

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
AGENDA
JULY 1, 2021
6:00 P.M.**

Roll Call.

Approval of minutes – May 6, 2021

- (1) D-0721-09** The Falls Home Owner Association is requesting **Landscape Review** for the property located at **Massey Rd.** The purpose of this request is for a new landscaping plan. The property is owned by The Falls Home Owner Association and is zoned Vestavia Hills R-8.
- (2) D-0721-10** Dolly Ridge Holdings, LLC is requesting **Architectural Review & Final Review of Materials** for the property located at **4317 Dolly Ridge Rd.** The purpose of this request is for a new building. The property is owned by Dolly Ridge Holdings, LLC and is zoned Vestavia Hills B-1.2.
- (3) D-0721-11** The Barber Companies, Inc. is requesting **Architectural Review & Final Review of Materials** for the property located at **1069 Montgomery Hwy.** The purpose of this request is for renovation to an existing building building. The property is owned by The Barber Companies, Inc. and is zoned Vestavia Hills B-2.

Time of Adjournment.

CITY OF VESTAVIA HILLS

DESIGN REVIEW BOARD

MINUTES

MAY 6, 2021

The Vestavia Hills Landscape and Architectural Control Board met in a regular session on this date at 6:00 PM. The roll was called with the following:

MEMBERS PRESENT: Robert Thompson, Chairman
David Giddens
Joe Ellis
Chris Pugh
Jeff Slaton
Rip Weaver

MEMBERS ABSENT: Mae Coshatt

OTHER OFFICIALS PRESENT: Conrad Garrison, City Planner

APPROVAL OF MINUTES

The minutes for April 1, 2021 were presented for approval.

MOTION Motion to dispense with the reading of the minutes for April 1, 2021 was made by Mr. Weaver and 2nd was by Mr. Pugh. Motion as carried on a voice vote as follows:

Mr. Giddens– yes	Mr. Pugh – yes
Mr. Ellis– yes	Mr. Slaton– yes
Mr. Weaver – yes	Mr. Thompson – yes
Motion carries.	

**LANDSCAPE REVIEW, LANDSCAPE REVIEW, ARCHITECTURAL REVIEW,
AND FINAL REVIEW OF MATERIALS**

D-0521-08 Parker Ophthalmic Properties, LLC is requesting **Landscape Review, Architectural Review, Final Review of Materials** for the property located at **3745 Corporate Woods Dr.** The purpose of this request is for a new building. The property is owned by Parker Ophthalmic Properties, LLC and is zoned Vestavia Hills PB.

Mr. Garrison described the background of the request.

Brian Barrett and Brian Harris were present to explain the changes.

The Board agreed.

MOTION Motion to approve Landscape Review, Architectural Review, Final Review of Materials for the property located at 3745 Corporate Woods Dr. was made by Mr. Slaton. Second was made by Mr. Ellis. Voice vote as follows:

Mr. Giddens– yes

Mr. Ellis– yes

Mr. Weaver – yes

Motion carries.

Mr. Pugh – yes

Mr. Slaton– yes

Mr. Thompson – yes

Conrad Garrison
City Planner

CITY OF VESTAVIA HILLS DESIGN REVIEW BOARD APPLICATION

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: THE FALLS HOME OWNER ASSOC.

Address: THE FALLS

38 THE FALLS DRIVE

Phone #: 205-790-8668 Other #: _____

E-Mail: PCNNYHAFT@GMAIL.COM

Billing/Responsible Party (This Section Must Be Completed)

Name: NANCY HAGAN

Address: 8 THE FALLS DRIVE

VESTAVIA HILLS, AL 35216

Phone #: 205-253-0774 Other #: _____

E-Mail: HAGAN.NANCY@GMAIL.COM

Representing Attorney/Other Agent

Name: Penny Haft

Address: 35 THE FALLS DRIVE

VESTAVIA, AL 35216

Phone #: 205-790-8668 Other #: _____

E-Mail: PENNYHAFT@GMAIL.COM

II. DESCRIPTION OF PROPERTY:

LOCATION: "THE FALLS"
Street Address

Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST:

- | | | |
|----|--------------------------|---------------------------|
| 1. | <input type="checkbox"/> | Preliminary Review |
| 2. | <input type="checkbox"/> | Landscape Review |
| 3. | <input type="checkbox"/> | Architectural Review |
| 5. | <input type="checkbox"/> | Final Review of Materials |
| 6. | <input type="checkbox"/> | Other - Explain _____ |

IV. PROCESS:

- | | | |
|----|-------------------------------------|---|
| 1. | <input type="checkbox"/> | New Building |
| 2. | <input type="checkbox"/> | Renovation of Existing Building |
| 3. | <input type="checkbox"/> | New Landscape Plan |
| 4. | <input checked="" type="checkbox"/> | Renovation to Existing Landscaping Plan |
| 7. | <input type="checkbox"/> | Other - Explain _____ |

V. ZONING

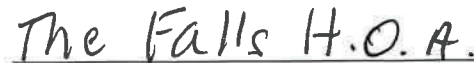
Vestavia Hills Zoning for the subject property is _____.

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. ****This application must be signed by the property owner before a Notary and the original application shall be submitted (no copies allowed).****



Owner Signature/Date



Representing Agent (if any)/date

Given under my hand and seal
this 14th day of June, 2021.



Notary Public

My commission expires _____
day of _____, 20_____.
**My Commission Expires
November 9, 2024**

Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

- General: Provide three copies and one digital copy (pdf format) of all drawings or plans required below for review. Drawings must be to scale. These drawings should be turned in with the application. Drawings shall be folded to size 8 ½” by 11”.
1. Architectural Review
 - a. Site plan showing roadways, entrances, exits and parking.
 - b. Building elevations showing construction material, material colors, context, and protrusions. Color rendering is preferred. Roof design must be detailed.
 - c. Presentation by architect or owner with knowledge of compatibility with adjacent structures, city context, etc.
 2. Landscape Review
 - a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
 - b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
 - c. Parking lots: Provide calculations of total square footage and square footage designated for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
 - d. Irrigation plan for all landscaped areas.
 - e. Statement of maintenance policy and provisions.

Massey Road Shrub Planting Plan

300 linear feet to be covered

Planting approx 75 plants

Planted 3.5' - 4' root to root. Depending on width Of plants

Potential shrubs depending on availability:

Loropetalum: Ever Red
Red Diamond
Ruby



**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
APPLICATION**

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: Dolly Ridge Holdings, LLC

Address: P.O. Box 43342

Phone #: 205.970.1116 Other #: _____

E-Mail: thickman@harbertrealty.com

Billing/Responsible Party (This Section Must Be Completed)

Name: Dolly Ridge Holdings, LLC

Address: 2 North 20th Street, Suite 1700, Birmingham ,AL 35

Phone #: 205.970.1116 Other #: _____

E-Mail: thickman@harbertrealty.com

Representing Attorney/Other Agent

Name: Derek Needham Williams Blackstock Architects

Address: 2204 First Avenue South

Birmingham, AL 35233

Phone #: 205-252-9811 Other #: _____

E-Mail: derek@wba-architects.com

II. DESCRIPTION OF PROPERTY:

LOCATION: 4317 Dolly Ridge Road

Street Address

Section 22, T.18S., R.2W

Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST:

- | | | |
|----|-------------------------------------|---------------------------|
| 1. | <input type="checkbox"/> | Preliminary Review |
| 2. | <input type="checkbox"/> | Landscape Review |
| 3. | <input checked="" type="checkbox"/> | Architectural Review |
| 5. | <input checked="" type="checkbox"/> | Final Review of Materials |
| 6. | <input type="checkbox"/> | Other - Explain _____ |

IV. PROCESS:

- 1. New Building
- 2. Renovation of Existing Building
- 3. New Landscape Plan
- 4. Renovation to Existing Landscaping Plan
- 7. Other - Explain _____

V. ZONING

Vestavia Hills Zoning for the subject property is B1.2.

