned Vestavia Hills O-1.
- (2) D-0421-06** Southminister Presbyterian Church is requesting **Landscape Review** for the property located at **1124 Montgomery Hwy.** The purpose of this request is for a new landscape plan. The property is owned by Southminister Presbyterian Church and is zoned Inst-1.
- (2) D-0421-07** Alabama Power is requesting **Landscape Review** for the property located at **3102 Massey Rd.** The purpose of this request is for a new landscape plan. The property is owned by Alabama Power and is zoned Vestavia Hills R-2.

Time of Adjournment.

CITY OF VESTAVIA HILLS

DESIGN REVIEW BOARD

MINUTES

MARCH 4, 2021

The Vestavia Hills Landscape and Architectural Control Board met in a regular session on this date at 6:00 PM. The roll was called with the following:

MEMBERS PRESENT: Robert Thompson, Chairman
Mae Coshatt
David Giddens
Joe Ellis
Chris Pugh
Jeff Slaton

MEMBERS ABSENT: Rip Weaver

OTHER OFFICIALS PRESENT: Conrad Garrison, City Planner

APPROVAL OF MINUTES

The minutes for February 4, 2021 were presented for approval.

MOTION Motion to dispense with the reading of the minutes for February 4, 2021 was made by Mrs. Coshatt and 2nd was by Mr. Pugh. Motion as carried on a voice vote as follows:

Mrs. Coshatt – yes	Mr. Giddens– yes
Mr. Pugh – yes	Mr. Ellis– yes
Mr. Slaton– yes	Mr. Thompson – yes
Motion carries.	

Lighting Review

D-0321-05 Triantos Properties, LLC is requesting **Lighting Review** for the property located at **1481 Montgomery Hwy.** The purpose of this request is for new lighting. The property is owned by Triantos Properties, LLC and is zoned Vestavia Hills B-2.

Mr. Garrison described the background of the request and stated bulbs are being replaced in a commercial parking lot.

The Board agreed.

MOTION Motion to approve Lighting Review, for the property located at 1481 Montgomery Hwy. was made by Mrs. Coshatt. Second was made by Mr. Pugh. Voice vote as follows:

Mrs. Coshatt – yes

Mr. Pugh – yes

Mr. Slaton– yes

Motion carries.

Mr. Giddens– yes

Mr. Ellis– yes

Mr. Thompson – yes

Conrad Garrison
City Planner

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
APPLICATION**

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: Stonecreek Dental Care
Address: 1841 Montclair Lane
Vestavia Hills, AL 35216
Phone #: 205-823-1473 Other #: _____
E-Mail: info@stonecreekdentalcare.com

Billing/Responsible Party (This Section Must Be Completed)

Name: Stonecreek Dental Care
Address: 1841 Montclair Lane
Vestavia Hills, AL 35216
Phone #: 205-823-1473 Other #: _____
E-Mail: jayjohnson@stonecreekdentalcare.com ronaldbeasley38@gmail.c

Representing Attorney/Other Agent

Name: _____
Address: _____

Phone #: _____ Other #: _____
E-Mail: _____

II. DESCRIPTION OF PROPERTY:

LOCATION: 1990 Southwood Road, Vestavia Hills, AL 35216
Street Address

Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST:

- | | | |
|----|-------------------------------------|---------------------------|
| 1. | <input type="checkbox"/> | Preliminary Review |
| 2. | <input checked="" type="checkbox"/> | Landscape Review |
| 3. | <input checked="" type="checkbox"/> | Architectural Review |
| 5. | <input checked="" type="checkbox"/> | Final Review of Materials |
| 6. | <input type="checkbox"/> | Other - Explain _____ |
-

IV. PROCESS:

- | | | |
|----|-------------------------------------|---|
| 1. | <input checked="" type="checkbox"/> | New Building |
| 2. | <input type="checkbox"/> | Renovation of Existing Building |
| 3. | <input type="checkbox"/> | New Landscape Plan |
| 4. | <input type="checkbox"/> | Renovation to Existing Landscaping Plan |
| 7. | <input type="checkbox"/> | Other - Explain _____ |

V. ZONING

Vestavia Hills Zoning for the subject property is B-1.2 Neighborhood Mixed

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. ***This application must be signed by the property owner before a Notary and the original application shall be submitted (no copies allowed).***

Owner Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this _____ day of _____, 20____.

Notary Public

My commission expires _____
day of _____, 20____.



FOR
PERMIT
3/16/2020

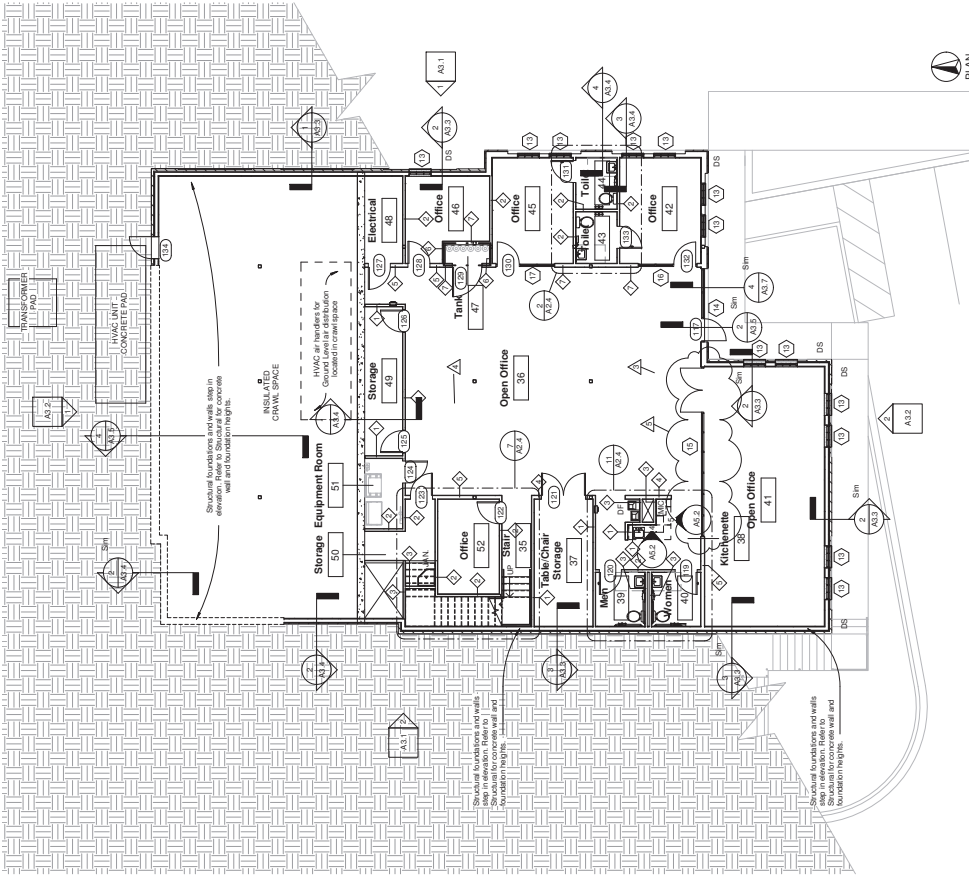
NO.	DESCRIPTION	DATE
1	REVISION 3	10/20/2020
2	REVISION 2	03/16/2020
3	REVISION 1	02/05/2021
4	CONSTRUCTION PERM # 171820021	
5	CONSTRUCTION PERM # 171820021	

A NEW BUILDING FOR
STONECREEK DENTAL
Vestavia Hills, Alabama

BLACK DESIGN ARCHITECTURE
11711 1ST AVENUE NORTH
BIRMINGHAM, AL 35203
TEL: 205.988.8822
EMAIL: L@BLACKDESIGNARCH.COM

NO.	DESCRIPTION	DATE
1	REVISION 3	10/20/2020
2	REVISION 2	03/16/2020
3	REVISION 1	02/05/2021
4	CONSTRUCTION PERM # 171820021	
5	CONSTRUCTION PERM # 171820021	