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. ***This application must be signed by the property owner before a Notary and the original application shall be submitted (no copies allowed).***

[Signature] 6.15.21
Owner Signature/Date

[Signature] 6.15.21
Representing Agent (if any)/date

Given under my hand and seal
this 15 day of June, 20 21.

Jacqueline Hodge McShee
Notary Public



My commission expires 7
day of June, 20 21.



100% CONSTRUCTION DOCUMENTS
PARKSIDE AT DOLLY RIDGE
 HARBERT REALTY SERVICES
 4321 Dolly Ridge Rd, Vestavia Hills, AL 35216
 19-024

ARCHITECT OF RECORD:
WILLIAMS BLACKSTOCK ARCHITECTS
 2204 WEST PARKSIDE DRIVE, SUITE 200
 BIRMINGHAM, ALABAMA 35201
 PROJECT NUMBER:
19-024
 DRAWING TITLE:
SITE PLAN
 SHEET NUMBER:
C2.0

SITE INFORMATION:
 SITE ADDRESS - 4317 DOLLY RIDGE ROAD, VESTAVIA HILLS, AL 35243
 COUNTY - BETHLEHEM
 SECTION, TOWNSHIP AND RANGE - SECTION 22, T.16S. R.2W
 ZONING - BL-2
 EXISTING USE - NONE
 PROPOSED USE - RETAIL COMMERCIAL RESTAURANTS (14,000 SF TOTAL)
 SETBACK REQUIREMENTS - NO FRONT SETBACK REQD, 30' REAR SETBACK, NO SIDE SETBACK REQD.
 BUILDING AREA = 7,580 SF (OFFICE) + 3,000 SF (RESTAURANT) + 4,355 SF (RETAIL) = 14,935 SF TOTAL AREA
 EXISTING UTILITIES:
 WE ARE ASSUMING 1,600 SF OF PUBLIC FLOOR AREA IN RESTAURANT OFFICE = 2,580 SF + (1 RED. SPACE/250 SF) = 30.32 SPACES
 RESTAURANT = 1,600 SF + (1 RED. SPACE/40 SF) = 40 SPACES
 RETAIL = 4,355 SF + (1 RED. SPACE/200 SF) = 21.775 SPACES
 PROPOSED PARKING: 54 SPACES ADDED IN NEW DEVELOPMENT + 40 SPACES IN LOWER LEVEL LOT/PARKING
 94 SPACES PROVIDED
 FLOOD ZONE INFORMATION:
 FLOOD ZONE "X", FIRM NO. 010750279H, REV. SEPT. 3, 2010
 THIS PROPERTY LIES OUTSIDE THE 100-YEAR FLOOD ZONE.

EXISTING CONDITION NOTES
 1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXISTING UNDERGROUND UTILITIES SHALL BE LOCATED AND MARKED BEFORE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION TO THE ENGINEER AS SOON AS POSSIBLE. THE CONTRACTOR SHALL ASSUME NO RESPONSIBILITY IN DIFFERING SITE CONDITIONS.

GENERAL NOTES
 1. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS IN THE FIELD AND SHALL LOCATE ON THE GROUND WITH PNEUMATIC OR OTHER EASILY VISIBLE MEANS. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO CONSTRUCTION. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER IMMEDIATELY. THE UNDERGROUND UTILITIES SHOWN ON THE PLANS WERE PROVIDED TO THE CONTRACTOR BY THE CITY OF BIRMINGHAM. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES CONCERNING ALL UTILITY INTERRUPTIONS MUST BE SCHEDULED WITH THE ARCHITECT AND SCHOOL DIRECTOR OF CONSTRUCTION.
 2. ANY CHANGES OR REVISIONS TO THE PLANS SHALL BE OFFICIALLY SUBMITTED TO THE ARCHITECT AND APPROVED BY THE ARCHITECT AND THE PROJECT ENGINEER. APPROVAL OF CHANGES/REVISIONS OR THEY WILL BE AT CONTRACTOR'S RISK.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION & DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ACCORDING TO THE CITY OF BIRMINGHAM. THE CONTRACTOR SHALL PRESERVE AND PROTECT ACCORDING TO THE CITY OF BIRMINGHAM. THE CONTRACTOR SHALL PRESERVE AND PROTECT ACCORDING TO THE CITY OF BIRMINGHAM.
 4. ANY CHANGES OR REVISIONS MADE TO THE PLANS SHALL BE OFFICIALLY SUBMITTED TO THE ARCHITECT AND APPROVED BY THE ARCHITECT AND THE PROJECT ENGINEER. APPROVAL OF CHANGES/REVISIONS OR THEY WILL BE AT CONTRACTOR'S RISK.
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 10. THE CONTRACTOR SHALL TAKE EVERY PRECAUTION FOR THE SAFETY OF ALL PERSONNEL AND CHILDREN DURING WORK HOURS AND WHILE THE CONTRACTOR IS NOT PRESENT.
 11. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL TRAFFIC CONTROL MEASURES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL MEASURES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL MEASURES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL MEASURES DURING CONSTRUCTION.
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 15. ALL PAINT STOPPING MATERIAL SHALL BE ACCORDING TO ARCHITECTURAL REQUIREMENTS. HANDICAP PARKING AND SIGNAGE TO BE IN ACCORDANCE WITH ADA REQUIREMENTS.
 16. CONTRACTOR TO INSTALL 4" PVC CONDUIT CONNECTING ALL LANDSCAPE AREAS.
 17. ANY QUESTIONS OR COORDINATION ITEMS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER IMMEDIATELY.
 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION & DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ACCORDING TO THE CITY OF BIRMINGHAM. THE CONTRACTOR SHALL PRESERVE AND PROTECT ACCORDING TO THE CITY OF BIRMINGHAM. THE CONTRACTOR SHALL PRESERVE AND PROTECT ACCORDING TO THE CITY OF BIRMINGHAM.
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LAYOUT NOTES
 1. DIMENSIONS FOR CURBS AND GUTTER ARE SHOWN FROM FACE OF BUILDING AND BACK OF CURB, UNLESS NOTED. ALL RADII ARE DIMENSIONED FROM FACE OF CURB.
 2. CONTRACTOR MUST CHECK BUILDING DIMENSIONS ON CIVIL PLAN WITH DIMENSIONS TO LAYOUT THE BUILDING. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER IMMEDIATELY.
 3. CONTRACTOR SHALL VERIFY THE LOCATION & DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ACCORDING TO THE CITY OF BIRMINGHAM. THE CONTRACTOR SHALL PRESERVE AND PROTECT ACCORDING TO THE CITY OF BIRMINGHAM. THE CONTRACTOR SHALL PRESERVE AND PROTECT ACCORDING TO THE CITY OF BIRMINGHAM.
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UTILITY NOTES
 1. ALL DIMENSIONS AND SPACING SHALL COMPLY WITH ALABAMA POWER REQUIREMENTS AND SPECIFICATIONS.
 2. ALL WORK TO THE SANITARY SEWER SYSTEM MUST COMPLY WITH THE CITY OF BIRMINGHAM SPECIFICATIONS.
 3. ALL WORK TO THE NATURAL GAS SYSTEM MUST COMPLY WITH THE CITY OF BIRMINGHAM SPECIFICATIONS.
 4. ALL WORK TO THE WATER SERVICE SHALL COMPLY WITH BIRMINGHAM SPECIFICATIONS. ALL WORK MUST BE APPROVED PRIOR TO CONSTRUCTION.
 5. COORDINATION BETWEEN CROSSING UTILITIES UNLESS OTHERWISE NOTED.