SHEET NUMBER
A2.1

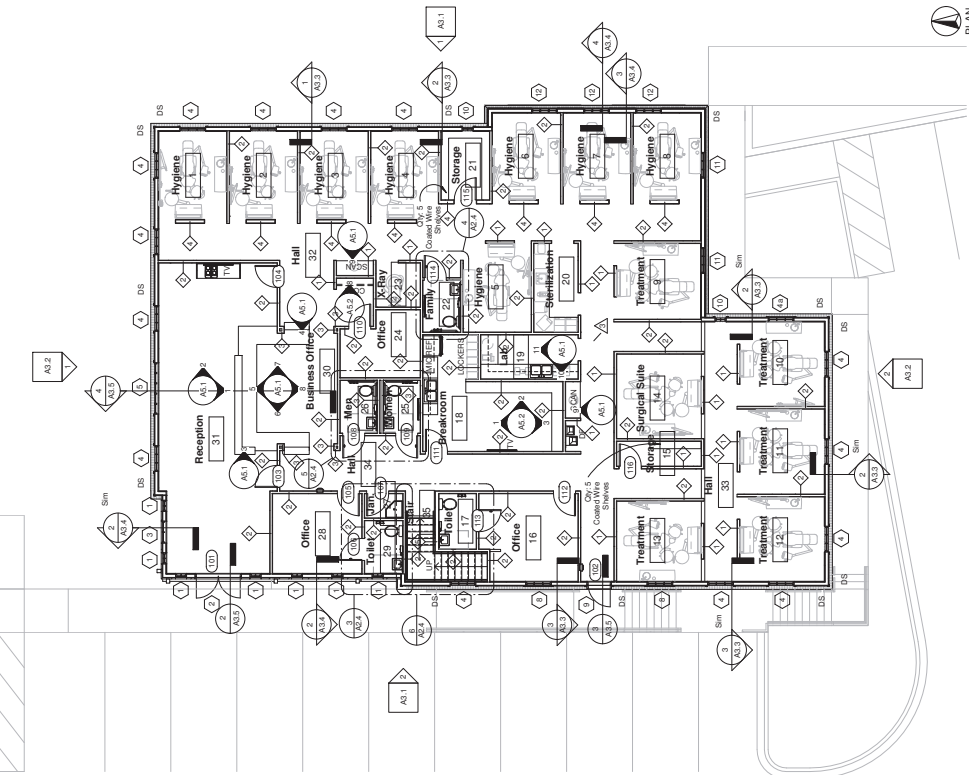


PLAN

2. New Plan - Ground Floor
A2.1 1/8" = 1'-0"



INTERIOR ELEVATION TAGS HAVE BEEN ADDED TO THIS SHEET AS PART OF REVISION #3



PLAN

1. New Plan - 1st Floor
A2.1 1/8" = 1'-0"



FOR
PERMIT
3/16/2020

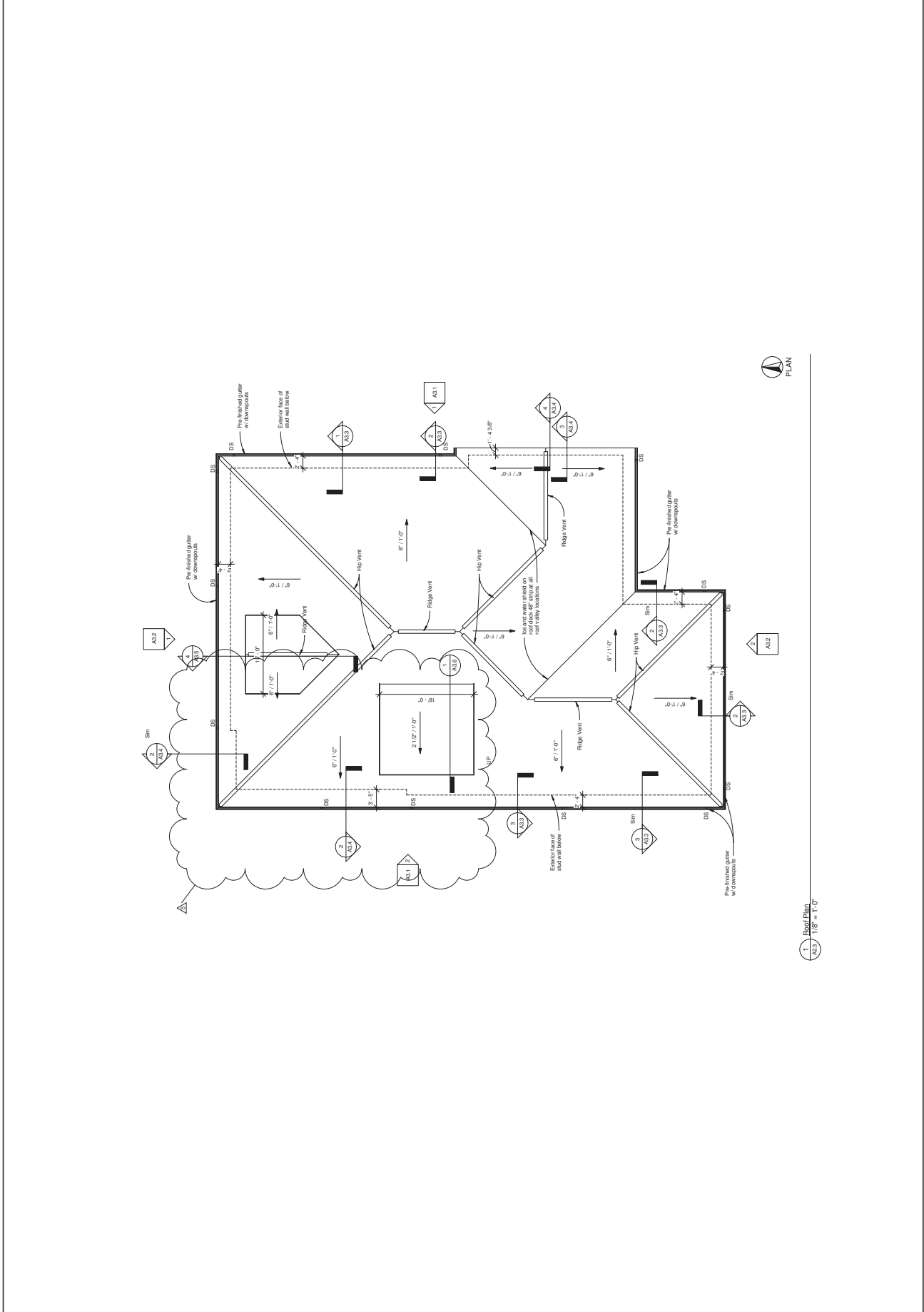
No.	Description	Date
5	Construction Plan #5	2/18/2021

A NEW BUILDING FOR
STONECREEK DENTAL
Vestavia Hills, Alabama

BLACK DESIGN
ARCHITECTURE
1211 1ST AVENUE NORTH
BIRMINGHAM, AL 35203
205.988.8888
www.blackdesignarch.com

ROOT PLAN	
DATE	19.997
PROJECT	3/16/2020
DESIGNED BY	LEB

SHEET NUMBER
A2.3



PLAN

1. Root Plan
1/8" = 1'-0"



FOR
PERMIT
3/16/2020

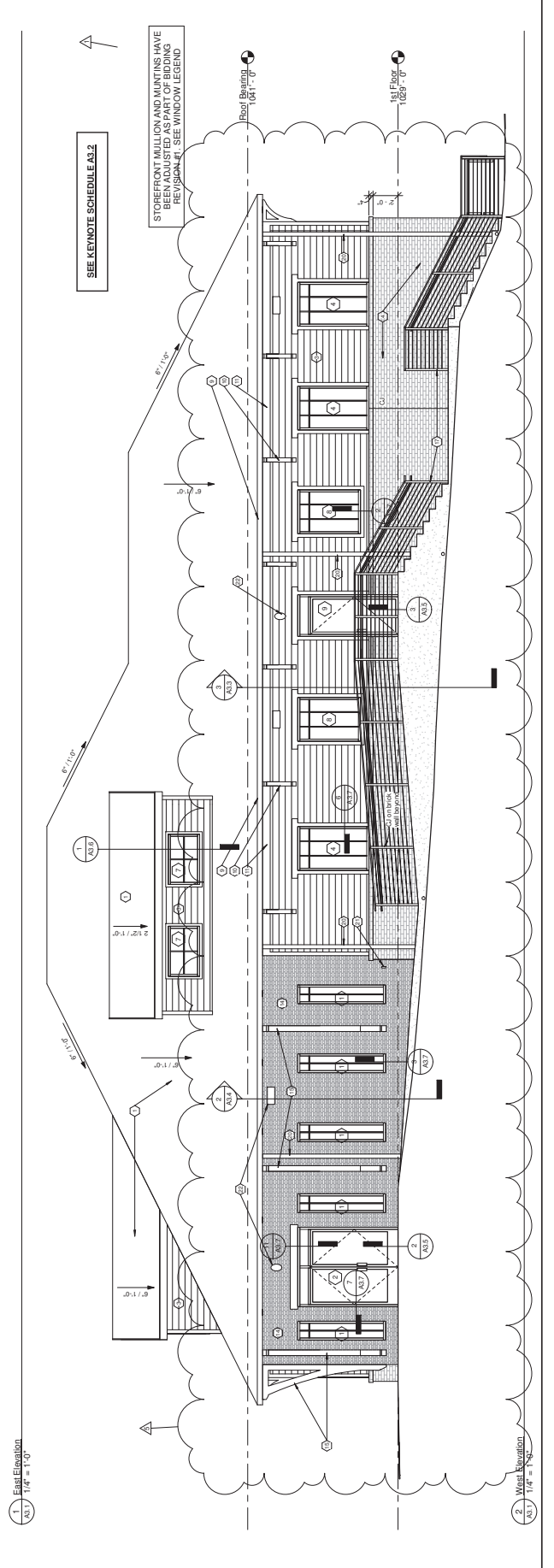
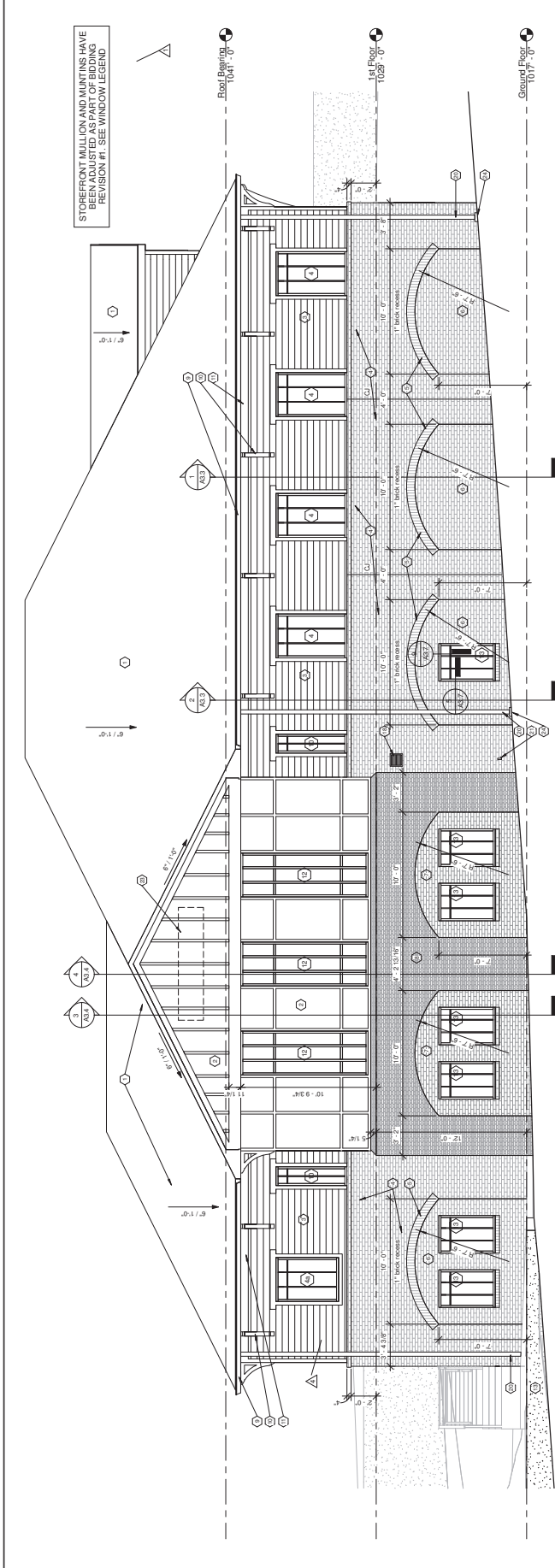
No.	Description	Date
1	Revised	3/16/2020
2	Revised	3/16/2020
3	Revised	3/16/2020
4	Revised	3/16/2020
5	Revised	3/16/2020

A NEW BUILDING FOR
STONECREEK DENTAL
Vestavia Hills, Alabama

BLACK DESIGN
ARCHITECTURE
1211 1ST AVENUE NORTH
BIRMINGHAM, AL 35203
TEL: 205.988.8822
FAX: 205.988.8823
EMAIL: INFO@BLACKDESIGNARCH.COM

Exhibitor: ENVELOPE
19.99Z
3/16/2020
PROJ. NO.
LEB

SHEET NUMBER
A3.1





FOR
PERMIT
3/16/2020

No.	Description	Date
1	Construction Rev. #1	12/20/2018
2	Construction Rev. #2	12/18/2021

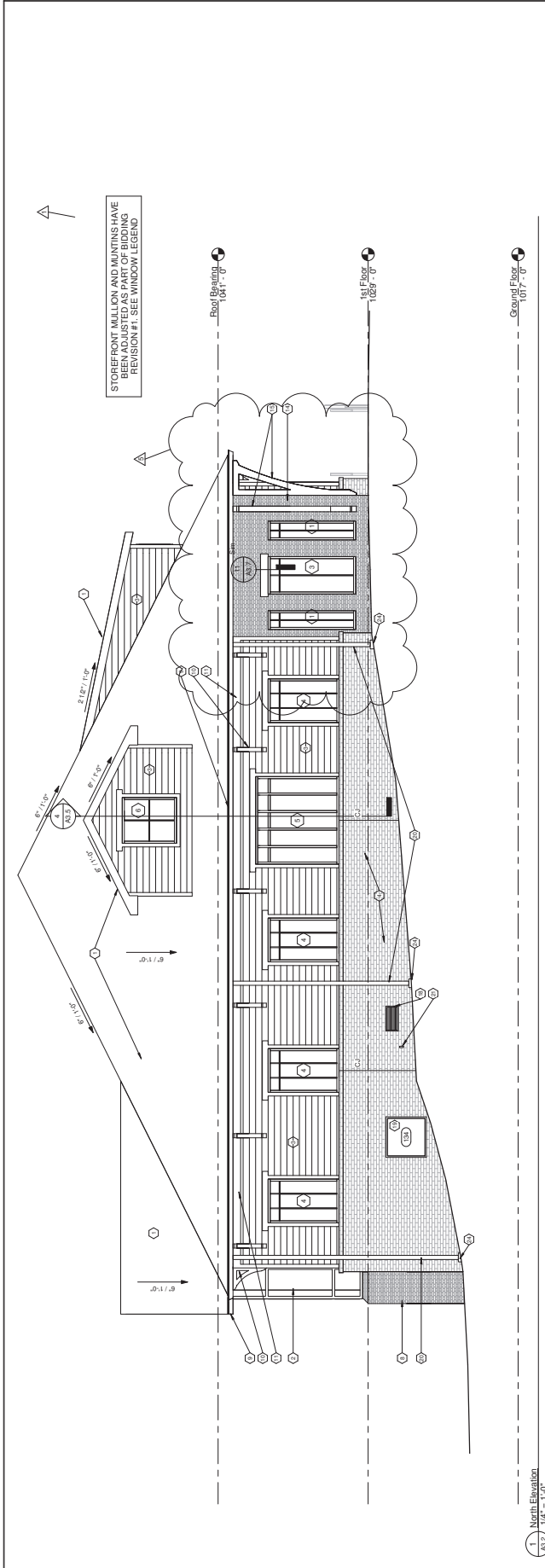
A NEW BUILDING FOR
STONECREEK DENTAL
Vestavia Hills, Alabama

BLACK DESIGN ARCHITECTURE
1217 1ST AVENUE NORTH
BIRMINGHAM, AL 35203
205.988.8822
205.988.8822
EMAIL: L@BLACKDESIGNARCH.COM