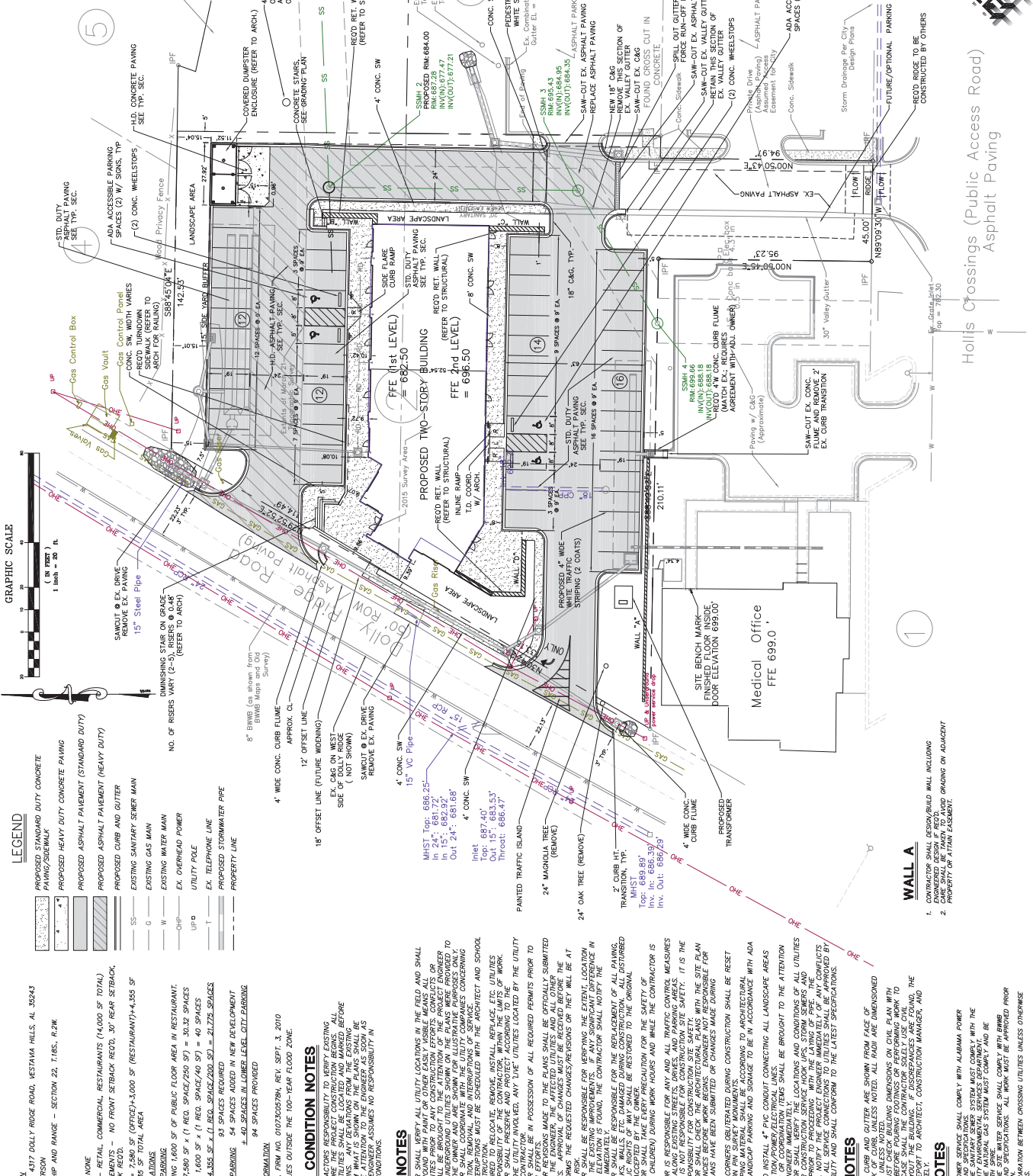
LEGEND
 PROPOSED STANDARD DUTY CONCRETE PAVING/SIDEWALK
 PROPOSED ASPHALT PAVEMENT (STANDARD DUTY)
 PROPOSED ASPHALT PAVEMENT (HEAVY DUTY)
 PROPOSED CURB AND GUTTER
 EXISTING SANITARY SEWER MAIN
 EXISTING GAS MAIN
 EXISTING WATER MAIN
 EX. OVERHEAD POWER
 UTILITY POLE
 EX. TELEPHONE LINE
 PROPOSED STORMWATER PIPE
 PROPERTY LINE

GRAPHIC SCALE
 1 inch = 20 ft
 (IN FOOT)
 1 inch = 20 ft

PROPOSED TWO-STORY BUILDING
 FFE (1st LEVEL) = 692.50
 FFE (2nd LEVEL) = 696.50
 Medical Office FFE 699.0

WALL A
 1. ENGINEER DESIGN IF REQ'D FOR GRADING ON ADJACENT PROPERTY OR AT THE EASEMENT.
 2. PROPERTY OF A TOWN EASEMENT.

Hollis Crossings (Public Access Road) Asphalt Paving



PROPOSED ASPHALT PAVING (STANDARD DUTY)
 PROPOSED ASPHALT PAVEMENT (HEAVY DUTY)
 PROPOSED CURB AND GUTTER
 EXISTING SANITARY SEWER MAIN
 EXISTING GAS MAIN
 EXISTING WATER MAIN
 EX. OVERHEAD POWER
 UTILITY POLE
 EX. TELEPHONE LINE
 PROPOSED STORMWATER PIPE
 PROPERTY LINE

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 PROPOSED CURB AND GUTTER
 EXISTING SANITARY SEWER MAIN
 EXISTING GAS MAIN
 EXISTING WATER MAIN
 EX. OVERHEAD POWER
 UTILITY POLE
 EX. TELEPHONE LINE
 PROPOSED STORMWATER PIPE
 PROPERTY LINE

UTILITY NOTES

1. ALL WORK TO BE PERFORMED SHALL COMPLY WITH ALABAMA POWER.
2. ALL WORK TO THE SANITARY SEWER SYSTEM MUST COMPLY WITH THE
3. ALL WORK TO THE WATER MAIN SYSTEM MUST COMPLY WITH THE
4. ALL WORK TO THE WATER SERVICE SHALL COMPLY WITH BMB
5. 12" MINIMUM SEPARATION BETWEEN CROSSING UTILITIES UNLESS OTHERWISE

JOES NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY
2. SURVEY FOR THE JOES SEWER MANHOLE AND SITE ADJUSTMENTS
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY

UTILITY CONTACTS

ALBERT CONTACT - REGGIO LUNGERHOE - (205) 938-6645
 JOYNA HERNAIMIZ - (205) 938-9032
 CHARLES/SPECTRA CONTACT - GIFF EDWARDS - (205) 573-6708
 M. (205) 536-1076

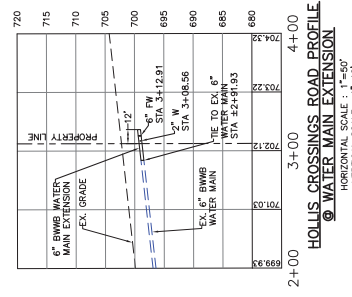
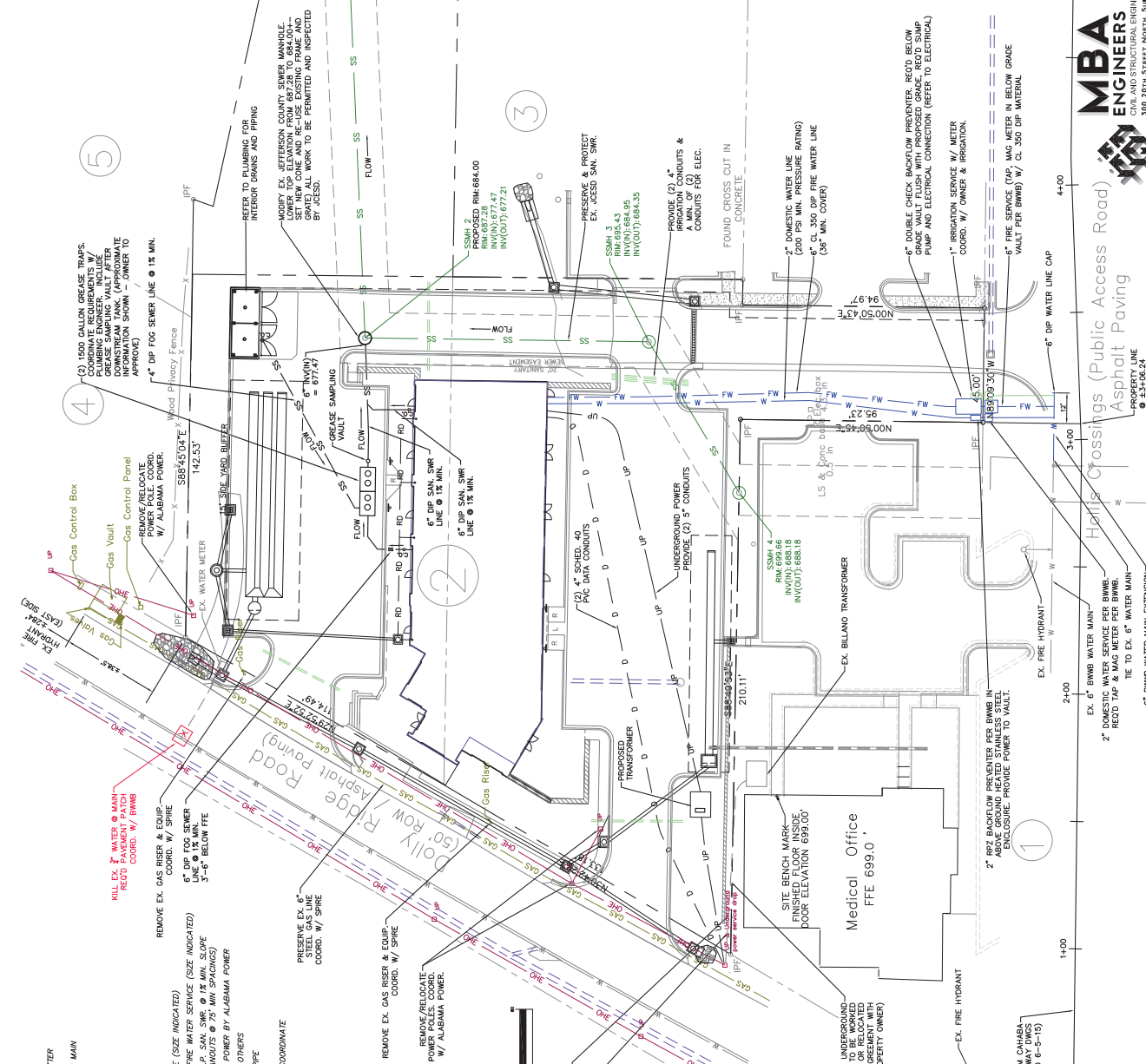
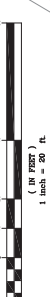
BMBWS NOTES

1. ALL METERS, BACKFLOW PREVENTERS, VALVES, ETC. SHALL COMPLY WITH BMB STANDARDS AND SPECIFICATIONS.
- 1A. THE CONTRACTOR SHALL INCLUDE IN HIS BID ALL ITEMS NECESSARY TO GET NEW WATER SERVICE TO THE BUILDING FOR THE BMB.
2. FIRE SPRINKLER DEMAND TO BE PROVIDED BY FIRE PROTECTION ENGINEER.
3. FIRE DEPARTMENT DEMAND (GPM @ PSI @ FOR A DURATION)
4. ALL FIRE SERVICES, BIRMINGHAM WATER WORKS BOARD WILL INSTALL AND TEST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION UP TO AND INCLUDING THE MAGNETIC FLOW METER VALVE.
5. BMB WILL CONDUCT FULL INSTALLS ON 4" AND LARGER DOMESTIC SERVICES.
6. ASSEMBLY MUST BE INSTALLED OUTSIDE OF THE CURB. THE BACKFLOW DEPARTMENT WILL REVIEW AND EVALUATE SPECIAL CONDITIONS ON A CASE BY CASE BASIS.
7. THE CUSTOMER WILL BE RESPONSIBLE FOR KILLING ALL EXISTING AND NEW SERVICE CONNECTIONS TO THE WATER MAIN AND INSPECTED BY BMB PERSONNEL BEFORE THE NEW SERVICES WILL BE ACTIVATED. ANY EXISTING SERVICE TO BE REMOVED MUST BE REMOVED BY THE CONTRACTOR. THE BMB BOARD'S METER DEPARTMENT AND BROUGHT UP TO CURRENT WATER BOARD STANDARD. NO EXCEPTIONS.
8. THE DOMESTIC SERVICE AND/OR FIRE SERVICE BACKFLOW PREVENTER MUST BE INSTALLED IN THE MAIN. THE CUSTOMER WILL BE REQUIRED TO REMOVE ANY BACKFLOW PREVENTER ASSEMBLY AND REINSTALLATION OF A BACKFLOW PREVENTER MUST BE INCURRED BY THE CUSTOMER AND NOT THE WATER BOARD.
9. THE FIRE SERVICE AND/OR DOMESTIC SERVICE MAGNETIC FLOW METER VALVES MUST HAVE LOCATION AND ELEVATION STAKES MARKED ON THE MAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OWNER OR HIS/HER REPRESENTATIVE MUST SIGN THE BMB FORM THAT STATES THE VALVES ARE SET AT THE PROPER LOCATION AND REINSTALLATION OF A MAGNETIC FLOW METER VALVE WILL BE INCURRED BY THE CUSTOMER AND NOT THE WATER BOARD.
10. BMB WILL NOT MAKE ANY FIELD CHANGES ONCE THE DRAWING HAS BEEN SUBMITTED. ANY CHANGES TO THE DRAWING MUST BE REQUIRED BY THE CUSTOMER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE APPROPRIATE PROJECT COORDINATOR IN SYSTEM DEVELOPMENT VIA EMAIL AND RESPONSIBLE FOR THE APPROPRIATE DEVELOPMENT.

LEGEND

- PROPOSED CURB AND GUTTER
- SS - EXISTING SANITARY SEWER MAIN
- C - EXISTING GAS MAIN
- W - EXISTING WATER MAIN
- OHP - EX. OVERHEAD POWER
- UTILITY POLE
- T - EX. TELEPHONE LINE
- W - PROPOSED WATER SERVICE (SIZE INDICATED)
- FW - PROPOSED CL 150 D.I.P. FIRE WATER SERVICE (SIZE INDICATED)
- SS - PROPOSED CLASS 950 D.I.P. SAN. SWS @ 1% MIN. SLOPE (18" MIN. COVER W/ CLEANSOUTS @ 75' MIN. SPACINGS)
- UP - PROPOSED UNDERGROUND POWER BY ALABAMA POWER
- D - PROPOSED DATA LINE BY OTHERS
- PROPERTY LINE
- PVC SAND. 40 CONDUIT, COORDINATE W/ OWNER & IRRIGATION.