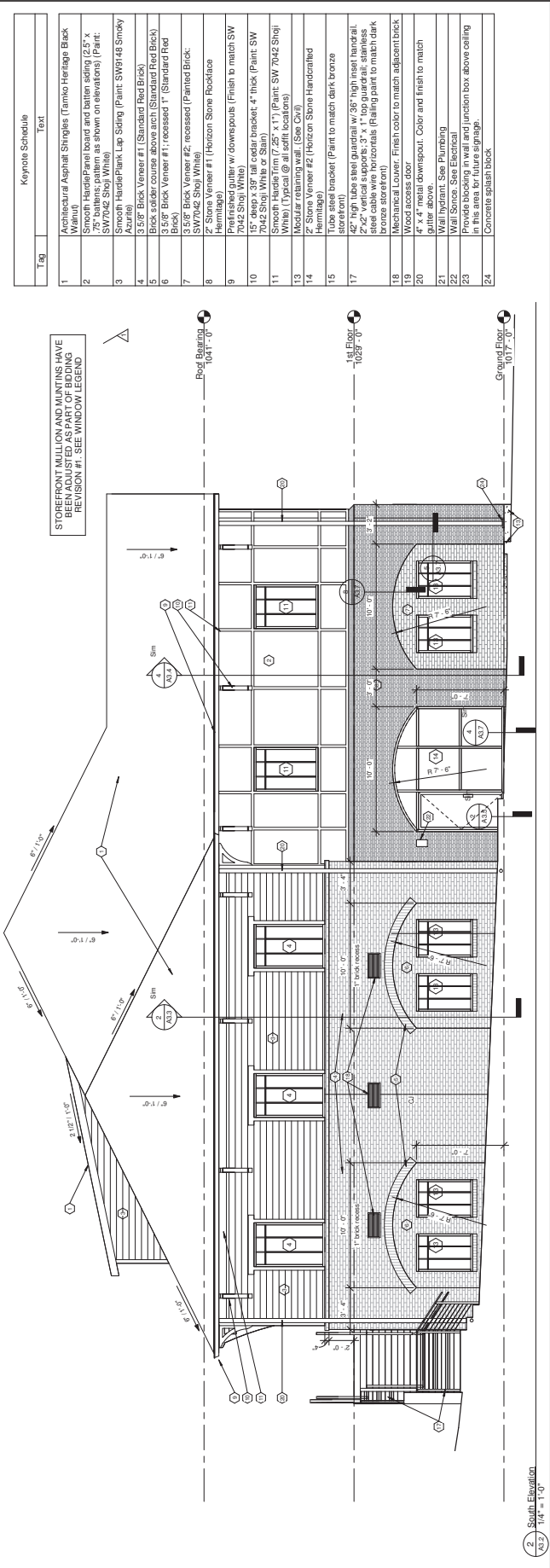
Exhibitor Elevations:

19.992
3.16.2020
PROJ.
1.0

SHEET NUMBER
A3.2



1 North Elevation
1/4" = 1'-0"



2 South Elevation
1/4" = 1'-0"

Tag	Keynote Schedule	Text
1	Architectural Asphalt Shingles (Tampo Heritage Black Walnut)	
2	Smooth Hand/Pan/Board and batten siding (2.5" x 6" Back Veneer #1; recessed T (Standard Red Brick) to show on elevations) (Paint: SW7042 Shog White)	
3	Smooth Hand/Plank Lap Siding (Paint: SW9148 Smoky Aurifer)	
4	3.5" Back Veneer #1 (Standard Red Brick)	
5	Brick soldier course above arch (Standard Red Brick)	
6	Back Veneer #1; recessed T (Standard Red Brick)	
7	3.5" Back Veneer #2; recessed (Painted Brick: SW7042 Shog White)	
8	2" Stone Veneer #1 (Horizon Stone Rockface Hemitage)	
9	Painted galley gutter w/ downspouts (Finish to match SW 7042 Shog White)	
10	15" deep x 38" tall cedar bracket, 4" thick (Paint SW 7042 Shog White or Stain)	
11	Smooth Hand/Pan (7" deep) (Paint: SW 7042 Shog) Modular retaining wall (See Civil)	
13	2" Stone Veneer #2 (Horizon Stone Handcrafted Hemitage)	
14	2" Stone Veneer #2 (Horizon Stone Handcrafted Hemitage)	
15	Tube steel bracket (Paint to match dark bronze)	
17	42" high tube steel guardrail w/ 36" high post handrail (Paint to match dark bronze) (Finish to match dark bronze stairwell)	
18	2" x 2" vertical supports; 3" x 1" top guardrail; stainless steel cable wire horizontal (finishing paint to match dark bronze stairwell)	
19	Wood species door. Finish color to match adjacent brick gutter above.	
20	4" x 4" metal downspout. Color and finish to match gutter above.	
21	Wall Hydrant. See Plumbing	
22	Wall Sconce. See Electrical	
23	Architectural millwork in wall and junction box above ceiling in the back porch (See Civil)	
24	Concrete splash back	









TAMKO **HERITAGE Premium | HERITAGE** **Black Walnut**

WILLOW WALKER	DRYING OAK	BLACK OAK	RED OAK	BLACK BUCKLE	BLACK OAK	BLACK WALNUT	BLACK WALNUT	BLACK WALNUT
WILLOW WALKER	DRYING OAK	BLACK OAK	RED OAK	BLACK BUCKLE	BLACK OAK	BLACK WALNUT	BLACK WALNUT	BLACK WALNUT
WILLOW WALKER	DRYING OAK	BLACK OAK	RED OAK	BLACK BUCKLE	BLACK OAK	BLACK WALNUT	BLACK WALNUT	BLACK WALNUT

HERITAGE Premium | HERITAGE

Black Walnut

HORIZON STONE

HERITAGE
ROCKFACE

HORIZON STONE

HERITAGE
ROCKFACE

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
APPLICATION**

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: Southminster Presbyterian Church
Address: 1124 Montgomery Highway
Vestavia Hills Alabama 35216
Phone #: 205-822-1124 Other #: _____
E-Mail: southminster@bellsouth.net

Billing/Responsible Party (This Section Must Be Completed)

Name: Southminster Presbyterian Church
Address: 1124 Montgomery Highway
Vestavia Hills Alabama 35216
Phone #: 205-822-1124 Other #: _____
E-Mail: southminster@bellsouth.net

Representing Attorney/Other Agent

Name: H.A. Nebrig, Jr.
Address: 5740 Chestnut Trace
Hoover, Alabama 35244
Phone #: 205-532-8596 Other #: _____
E-Mail: hanebrig@charter.net

II. DESCRIPTION OF PROPERTY:

LOCATION: 1124 Montgomery Highway
Street Address

Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST:

- | | | |
|----|-------------------------------------|---------------------------|
| 1. | <input type="checkbox"/> | Preliminary Review |
| 2. | <input checked="" type="checkbox"/> | Landscape Review |
| 3. | <input checked="" type="checkbox"/> | Architectural Review |
| 5. | <input type="checkbox"/> | Final Review of Materials |
| 6. | <input type="checkbox"/> | Other - Explain _____ |

D0421-06//28-00-30-3-002-005.000
1124 Montgomery Hwy.
Addition, sidewalks & landscaping
Southminster Presbyterian

0021-06-1 P 11:36

IV. PROCESS:

- 1. New Building
- 2. Renovation of Existing Building
- 3. New Landscape Plan
- 4. Renovation to Existing Landscaping Plan
- 7. Other - Explain

addition of an outside
colunbarium, sidewalks,
and landscaping

V. ZONING

Vestavia Hills Zoning for the subject property is institutional 1

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. ***This application must be signed by the property owner before a Notary and the original application shall be submitted (no copies allowed).***

K.A. Nely 3/1/2021
Owner Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this 1 day of March, 20 21.

Emily Juler
Notary Public

My commission expires July
day of 10, 20 22.

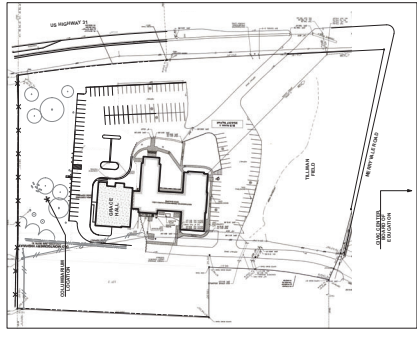
D0421-06//28-00-30-3-002-005.000
1124 Montgomery Hwy.
Addition, sidewalks & landscaping
Southminster Presbyterian

COLUMBARIUM PLAZA



**1124 MONTGOMERY HIGHWAY
VESTAVIA HILLS, ALABAMA 35216**

SHEET NUMBER	SHEET TITLE
G.1.0	COVER SHEET
G.1.1	SILTATION FENCING/ TREE PROTECTION/ DEMOLITION PLAN
L.1.0	MATERIALS/ DIMENSIONAL LAYOUT PLAN
L.1.1	GRADING AND DRAINAGE PLAN
L.2.0	CONSTRUCTION DETAILS
L.3.0	PLANTING PLAN - PHASE I
L.3.1	PLANTING DETAILS, NOTES AND SCHEDULE
L.4.0	IRRIGATION PLAN
L.4.1	IRRIGATION DETAILS





HNP
LANDSCAPE ARCHITECTURE
546 OUTHOUSE SOUTH
BRANDENHAM, AL. 36509
205.670.5008
HNP@SITEPLAN.COM

COLUMBARIUM PLAZA
SOUTHMINSTER PRESBYTERIAN CHURCH
HWY 31 - VESTAVIA HILLS, ALABAMA



REVISIONS:

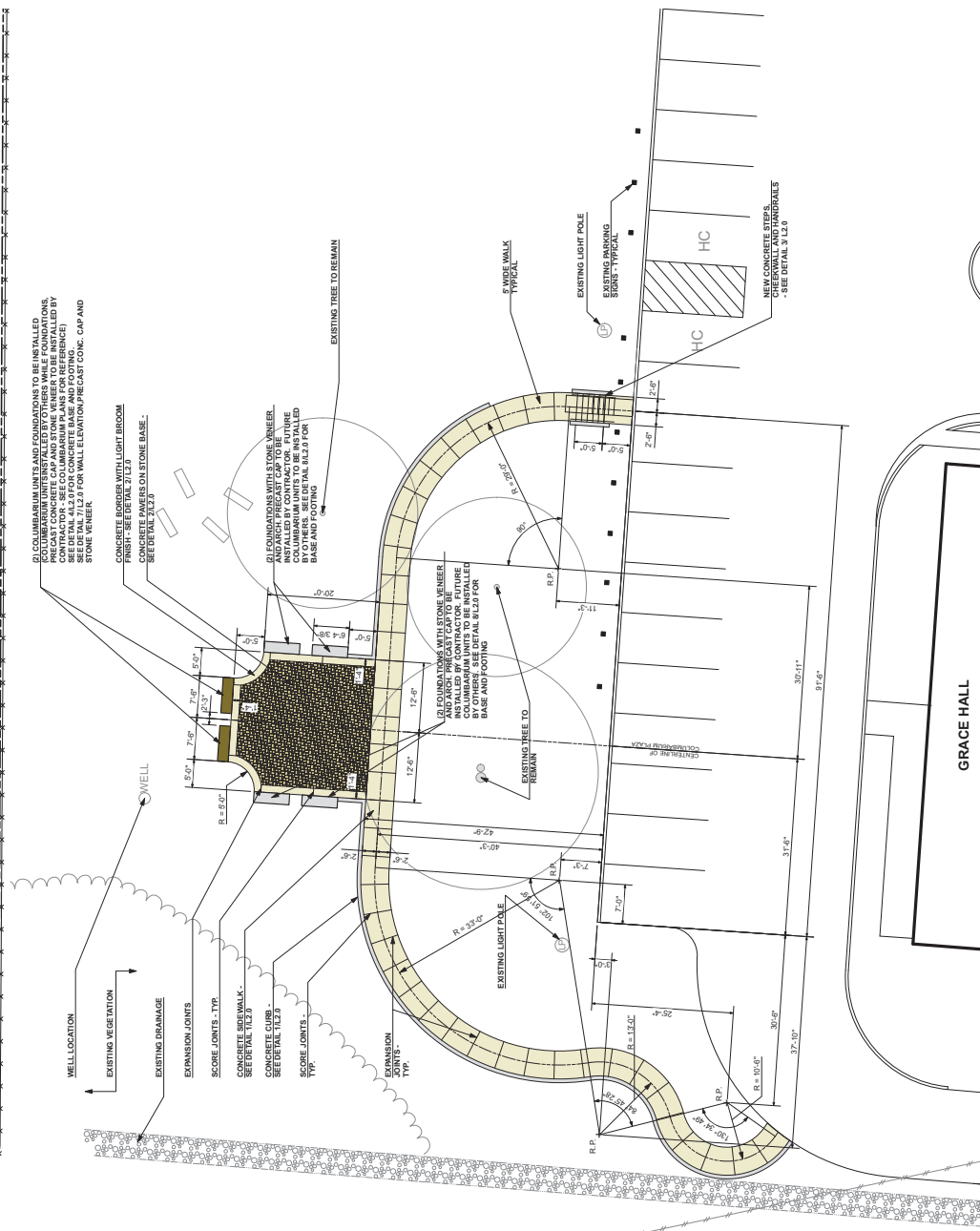
ISSUED:	02/26/2021
SHEET TITLE:	MATERIALS/ FOUNDATION LAYOUT PLAN
DRAWN:	CMF
CHECKED:	EM