GRAPHIC SCALE



HOLLIS CROSSINGS ROAD PROFILE @ WATER MAIN EXTENSION
 HORIZONTAL SCALE: 1"=50'
 VERTICAL SCALE: 1"=10'



MBA ENGINEERS
 CIVIL AND STRUCTURAL ENGINEERS
 300 20TH STREET NORTH, SUITE 100
 BIRMINGHAM, ALABAMA 35203
 P (205) 323-6585 F (205) 324-0698

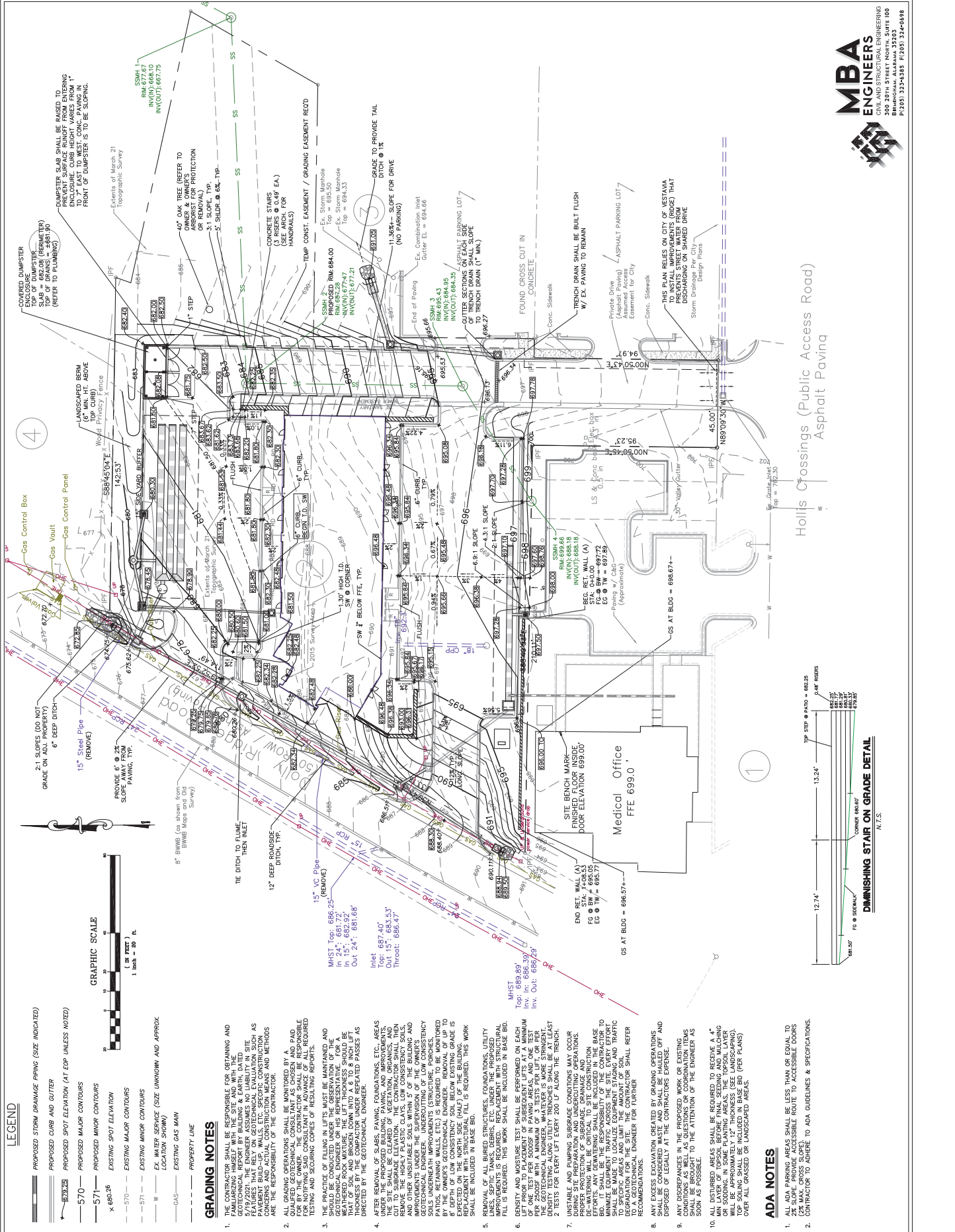


100% CONSTRUCTION DOCUMENTS
 PARKSIDE AT DOLY RIDGE
 HARBERT REALTY SERVICES
 4321 Dolly Ridge Rd, Vestavia Hills, AL 35216
 19-024
 03/2024

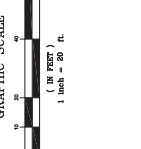
WILLIAMS BLACKSTOCK ARCHITECTS
 2204 WEST AUBURN ROAD, SUITE 200
 BIRMINGHAM, ALABAMA 35201
 06/11/2021
PROJECT NUMBER: 19-024
DRAWING TITLE: GRADING PLAN



MBA ENGINEERS
 CIVIL AND STRUCTURAL ENGINEERING
 300 20TH STREET NORTH, SUITE 100
 BIRMINGHAM, ALABAMA 35203
 (205) 323-6585 (F205) 324-0698



- LEGEND**
- PROPOSED STORM DRAINAGE PIPING (SIZE INDICATED)
 - PROPOSED CURB AND GUTTER
 - 698.28 PROPOSED SPOT ELEVATION (AT EOP UNLESS NOTED)
 - 570 PROPOSED MAJOR CONTOURS
 - 571 PROPOSED MAJOR CONTOURS
 - x 690.26 EXISTING SPOT ELEVATION
 - 570- EXISTING MAJOR CONTOURS
 - 571- EXISTING MAJOR CONTOURS
 - W - EX. WATER SERVICE (SIZE UNKNOWN AND APPROX. LOCATION SHOWN)
 - GAS - EXISTING GAS MAIN
 - P - PROPERTY LINE



GRADING NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PROVIDING A GEOTECHNICAL REPORT BY BUILDING & EARTH, DATED 6/19/2021. THE ENGINEER WILL REVIEW THE GEOTECHNICAL REPORT AND PROVIDE COMMENTS AND RECOMMENDATIONS. THE CONTRACTOR SHALL PROVIDE A GEOTECHNICAL ENGINEER OR HIS REPRESENTATIVE, FOR A WEATHERED ROCK MATURE, THE LEFT THICKNESS SHOULD BE AT LEAST 8\"/>

ADA NOTES

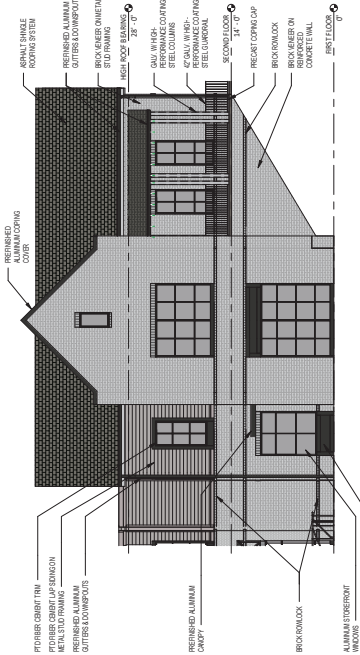
- ADA PARKING AREAS SHALL BE LESS THAN OR EQUAL TO ALL ADA POSSIBLE AREAS TO ACCESSIBLE DOORS (2% MAX. CROSS SLOPE).
- CONTRACTOR TO ADHERE TO ADA GUIDELINES & SPECIFICATIONS.

NOT FOR CONSTRUCTION

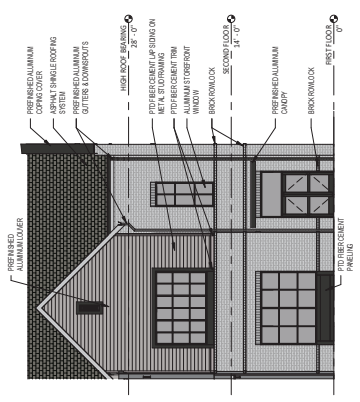
DOLLY RIDGE RETAIL DEVELOPMENT
 100% CONSTRUCTION DOCUMENTS
 HARBERT REALTY SERVICES
 4321 Dolly Ridge Rd, Vestavia Hills, AL 35216
 19-024

PROJECT NO. 19-024
 PROJECT NAME: DOLLY RIDGE RETAIL DEVELOPMENT
 ARCHITECT: WILLIAMS BLACKSTOCK ARCHITECTS
 2204 WEST AVENUE SOUTH, SUITE 200
 BIRMINGHAM, ALABAMA 35201
 ISSUE DATE: 06-18-2021
 REVISIONS: (None listed)

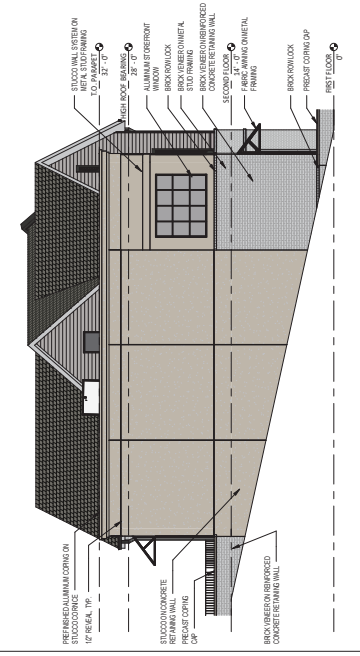
PROJECT NUMBER: 19-024
 DRAWING TITLE: EXTERIOR ELEVATIONS
 SHEET NUMBER: A3.1



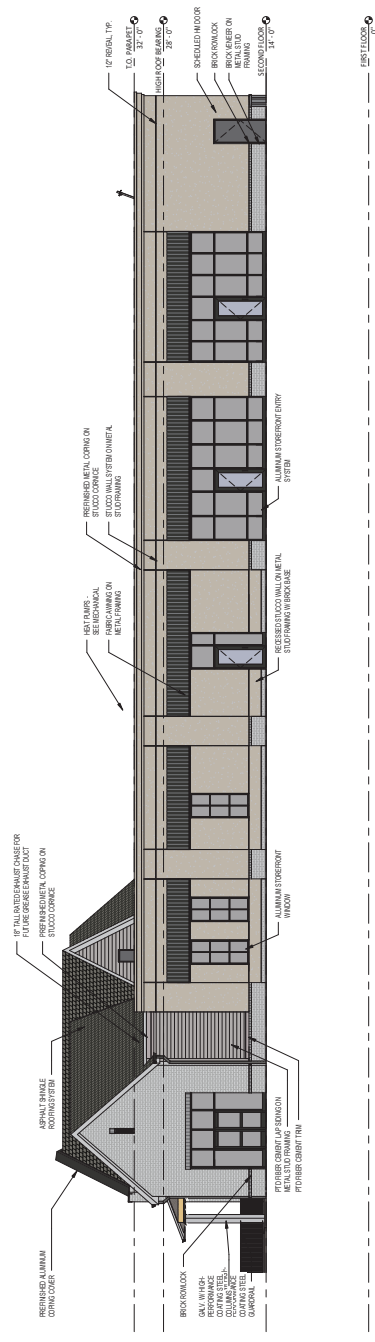
4 NORTHWEST ELEVATION
 SCALE: 1/8" = 1'-0" REF: 1 (A.1)



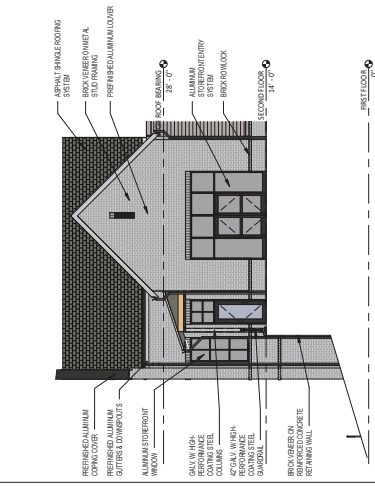
5 NORTHEAST ELEVATION
 SCALE: 1/8" = 1'-0" REF: 1 (A.1)



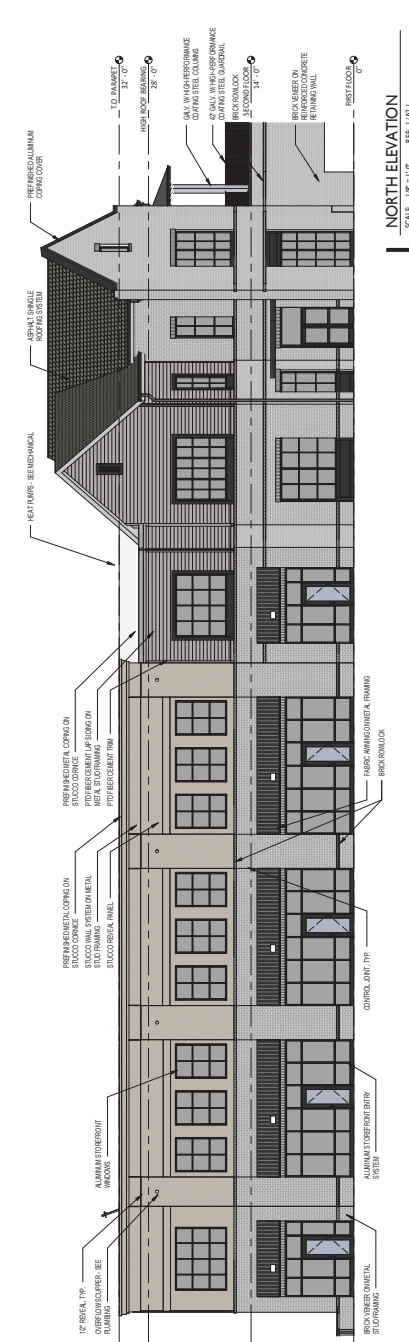
6 EAST ELEVATION
 SCALE: 1/8" = 1'-0" REF: 1 (A.1)



2 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0" REF: 1 (A.1)



3 SOUTHWEST ELEVATION
 SCALE: 1/8" = 1'-0" REF: 1 (A.1)



1 NORTH ELEVATION
 SCALE: 1/8" = 1'-0" REF: 1 (A.1)



NOT FOR CONSTRUCTION

DOLLY RIDGE RETAIL DEVELOPMENT
100% CONSTRUCTION DOCUMENTS
HARBERT REALTY SERVICES
4321 Dolly Ridge Rd, Vestavia Hills, AL 35216
19-024