L1.0
PROJECT NO. C-2009

SEQUENCE 3 OF 9
GRAPHIC SCALE 1" = 10'

LAYOUT NOTES:

1. ALL WORK SHALL conform to ALABAMA COUNTY AND STATE ORDINANCE REGULATIONS. OBTAIN ALL PERMITS, LICENSES, ETC. REQUIRED FOR EXECUTION OF WORK.
2. NOTIFY ALL AGENCIES AND VENDOR ALLIANCE PARTIES PRIOR TO ACTUAL CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BEFORE CONTINUING UNIT OF WORK. THE WORK SHALL BE PERFORMED UNDER THE SUPERVISION OF A LICENSED SURVEYOR.
3. VEGETATION PRESERVATION SHALL BE MAINTAINED TO THE MAXIMUM EXTENT FEASIBLE. CONSTRUCTION SHALL AVOID REMOVAL OF EXISTING VEGETATION STRUCTURES, PATWENTERS, UTILITIES, ETC. TO REMAIN.
4. APPROVAL OF THE LANDSCAPE ARCHITECT ONLY.
5. THE CONTRACTOR SHALL FOR HIS OWN PROTECTION, VERIFY THE PRESENCE AND LOCATION OF ALL UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION.
6. LANDSCAPE ARCHITECT OR ANY DISCREPANCIES OF LAYOUT, NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
7. CONTRACTOR IS RESPONSIBLE FOR THE PROPER MANAGEMENT OF ALL CONSTRUCTION AND DEMOLITION WASTE SHALL BE MANAGED BY THE CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE STATE AND FEDERAL REGULATIONS AND TO AN APPROVED SPECIAL FACILITY.
8. REMOVE ALL CONSTRUCTION DEBRIS AND BASE MATERIAL FROM SITE AND LEAVE READY FOR TOPSOIL PLACEMENT AND PLANTING.
9. CLEAN UP, REMOVE AND PROPERLY DISPOSE OF ALL OBBERS, WASTE AND CLEAN UP ALL CONSTRUCTION.
10. ALL UTILITY ACCESS POINTS (MANHOLE BOXES, METER COVERS, ETC.) TO BE RAISED TO A MINIMUM FINISH GRADE OF 1.5' ABOVE FINISH GRADE. ALL RAISED COVERS TO BE CONCRETE OR METAL COVERS WITH 1" MINIMUM RADIUS. CONCRETE RAISED COVERS SHALL BE 18" IN DIAMETER.



GRAPHIC SCALE 1" = 10'

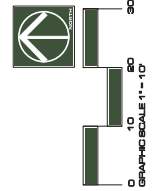
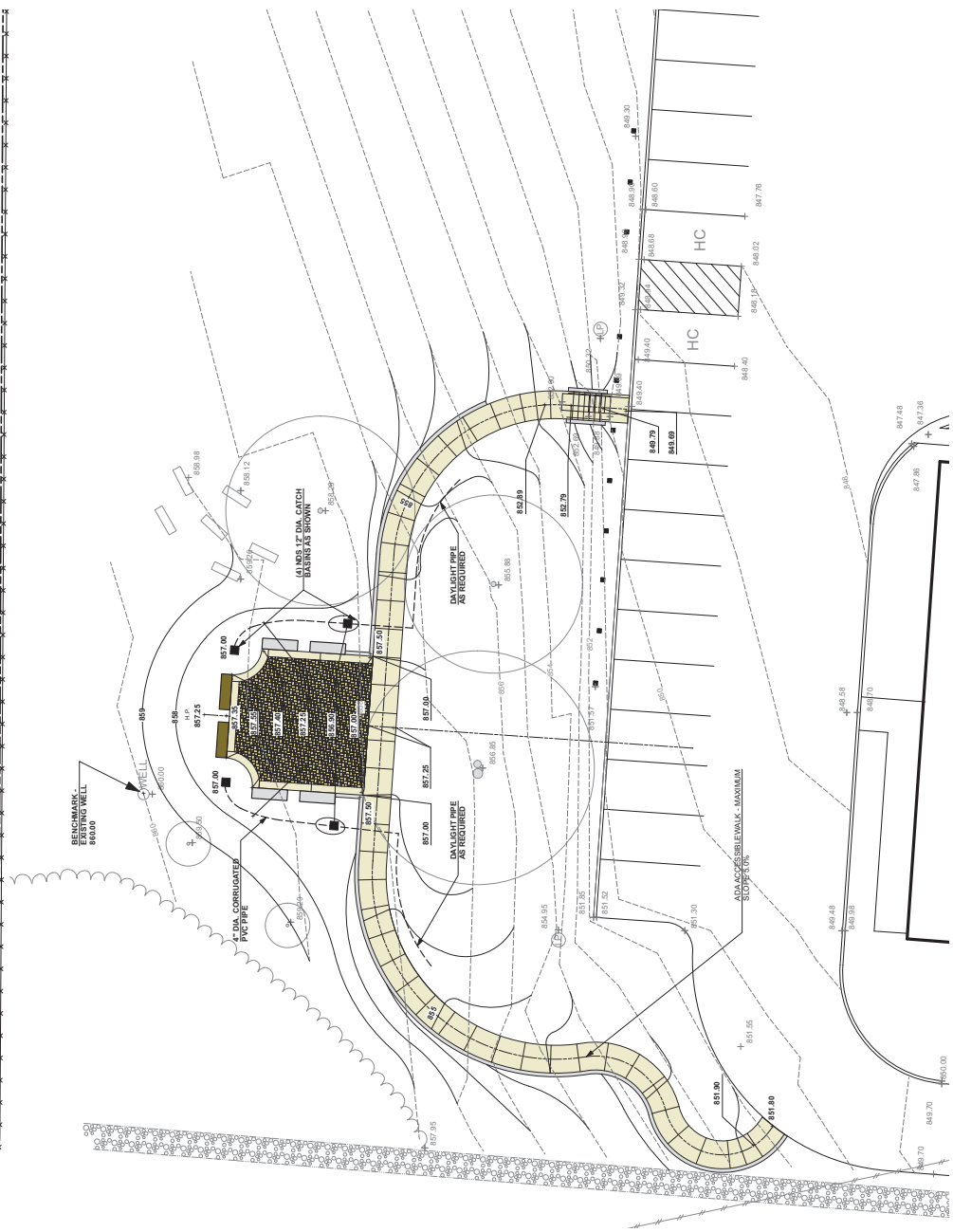


REVISIONS

ISSUED:	02/26/2021
SHEET TITLE: GRADING AND DRAINAGE PLAN	
DRAWN: OMP CHECKED: EBN	
SHEET	
L1.1	
SEQUENCE:	4 OF 9
PROJECT NO.:	200001

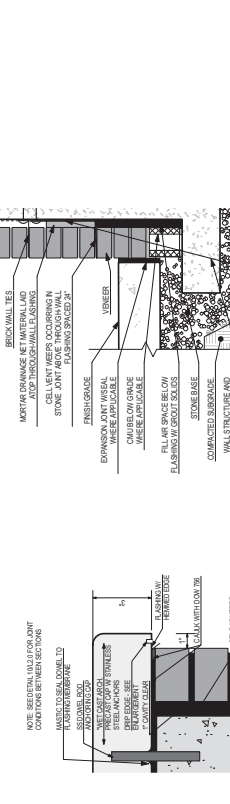
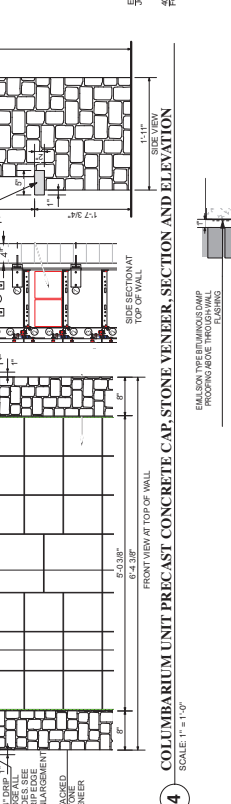
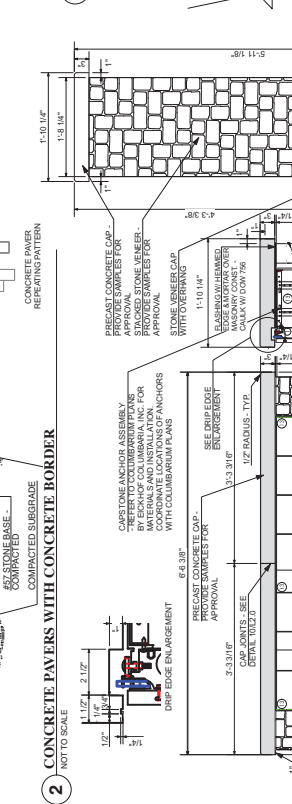
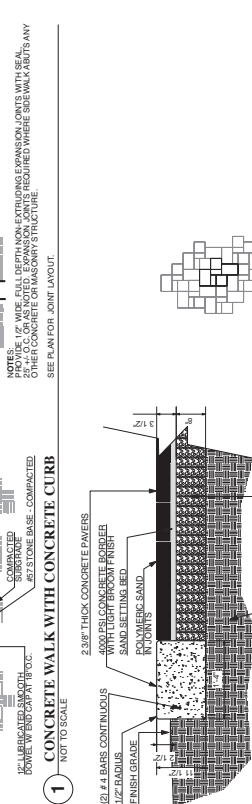
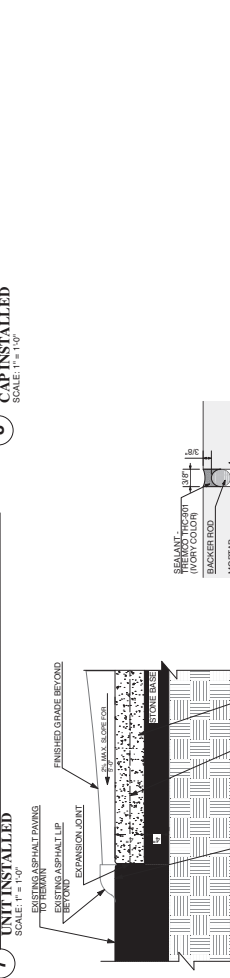
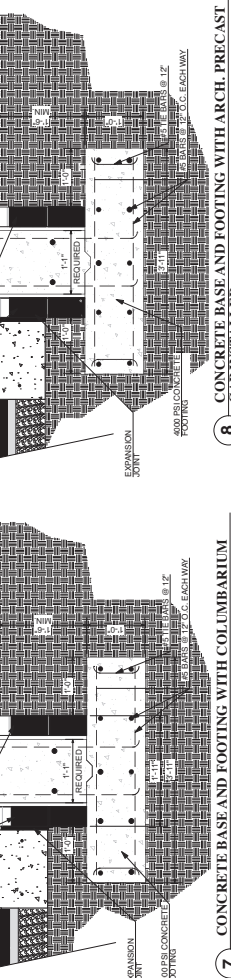
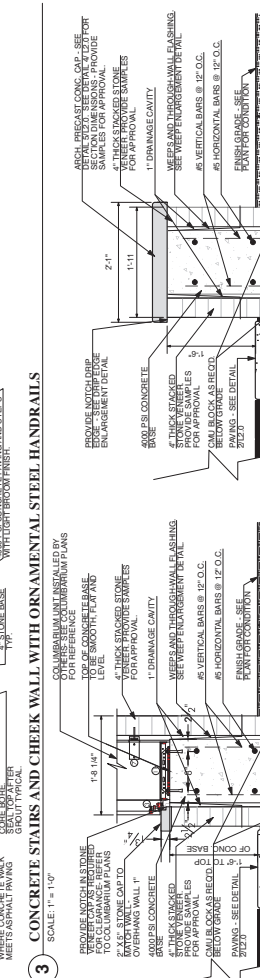
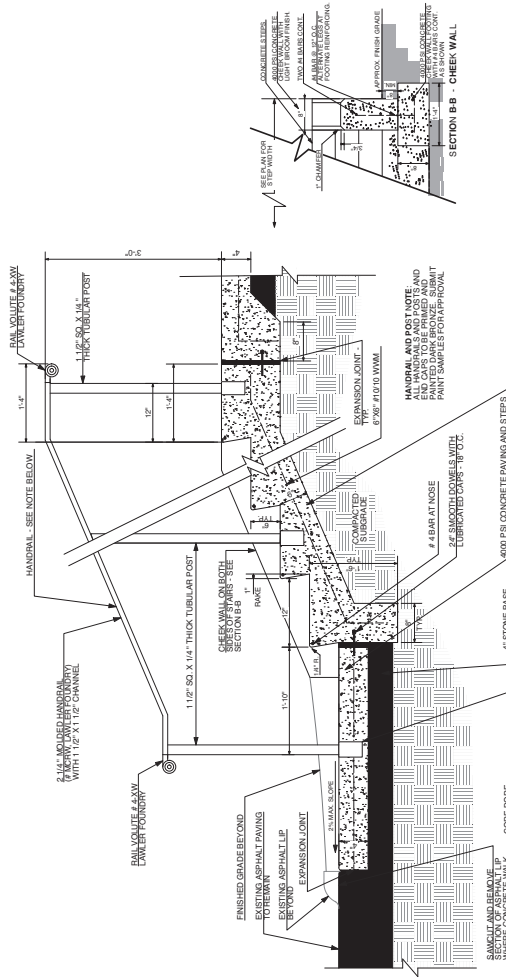
GRADING NOTES:

- CONTRACTOR TO GRADE SITE AS SHOWN. UNSUITABLE MATERIAL TO BE REMOVED FROM SITE. IMPORT SUITABLE MATERIAL AS REQUIRED.
- INSTALL EROSION CONTROL MEASURES AS SHOWN. ALL PLACES SHALL BE INSTALLED AND MAINTAINED IN SUCH A MANNER THAT WILL INSURE NO EROSION OCCURS. EROSION CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED UNTIL STABILIZATION OF SOIL OR UNLESS COMPLETION OF PLANNING AND MULCHING.
- ADJACENT HIGHWAY, STREET OR STORM SEWER CONTRACTOR IS TO REMOVE SUCH AT ONCE.
- CONTRACTOR SHALL MAINTAIN "BEST MANAGEMENT PRACTICES" AND ADHERE TO REPORT NO FLOW AT P-94-005 "BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL".
- ALL CONSTRUCTION MATERIALS STORED ON SITE THAT MAY CONTAIN POLLUTANTS, ESCAPE. ALL SUCH MATERIAL SHALL BE REMOVED FROM SITE AT THE END OF CONSTRUCTION AND BE DISPOSED OF ACCORDING TO APPLICABLE ORDINANCES.
- MAXIMUM GROSS SLOPE ON ANY WALKWAY PLAZA IS 2.0%.
- ADA ACCESSIBLE WALK TO BE A MAXIMUM OF 5.0% SLOPE LONGITUDINALLY AND 1:12 RAMP SLOPE. ALL SLOPES SHALL BE VERIFIED. DO NOT POUR CONCRETE UNTIL SLOPE IS ACHIEVED AND VERIFIED.
- USE LOWESSES TO CUTLAWLY CUT EXISTING ROOTS PRIOR TO GRADING AND EXERCISE. DO NOT USE EQUIPMENT TO PULL UP ROOTS IN ANY MANNER.





REVIEWS:	
ISSUED:	02/26/2021
SHEET TITLE:	CONSTRUCTION DETAILS
DRAWN BY:	CP
CHECKED BY:	SM
SHEET:	L2.0
PROJECT NO.:	2019
REVISIONS:	5 OF 9



1 CONCRETE WALK WITH CONCRETE CURB
 NOT TO SCALE

2 CONCRETE PAVERS WITH CONCRETE BORDER
 NOT TO SCALE

3 CONCRETE STAIRS AND CHEEK WALL WITH ORNAMENTAL STEEL HANDRAILS
 SCALE: 1" = 1'-0"

4 COLUMBARIUM UNIT PRECAST CONCRETE CAP, STONE VENEER, SECTION AND ELEVATION
 SCALE: 1" = 1'-0"

5 ARCH. PRECAST CONCRETE CAP FOR CONCRETE BASE & FOOTING
 SCALE: 1" = 1'-0"

6 WEEP ENLARGEMENT DETAIL
 NOT TO SCALE

7 CONCRETE BASE AND FOOTING WITH COLUMBARIUM UNITS INSTALLED
 SCALE: 1" = 1'-0"

8 CONCRETE BASE AND FOOTING WITH ARCH. PRECAST CAPS INSTALLED
 SCALE: 1" = 1'-0"

9 CONCRETE WALK TRANSITION TO EXISTING ASPHALT PARKING LOT
 SCALE: 1" = 1'-0"

10 JOINT TREATMENT FOR ARCH. PRE-CAST CAPS
 NOT TO SCALE



HNP
 LANDSCAPE ARCHITECTURE
 1914 28TH AVE SOUTH
 BIRMINGHAM, AL 35209
 205-870-9838
 HNP@HNPAN.COM

COLUMBARIUM PLAZA
 SOUTHMINSTER PRESBYTERIAN CHURCH
 HWY 31 - VESTAVIA HILLS, ALABAMA



REVISIONS:

ISSUED: 02/26/2021

SHEET TITLE:

PLANTING PLAN

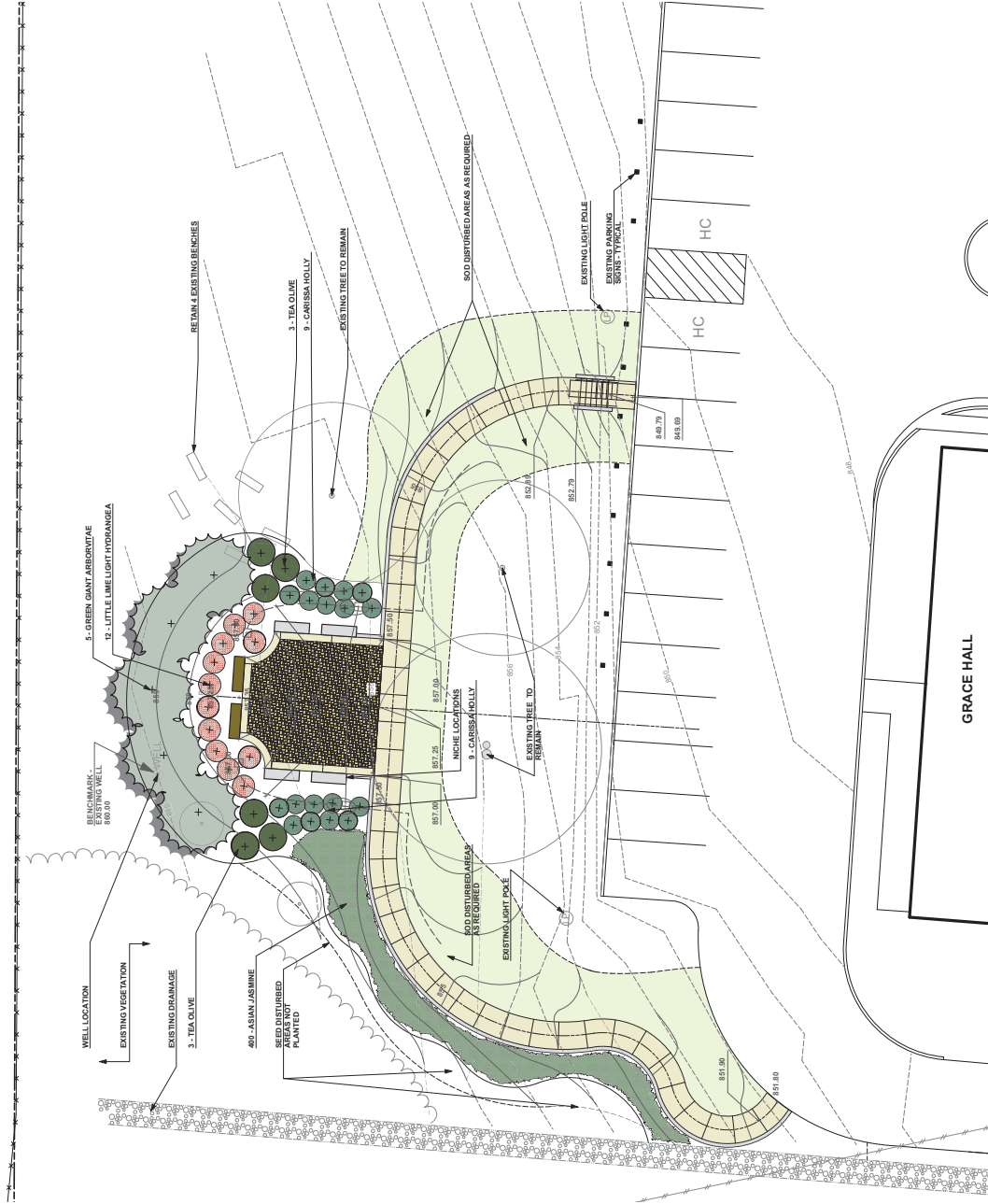
DRAWN: CDP CHECKED: BMM
 SHEET

L3.0

SEQUENCE: 6 OF 9
 PROJECT No. C-2008

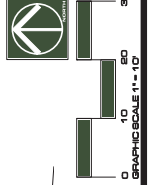


GRAPHIC SCALE 1"=10'
 0 10 20 30





REVISIONS	ISSUED: 02/26/2021
SHEET TITLE	IRRIGATION PLAN
DRAWN: OMP DESIGNED: BDN	SHEET
L4.0	SEQUENCE 8 OF 9
PROJECT NO.: 2020	PROJECTING: OMP



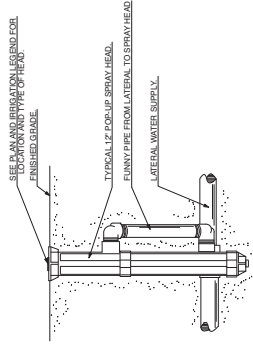
KEY	DESCRIPTION
○	POINT OF CONNECTION TO EXISTING IRRIGATION SYSTEM FOR
○	RANBRD 3300 SERIES ROTOR, 30M P.S. 40 S.A.M.A.N.G. 30' RADIS
○	RANBRD 1800 SERIES SPRINKLER, 180 WITH MP3 15' NOZZLE
○	#1-E HEAVY NOZZLE MOUNTED ON RANBRD 1800 SERIES
○	SPRINKLER, #12 SAMHE.M.N. 15' RADIS
○	#1-D HEAVY NOZZLE MOUNTED ON RANBRD 1800 SERIES
○	SPRINKLER, #12 SAMHE.M.N. 10' RADIS
○	RAN BRD 112' PEB-PRS SERIES ELECTRIC CONTROL VALVE
○	ISOLATION VALVE
○	IRRIGATION MAIN LINE, 1 1/2" DIA. ALL MAIN LINES SHALL BE SCHEDULE 40
○	PVC.
○	LATERAL LINE PPE, SCH 40 TO VALVE & 6" FROM VALVE TO STATION, CLASS
○	200 PVC, SIZE NOTED.
○	SCHEDULE 40 PVC DIA. IRRIGATION SLEEVE, CROSSING LOCATION ONE
○	PER LINE; SEE IRRIGATION SLEEVING DETAIL.