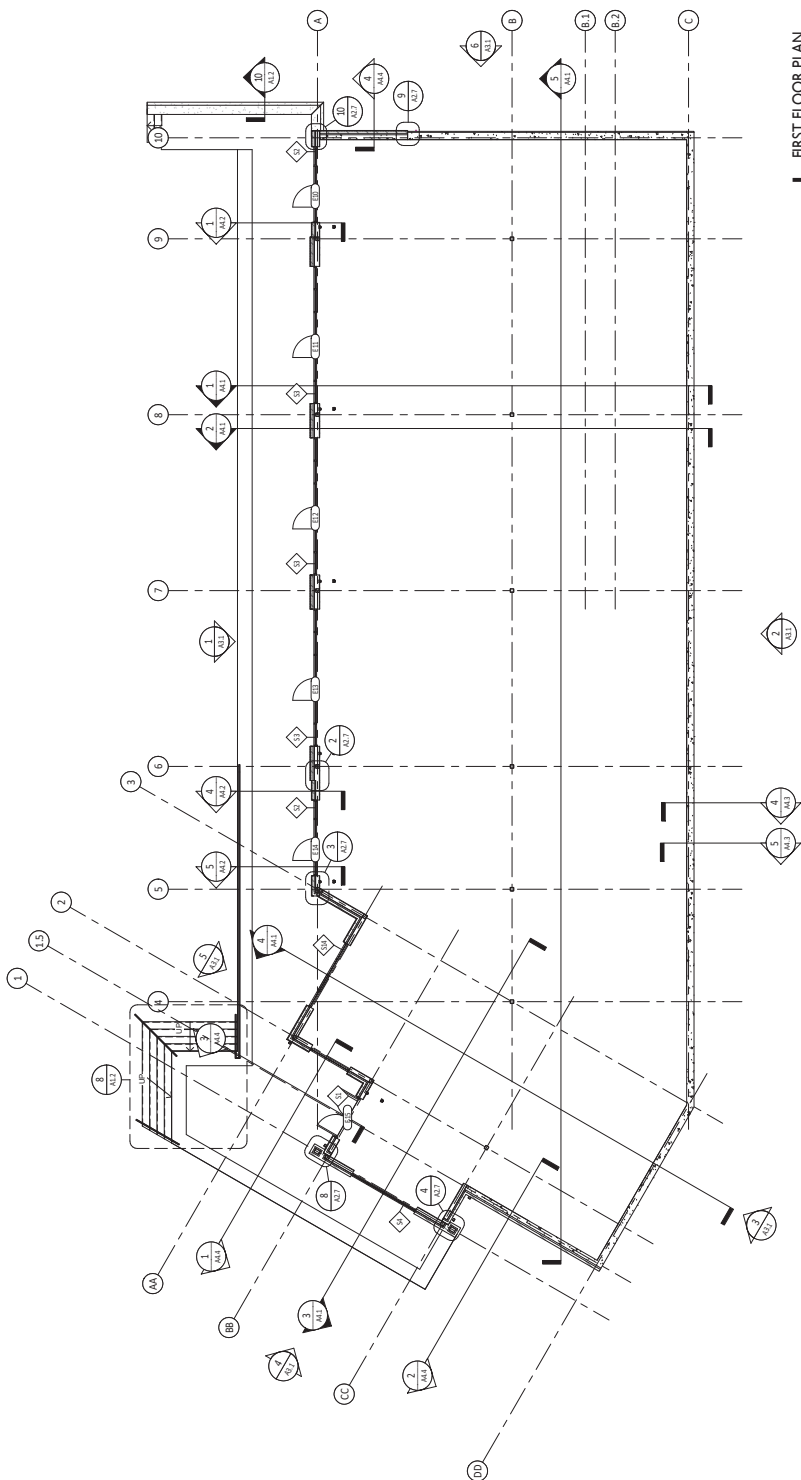
ARCHITECT OF RECORD:
**WILLIAMS
BLACKSTOCK
ARCHITECTS**
2204 FIRST AVENUE SOUTH, SUITE 300
BIRMINGHAM, ALABAMA 35203

ISSUE NO. DATE
06-18-2021

PROJECT NUMBER:
19-024

DRAWING TITLE:
FIRST FLOOR
PLAN

SHEET NUMBER:
A2.1



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0" REF: 7/003



NOT FOR CONSTRUCTION

DOLLY RIDGE RETAIL DEVELOPMENT
100% CONSTRUCTION DOCUMENTS
HARBERT REALTY SERVICES
4321 Dolly Ridge Rd, Vestavia Hills, AL 35216
19-024

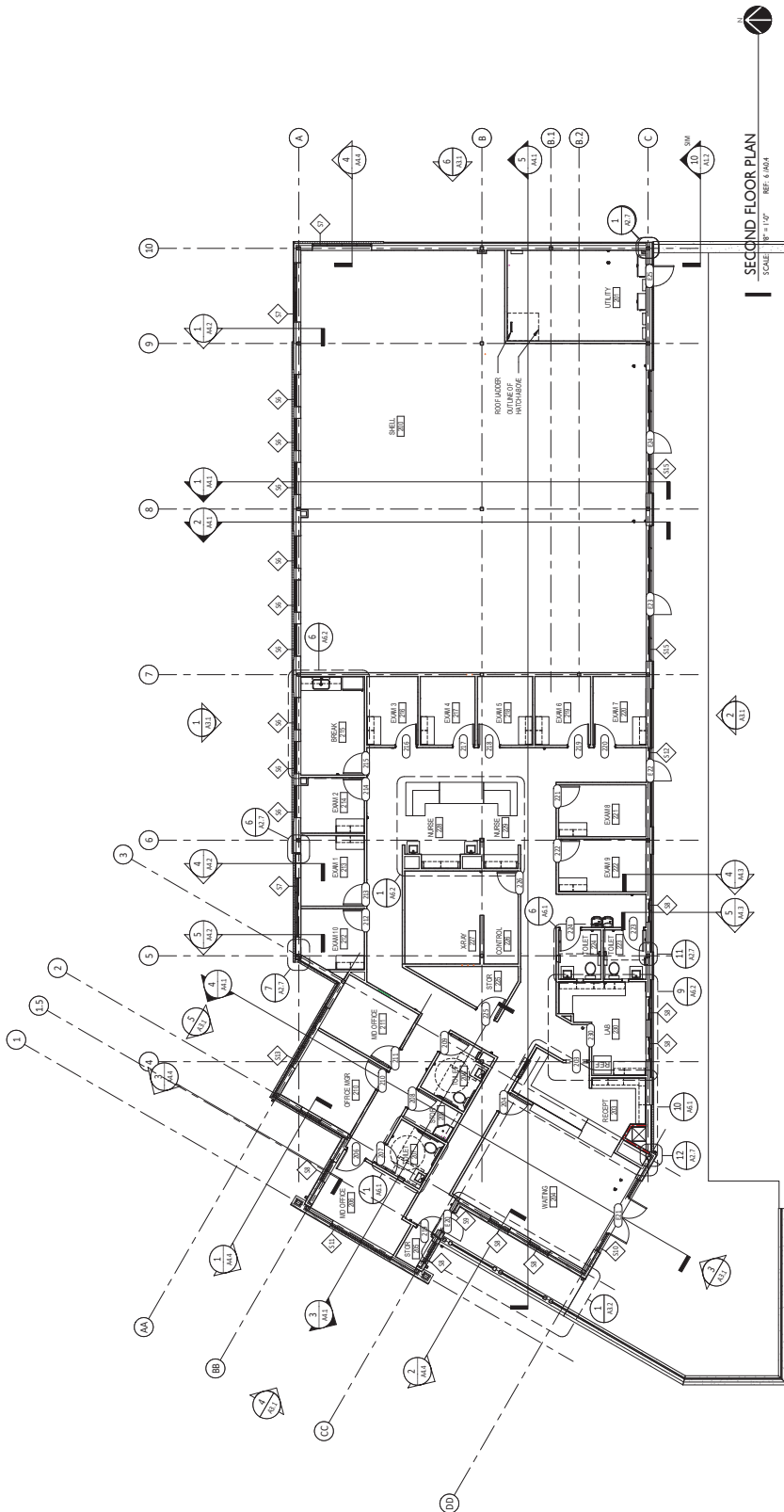
ARCHITECT OF RECORD:
**WILLIAMS
BLACKSTOCK
ARCHITECTS**
2204 FIRST AVENUE SOUTH, SUITE 300
BIRMINGHAM, ALABAMA 35203