TYPICAL VALVE INDICATOR

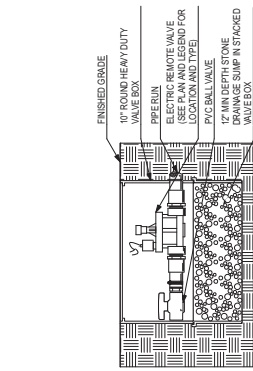




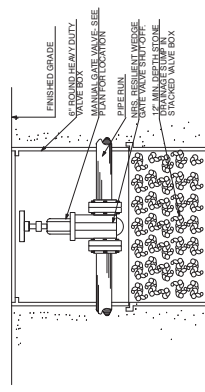
ISSUED:	02/26/2021
SHEET TITLE:	IRRIGATION DETAILS
DRAWN: CWF	CHECKED: RHN
SHEET	
L4.1	
SEQUENCE: 9 OF 9	
PROJECT NO. 220007	



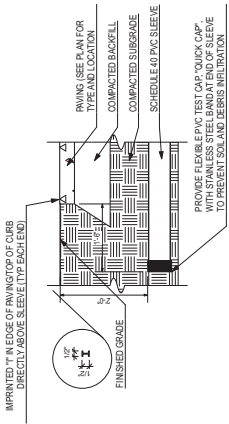
1 TYPICAL ROTOR
 NOT TO SCALE



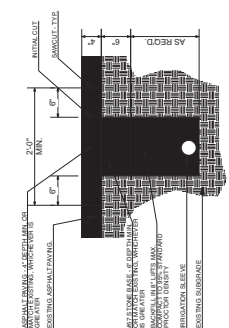
2 TYPICAL POP UP SPRAY HEAD
 NOT TO SCALE



3 TYPICAL ELECTRIC CONTROL VALVE
 NOT TO SCALE



4 TYPICAL ISOLATION VALVE
 NOT TO SCALE



5 IRRIGATION SLEEVING
 NOT TO SCALE



6 ASPHALT PAVEMENT PATCH AT SLEEVE TRENCH
 NOT TO SCALE

IRRIGATION NOTES

1. ALL WORK SHALL CONFORM TO LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION. SITE CONDITIONS MAY VARY FROM THOSE SHOWN. VERIFY ALL SUCH CONDITIONS AS WELL AS THE PRESENCE AND LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. NO CHANGE IN CONTRACT PRICE WILL BE ALLOWED FOR UNEXPECTED CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND DISPOSE OF EXCESS CONSTRUCTION MATERIALS FOLLOWING COMPLETION. LEAVE ALL PROJECT AREAS NEAT, CLEAN, AND READY FOR OWNER'S USE.
3. PROVIDE ALL LABOR, MATERIALS, APPLIANCES, EQUIPMENT SERVICES, AND INCIDENTALS NECESSARY FOR FURNISHING, INSTALLING, AND TESTING A COMPLETE AND READY IRRIGATION SYSTEM. ALL SUCH WORK SHALL BE DONE IN A MANNER SATISFACTORY TO THE OWNER.
4. NO ROCKS, BOULDERS, OR OTHER EXTRANEOUS MATERIALS SHALL BE USED IN THE BACKFILLING OF TRENCHES.
5. ALL PIPE SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
6. PROVIDE ALL NECESSARY TAPPING WITH PIPE SIZES AND SPECIFICATIONS TURNED UP IN TRENCH AND VALVE BOX.
7. ALL IRRIGATION SLEEVE CROSSINGS SHALL BE 90 DEGREES PERPENDICULAR TO THE PLANTING BED EDGE, LAWN EDGE, WALKWAY EDGE, OR ROADWAY EDGE THAT IT IS CROSSING. ALL SLEEVES SHALL BE PROTECTED BY SCHEDULE 40 PIPING (SEE SCHEDULES).
8. ALL IRRIGATION SLEEVE LOCATIONS SHALL BE MARKED AS SHOWN IN SLEEVING DETAIL.
9. ALL THREADED JOINTS SHALL BE COATED WITH TEFLON TAPE OR TEFLON PASTE.
10. ALL SPRINKLER AND RELATED EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
11. THE IRRIGATION SYSTEM SHALL BE INSTALLED PER DETAIL.
12. THE INSTALLER SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
13. LAYOUT OF THE IRRIGATION IS DIAGRAMMATIC IN NATURE. THE INSTALLER SHALL NOTE ON THE DRAWING THE LOCATION OF ALL EXISTING UTILITIES AND PROVIDE THE LOCATION OF ALL CONTROLLERS. THIS PLAN SHALL THEN BE GIVEN TO THE OWNER AS AN AS-BUILT DRAWING.
14. PROVIDE 1/2\"/>

15. THE IRRIGATION SYSTEM SHALL BE INSTALLED PER DETAIL.

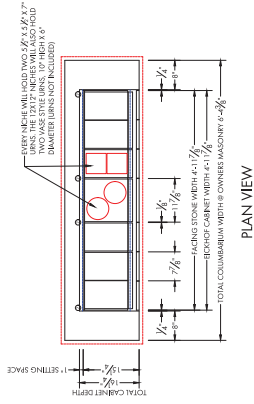
16. THE INSTALLER SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

17. LAYOUT OF THE IRRIGATION IS DIAGRAMMATIC IN NATURE. THE INSTALLER SHALL NOTE ON THE DRAWING THE LOCATION OF ALL EXISTING UTILITIES AND PROVIDE THE LOCATION OF ALL CONTROLLERS. THIS PLAN SHALL THEN BE GIVEN TO THE OWNER AS AN AS-BUILT DRAWING.

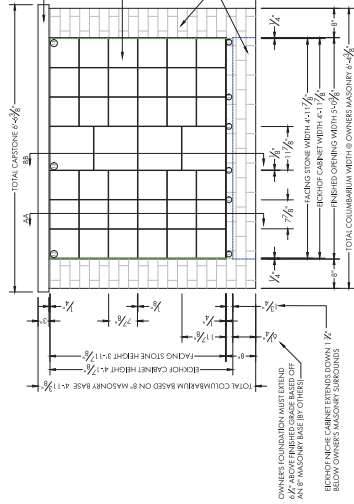
18. PROVIDE 1/2\"/>

40 TOTAL COMPANION NICHES

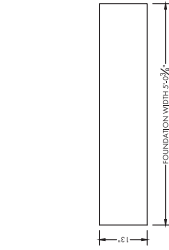
- 4 - 12"x12" NICHES
- 36 - 9"x9" NICHES
- 80 TOTAL LINER SPACES
- TWO REQUIRED



PLAN VIEW

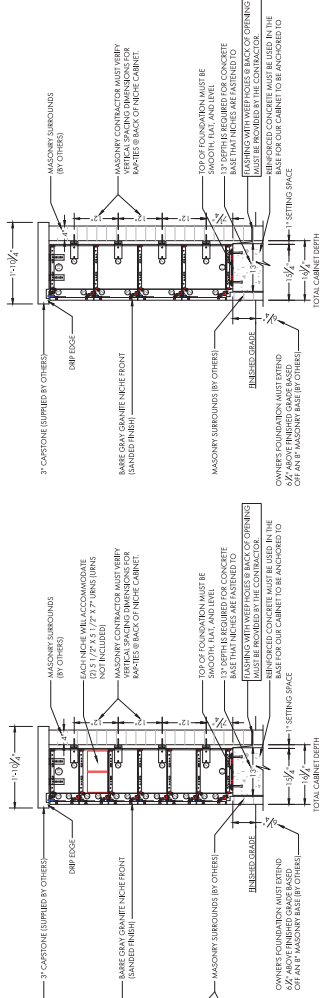
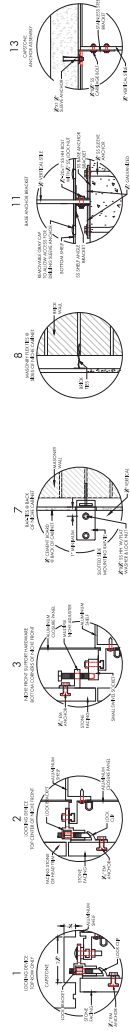


ELEVATION



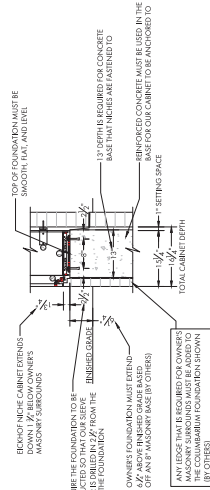
FOUNDATION PLAN VIEW

HARDWARE DETAILS



SECTION BB

SECTION AA



BASE DETAIL

FOUNDATION REQUIREMENTS:

THESE TO STATE THE IMPORTANCE THAT THE FOUNDATION BASE IS CONSTRUCTED AS PER OUR APPROVED COLUMBARIUM DRAWINGS. SAME SURE THAT THE CONTRACTOR RECEIVES AN APPROVED SET OF BECHOF DRAWINGS PRIOR TO STARTING THE WORK. THE FOLLOWING ARE SPECIFICATIONS THAT MUST BE MET FOR THE PROPER INSTALLATION OF THE COLUMBARIUM.

- THE BASE MUST BE SUBSEQUENT TO CONCRETE. IF THE BASE IS NOT SOUBRECONCRETE, WE WILL NOT BE ABLE TO INSTALL OUR BASE ANCHOR.
- THE FOUNDATION MUST BE CONSTRUCTED TO THE EXACT DIMENSIONS SHOWN ON OUR DRAWINGS IN REGARDS TO LENGTH AND WIDTH. THE WIDTH (DEPTH) TO OUR DRAWING. OUR BASE ANCHORS OR THE BASE ANCHOR BRACKETS MUST BE NEAR THE EDGE OF THE FOUNDATION. THE BASE ANCHORS MUST BE PLACED TO THE CENTER OF THE FOUNDATION. THE FOUNDATION MUST BE CONSTRUCTED TO THE EXACT DIMENSIONS SHOWN ON OUR DRAWINGS. THE FOUNDATION MUST MEET THE FOLLOWING PARAMETERS:
 - THE SURFACE MUST BE FLAT AND FREE OF EXPOSED AGGREGATE CALLOCATED HIGH POINTS THAT EXCEED 1/4" ABOVE THE PROFILE AS DEFINED IN OUR DRAWINGS.
 - IF WE ARE ON RE AND THE FOUNDATION BASE IS NOT CONSTRUCTED CORRECTLY, WE MAY HAVE TO BEHOLD AN ADDITIONAL STORAGE SPACE ON THE CONCRETE. ALL MUST TO BE COUNTRIMMED. SHOULD THIS OCCUR IN THE AREAS WHERE THE COLUMBARIUM STRUCTURAL SUPPORTS LAND ON THE CONCRETE, ALL MUST TO BE COUNTRIMMED. THIS MAY RESULT IN ADDITIONAL CHARGES TO COVER THE COST OF COLUMBARIUM STORAGE ALONG WITH A RETURN TRIP.

THANK YOU FOR YOUR ATTENTION TO THE MATTER AND PLEASE CALL US IF YOU HAVE ANY QUESTIONS. 1-800-233-9437

EICKHOF®
 PATENTED: www.eickhof.com
 2005 Eickhof Building, Inc.
 PATENT PENDING
 1200 BRUCE STREET
 COOKSTON, MIN 56716
 PHONE: (218) 281-5501
 TOLL FREE: (800) 233-9437

SOUTHMINSTER PRESBYTERIAN CHURCH
 VESTAVIA HILLS, AL

DATE: 12/2/2020
DRAWING: 14015-CONF
DRAWN BY: A.O./FS/AMT
DRAWINGS CHECKED BY:
F.A.S.
P.M.E.
P.J.T.
REVISIONS:
JOB NUMBER: 16015
SHEET NUMBER: 1 OF 1

FOR INFORMATION ONLY - NOT IN CONTRACT

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
APPLICATION**

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: Alabama Power Company

Address: 600 18th Street N. Birmingham, AL 35203

Phone #: 205-226-1084 Other #: _____

E-Mail: _____

Billing/Responsible Party (This Section Must Be Completed)

Name: Johnson & Co.

Address: 2413 2nd Avenue South

Phone #: 205-324-4447 Other #: _____

E-Mail: wjohnson@johnson-co.net

Representing Attorney/Other Agent

Name: _____

Address: _____

Phone #: _____ Other #: _____

E-Mail: _____

II. DESCRIPTION OF PROPERTY:

LOCATION: 3102 Massey Road Vestavia Hills, AL 35216
Street Address

Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST:

- | | | |
|----|-------------------------------------|---------------------------|
| 1. | <input type="checkbox"/> | Preliminary Review |
| 2. | <input checked="" type="checkbox"/> | Landscape Review |
| 3. | <input type="checkbox"/> | Architectural Review |
| 5. | <input type="checkbox"/> | Final Review of Materials |
| 6. | <input type="checkbox"/> | Other - Explain _____ |

IV. PROCESS:

- | | | |
|----|-------------------------------------|---|
| 1. | <input type="checkbox"/> | New Building |
| 2. | <input type="checkbox"/> | Renovation of Existing Building |
| 3. | <input type="checkbox"/> | New Landscape Plan |
| 4. | <input checked="" type="checkbox"/> | Renovation to Existing Landscaping Plan |
| 7. | <input type="checkbox"/> | Other - Explain _____ |

V. ZONING

Vestavia Hills Zoning for the subject property is _____.

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. **This application must be signed by the property owner before a Notary and the original application shall be submitted (no copies allowed).**

Owner Signature/Date

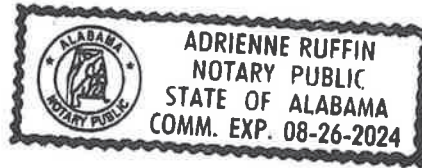
J. D. Hays 3-16-2021

Representing Agent (if any)/date
APC TMC Supervisor

Given under my hand and seal
this 16 day of March, 2021.

Adrienne Ruffin

Notary Public



My commission expires 26
day of August, 2024.



JOHNSON & CO.
LANDSCAPE ARCHITECTS

1000 17th Avenue South, Suite 101
Birmingham, AL 35233
Phone: 205.324.4447
Fax: 205.324.8988
www.johnson-co.net



date: 3/15/21

JOHNSON & CO.
Landscape Architects

2413 2nd Avenue South, Suite 101
Birmingham, AL 35233
Phone: 205.324.4447
Fax: 205.324.8988
www.johnson-co.net

PROJECT

Alabama Power Company
Massey Road DS
Vestavia Hills, AL

REVISIONS & ADDENDUMS

No.	Description	Date

Date: MARCH 15, 2021
Sheet Title: LANDSCAPE RENDERING
Drawn By: JCO
Checked By: WRFJ
JCO Project No.:
Scale:
Sheet of
Drawing No.:



1. LANDSCAPE RENDERING
7'-0" x 9'-0"

REVISIONS & ADDENDUMS

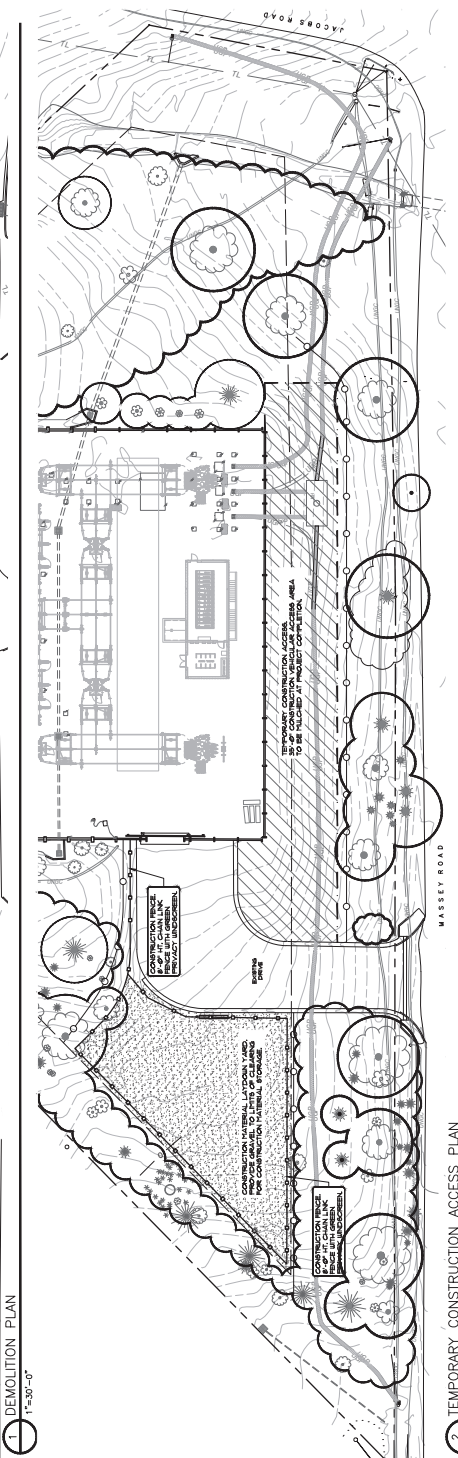
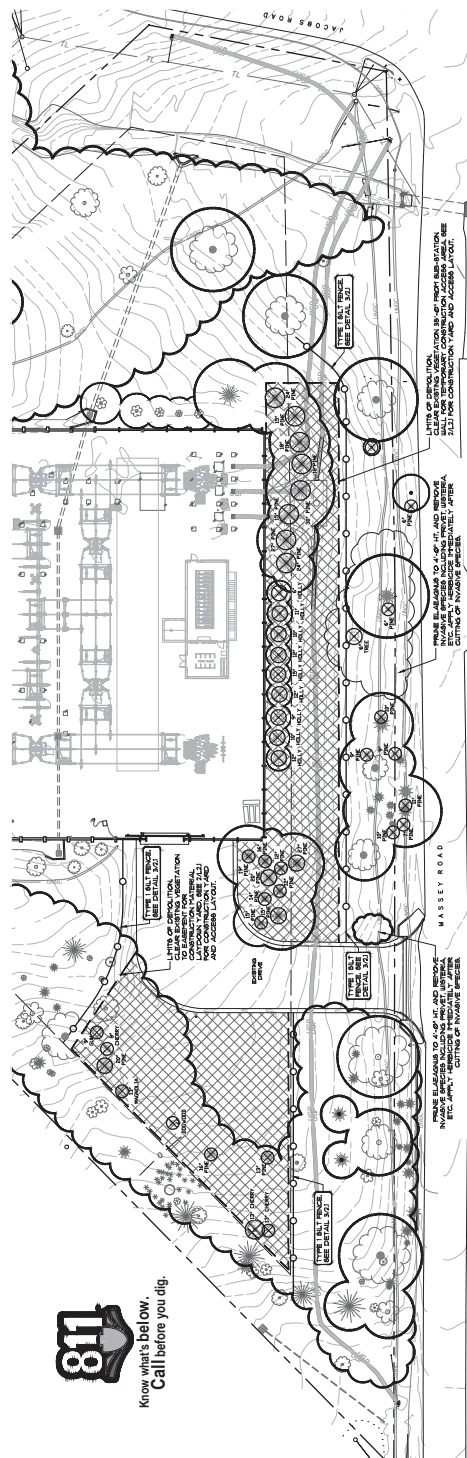
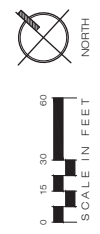
No.	Description	Date

Date: MARCH 15, 2021
Sheet Title: DEMOLITION AND CONSTRUCTION PLAN
Drawn by: JCO
JCO Project No.: WRU
Scale: Sheet of
Drawing No.: L1.2

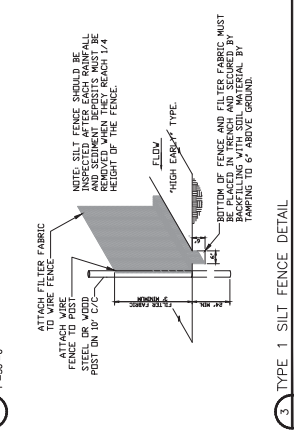
LEGEND

- LIMITS OF DEMOLITION
- AREA OF DEMOLITION
- TREE TO BE REMOVED
- TYPE 1 SILT FENCE
- GRAVEL LAWN/DRIVE YARD
- CONSTRUCTION FENCE WITH GREEN/PRIVACY WINDSCREEN
- LIMITS OF TEMPORARY CONSTRUCTION ACCESS
- AREA OF TEMPORARY CONSTRUCTION ACCESS

EROSION CONTROL NOTES
1. CONTRACTOR SHALL PROVIDE EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED THROUGHOUT CONSTRUCTION UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
2. EROSION CONTROL DEVICES SHOWN ON PLANS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AS NECESSARY DUE TO SITE CONDITIONS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL DEVICES IN GOOD CONDITION THROUGHOUT CONSTRUCTION. REMOVAL OF ALL DEVICES AND EROSION CONTROL MEASURES SHALL BE PERMANENT.
4. CONTRACTOR IS RESPONSIBLE FOR FILING THE NOTICE OF REGISTRATION (NOR) AS THE "OPERATOR" OF THE EROSION CONTROL MEASURES. ALL NOTIFICATIONS, INSPECTIONS AND CONSTRUCTION SAMPLING AND MAINTAINING INSPECTION AND UPSET REQUIREMENTS CONDITIONS. IF CONTRACTOR IS UNABLE TO FILE THE NOR, CONTRACTOR SHALL CONTACT THE ENGINEER FOR FURTHER INFORMATION.
5. CONTRACTOR SHALL MONITOR AND MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT CONSTRUCTION. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DRAINAGE POND AND AS NECESSARY MAINTAINING SYSTEMS IN COLLABORATION WITH THE STABILIZATION OF THE SITE.
6. CONTRACTOR SHALL CONSULT WITH ACPH FOR PERMITTING, MONITORING AND TERMINATION OF THE ACPH PERMIT.
7. CHUTE / OFFSITE SOIL STORAGE AND STORAGE AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES (BMP) SHALL BE INSTALLED AND PERMITTED IN ACCORDANCE WITH NPDES REGISTRATION REQUIREMENTS.



- CONSTRUCTION SEQUENCE FOR EROSION CONTROL:**
- PRIOR TO CLEARING SITE, CONSTRUCTION SHALL PERFORM PERIMETER SILT FENCES.
 - ALL EXISTING STREAMS SHALL BE PROTECTED FROM SILT AND EROSION BY INSTALLATION OF SILT FENCES, SOD STRIPS, AND OTHER EROSION CONTROL MEASURES. TEMPORARY DIVERSION BENS SHALL BE STABILIZED IMMEDIATELY.
 - CONTRACTOR MAY NOW BEGAIN GRADING THE SITE.
 - DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES WILL OCCUR FOR 30 DAYS OR MORE SHALL BE PROTECTED BY SOD STRIPS AND SOD MATS. SOD MATS SHALL BE REAPPLIED LATER THAN 14 DAYS AFTER CONSTRUCTION ACTIVITY OCCURS IN THESE AREAS.
 - AREAS NOT TO RECEIVE PAVING, SPECIALS OR BUILDING EXPOSED AT GRADE OR NEAR GRADE SHALL BE PROTECTED BY SOD STRIPS AND SOD MATS WITHOUT PROVIDING TEMPORARY STABILIZATION. TEMPORARY GRASSING OR PERMANENT GRASSING SHALL BE INSTALLED IMMEDIATELY AFTER RAIN ON THE SUBGRADE OR FINISHED GRADE.



811
Know what's below.
Call before you dig.

3 TYPE 1 SILT FENCE DETAIL
N.T.S.



1815 1ST AVENUE SOUTH, SUITE 101
BIRMINGHAM, AL 35203
PHONE: 205.333.4447
WWW.JOHNSON-CO.NET



date: 3/15/21

JOHNSON & CO.
Landscape Architects
2413 2nd Avenue South, Suite 101
Birmingham, AL 35203
Phone: 205.333.4447
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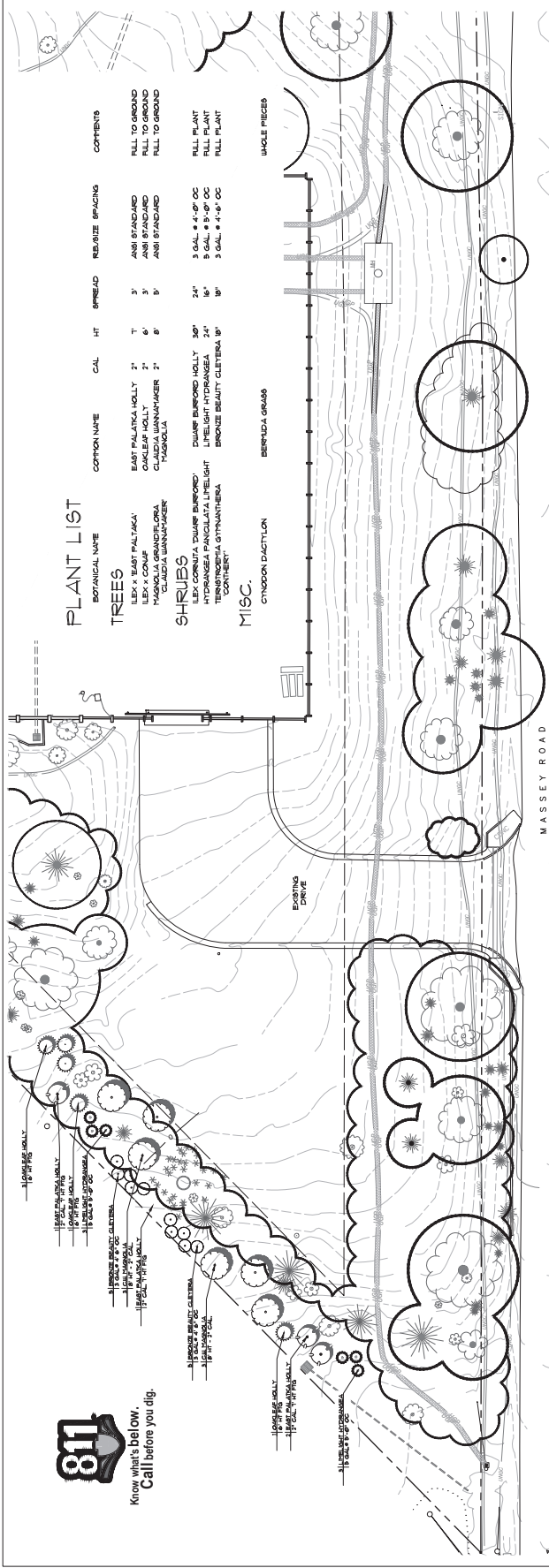
PROJECT

Alabama Power Company
Massey Road DS
Vestavia Hills, AL

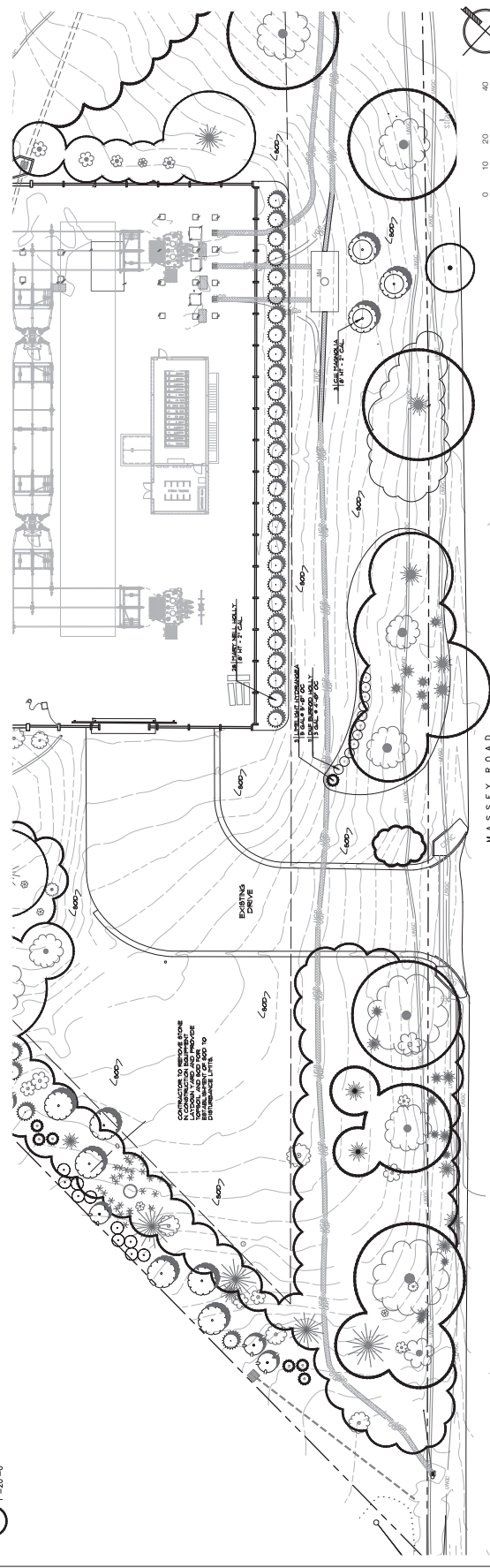
No.	Description	Date

Date: MARCH 15, 2021
Sheet Title: LANDSCAPE PLANS
Drawn By: JCO
Checked By: WJU
JCO Project No.
Scale
Sheet of
Drawing No.

L1.3



1 LANDSCAPE PHASE ONE - CONSTRUCTION YARD SCREENING
1"=20'-0"



2 LANDSCAPE PHASE TWO - LANDSCAPE ENHANCEMENT PLAN
1"=20'-0"

811
Know what's below.
Call before you dig.

PLANT LIST

BOTANICAL NAME	COMMON NAME	CALL	HT	SPREAD	REARIZE SPACING	COMMENTS
TREES						
LEX COMPA	SMALL PALM TREE	7"	7'	3'	ANSI STANDARD	FULL TO GROUND
LEX COMPA	SMALL PALM TREE	7"	6'	3'	ANSI STANDARD	FULL TO GROUND
MAGNOLIA GRANDIFLORA	CLAUDE LANNANHAGER	7"	8'	5'	ANSI STANDARD	FULL TO GROUND
MAGNOLIA GRANDIFLORA	CLAUDE LANNANHAGER	7"	8'	5'	ANSI STANDARD	FULL TO GROUND
SHRUBS						
DWARF BURFORD HOLLY	DWARF BURFORD HOLLY	24"	24"	24"	3 GAL. # 4"-6" OC	FULL PLANT
HYDRANGEA PANICULATA	L'HEIGHT HYDRANGEA	24"	18"	18"	5 GAL. # 9"-10" OC	FULL PLANT
TEANEREA SYMMETRICAL	BRONZE BEAUTY CLETHERA	8"	8"	8"	2 GAL. # 4"-6" OC	FULL PLANT
CONIFER						
MISC.						
CYNODON DACTYLON	BERMUDA GRASS					SHADE PIECES

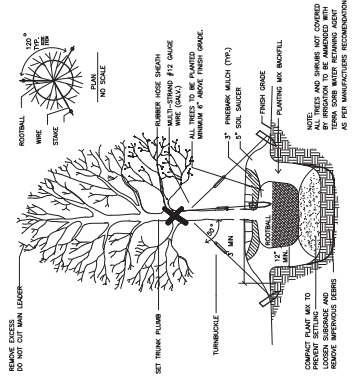
No.	Description	Date

Date: MARCH 15, 2021
Sheet Title: LANDSCAPE DETAILS
Drawn By: JCO
Checked By: WRJ
JCO Project No. _____
Scale: _____
Sheet _____ of _____
Drawing No. _____

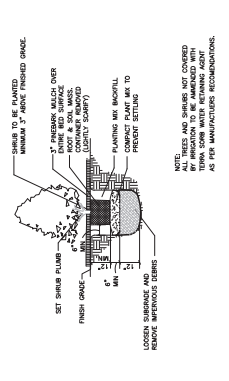
GENERAL NOTES

CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE INSPECTION PRIOR TO LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO VERIFY THE LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES BEFORE BEGINNING ANY CONSTRUCTION.
CONTRACTOR SHALL VERIFY PLANT COUNT FROM PLAN AND REPORT DIFFERENCES.
ALL TREES AND SPECIES PLANT MATERIAL SHALL BE LOCATED BY THE CONTRACTOR AT APPROVED NUMBERS OR THEIR EQUAL (SEE LIST) APPROVED PRIOR TO BEGINNING.
ALL PLANTS SHALL BE INSTALLED AS SPECIFIED OR RESUBSTITUTED BY THE LANDSCAPE ARCHITECT AT THE JOB SITE.
CONTRACTOR SHALL LAYOUT TREES AND BED LINES FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO PLANTING AT YINJINT 24. A NOTICE BOARD BE GIVEN AND ANTICIPATED BY THE CONTRACTOR.
CONTRACTOR SHALL VERIFY AND APPROVE 4" TOP SOIL IN SHUBS BEDS AND ALL AREAS TO BE NEEDED UNLESS OTHERWISE NOTED IN SPECIFICATIONS.
CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 3% POSITIVE DRAINAGE IN ALL PLANT AREAS.
PLANTS SHALL BE WELL FURRED, VIGOROUS GROUND SPECIES FREE FROM INJURY, INSECTS AND DISEASES. PLANTS SHALL EQUAL THE QUALITY AND SPECIFICATIONS OF THE AMERICAN NURSERY AND FLORICULTURE ASSOCIATION (ANFA) PUBLISHED BY THE AMERICAN NURSERYMEN INC.
ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN.
ALL SHRUBS, TREES AND GROUND COVERS SHALL BE PLANTED WITH A MINIMUM OF 10% ORGANIC MATERIAL AND PER SPECIFICATIONS.
FRONT SOIL OR BARRIERS SHALL BE PLANTED MINIMUM 24" BEHIND BED LINE & LAWS OR WALKS AND MINIMUM 36" BACK OF CURB & PARKING SPACES.
BACK SOIL OF SHRUB PLANTING SHALL BE PLANTED MINIMUM 24" BEHIND BED LINE & LAWS OR WALKS AND MINIMUM 36" BACK OF CURB BUILDING AS REQUIRED BY PLANT SPECIFICATIONS.
EXCAVATE EDGE OF ALL PLANTING BEDS TO 4" DEPTH TO FORT A NEAT CRISP DEFINITION.
ALL PLANTING BEDS AND TREE PITS SHALL BE MULCHED WITH A 3" SETTLED LAYER OF SPECIFIED MULCH.
GRADES TO AREAS TO BE GRADED SHALL BE ILLED AND GRADED TO A RATE OF 800 POUNDS PER 500 SQ FT. ADD TOP GREEN OR AT A RATE OF 800 POUNDS PER 500 SQ FT. ADD TOP GREEN OR MULCH TO ALL PLANTING BEDS TO A MINIMUM OF 2" DEPTH. MULCH DEPT. SHOULD BE COVERED WITH A THIN LAYER OF WHEAT STRAW.
GRADE ALL AREAS FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE BEGINNING.
SEASONAL COLOR SHALL BE PLANTED IN FLOWERING STATE.
CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL, INCLUDING GRASS, FOR ONE FULL YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
CHECK ALL GUT WIRES AND STAKES AT END OF GUARANTEE PERIOD.
WHEN TREES ARE PLANTED THE MONTHS OF MARCH THRU OCTOBER, THE LANDSCAPE CONTRACTOR SHALL AMEND THE SOIL GRADES FOR ONE FULL YEAR FROM DATE OF SUBSTANTIAL COMPLETION AS TERNAL-FORD OR EQUAL FOR EACH TREE INSTALLATION.

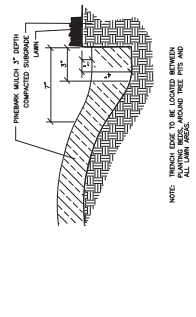
PROJECT WILL BE REVIEWED FOR PLAN CONFORMITY BY LANDSCAPE ARCHITECT. ALL MATERIALS, SPECIFICATIONS, MATERIAL NOT MEETING SPECIFICATIONS OR NOT SUPERIOR QUALITY WILL BE REJECTED AT THE TIME OF PUNCH LIST AND SUBJECT TO REPLACEMENT BY CONTRACTOR AT HIS OWN EXPENSE.



1. DETAIL TYPICAL TREE PLANTING AND GUYING
NOT TO SCALE



2. DETAIL TYPICAL EVERGREEN TREE PLANTING
NOT TO SCALE



3. TRENCH EDGER DETAIL FOR ALL BEDS
NOT TO SCALE



4. DETAIL TYPICAL CONTAINERIZED SHRUB PLANTING
NOT TO SCALE

NOTES.

- IF CONFLICTS EXIST BETWEEN PROPOSED LANDSCAPE AND SITE LIGHTING UTILITIES OR OTHER LANDSCAPE, THE LANDSCAPE ARCHITECT WILL BE RESPONSIBLE FOR RESOLVING THE CONFLICTS AND COORDINATE WITH LANDSCAPE ARCHITECT WHERE INSTALLED LOCATION OF LIGHTING VARIES FROM PLANS.
- IF SITE CONDITIONS EXIST SUCH AS LOW AREAS THAT WILL POTENTIALLY HOLD WATER OR ANY CONDITIONS THAT PROPOSE A THREAT TO THE LONG TERM SURVIVAL OF THE NEW LANDSCAPE, THE LANDSCAPE CONTRACTOR IS TO CONTACT THE LANDSCAPE ARCHITECT FOR CHANGES.
- IF THERE ARE CONDITIONS ARE NOT COORDINATED DURING CONSTRUCTION THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR RELOCATING NEW MATERIAL AT DIRECTION OF THE LANDSCAPE ARCHITECT AT THE OF PUNCH LIST. ALL CHANGES TO THE LANDSCAPE SHALL BE APPROVED BY LANDSCAPE ARCHITECT FOR CHANGES.
- ALL SHRUBS AT FRONT OF PARKING AREAS CENTER OF PLANT TO BE LOCATED 42" FROM BACK OF CURB.
- ALL SHRUBS ALONG DRIVES OR CURB CENTER OF PLANT TO BE LOCATED 36" FROM BACK OF CURB.
- CONTRACTOR RESPONSIBLE FOR OFF SITE DISTURBANCE AND REPLACEMENT OF LANDSCAPE / PLANT MATERIAL WITH LIKE KIND.
- IF CONFLICTS EXIST BETWEEN PLANTING AND SITE LIGHTING, CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT FOR CHANGES. ALL CHANGES TO THE LANDSCAPE SHALL BE APPROVED BY LANDSCAPE ARCHITECT FOR CHANGES.
- IF COORDINATION IS NOT MADE WITH ARCHITECT / GARDEN, CONTRACTOR WILL BE RESPONSIBLE FOR RELOCATION OF MATERIAL AND ADJUSTMENTS AT THE OF PUNCH LIST AS DIRECTED.