ISSUE DATE:
06-18-2021

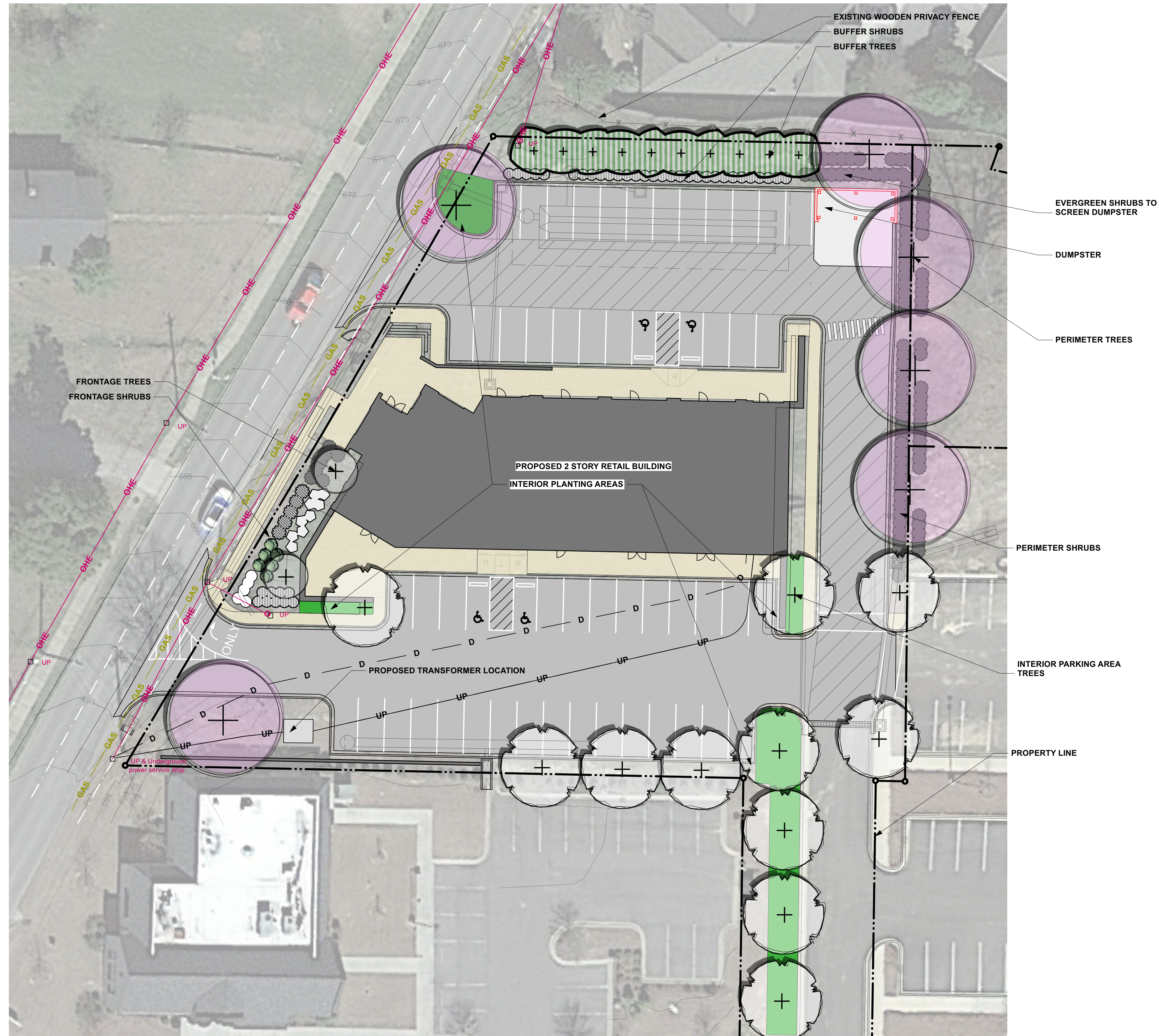
PROJECT NUMBER:
19-024

DRAWING TITLE:
**SECOND FLOOR
PLAN**

SHEET NUMBER:
A2.3



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"
REF: A.004

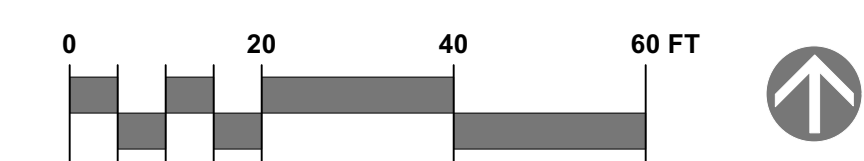


VESTAVIA HILLS LANDSCAPE REQUIREMENTS

SUBJECT PROPERTY ZONING	B-1			
ADJACENT PROPERTY ZONING	B-1, R-6			
TOTAL SITE AREA	48,341.883 sq ft			
REQ'D MIN GREEN SPACE BUFFER	REQUIRED			PROVIDED
PROPERTY BUFFER CLASS	B			
BUFFER LF	143 ft			
REQ'D WIDTH (WALL)	15 ft			
REQ'D TREES	10 in a single row			10
REQ'D SHRUBS	30 in a single row			30
FRONTAGE LANDSCAPING	REQUIRED			PROVIDED
FRONTAGE LF	86 ft			
MIN DEPTH OF PLANTING STRIP	8 ft			
REQ'D TREES	2 UNDERSTORY OR 2 CANOPY			2 UNDERSTORY
REQ'D SHRUBS	29 3-GALLON OR 18 5-GALLON			42
PERIMETER LANDSCAPING	REQUIRED			PROVIDED
PERIMETER LF	623 FT			
MIN DEPTH OF PLANTING STRIP	5 FT			15 FT
REQ'D TREES	13 CANOPY OR 16 UNDERSTORY			13
REQ'D SHRUBS	208 3-GALLON OR 125 5-GALLON			191 5-GALLON
INTERIOR LANDSCAPING	REQUIRED			PROVIDED
REQ'D INTERIOR LANDSCAPING	1080 sq ft			1793 sq ft
BUILDING LANDSCAPING	REQUIRED			PROVIDED
BUILDING ELEVATION LF1	152 FT			
MIN DEPTH OF PLANTING STRIP	6 FT			N/A
REQ'D TREES	3 CANOPY OR 4 UNDERSTORY			N/A
REQ'D SHRUBS	30 SHRUBS OR 30 HEDGE PLANTS			N/A
BUILDING ELEVATION LF2	134 FT			
MIN DEPTH OF PLANTING STRIP	6 FT			N/A
REQ'D TREES	3 CANOPY OR 4 UNDERSTORY			N/A
REQ'D SHRUBS	27 SHRUBS OR 27 HEDGE PLANTS			N/A

1 **LANDSCAPE COMPLIANCE PLAN**
 Scale: 1" = 20'-0"

CONCEPTUAL
 PENDING • CITY • APPROVAL



DOLLY RIDGE RETAIL DEVELOPMENT
100% CONSTRUCTION DOCUMENTS
 HARBERT REALTY SERVICES
 4821 Dolly Ridge Rd., Vestavia Hills, AL 35216
 19-024

KEY PLAN :

ARCHITECT OF RECORD :
WILLIAMS BLACKSTOCK ARCHITECTS
 2204 FIRST AVENUE SOUTH, SUITE 200
 BIRMINGHAM, ALABAMA 35233

ISSUE DATE:
07-02-2021

REVISIONS:

NO.	DATE	DESCRIPTION
-----	------	-------------

PROJECT NUMBER:
19-024

DRAWING TITLE:
LANDSCAPE COMPLIANCE PLAN

SHEET NUMBER:
1-1

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
APPLICATION**

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: The Barber Companies, Inc., an Alabama Corporation

Address: 27 Inverness Center Parkway
Birmingham, AL 35242

Phone #: 205.995.9119 Other #: _____

E-Mail: tsmith@barbercompanies.com

Billing/Responsible Party (This Section Must Be Completed)

Name: Vapor Thrift Store, LLC

Address: 338 Talladega Springs Road
Sylacauga, AL 35151

Phone #: 205.789.7900 Other #: _____

E-Mail: mdavenport@vaporministries.org

Representing Attorney/Other Agent

Name: Vapor Thrift Store, LLC / Mike Davenport

Address: 338 Talladega Springs Road
Sylacauga, AL 3151

Phone #: 205.789.7900 Other #: _____

E-Mail: mdavenport@vaporministries.org

II. DESCRIPTION OF PROPERTY:

Vapor Thrift Store

LOCATION: 1069 Montgomery Hwy, Vestavia Hills, AL 35216

Street Address

Lot 10-A, according to a Resurvey of Lots 9-12, and part of Lot 13, according to the survey of Mellow-Lite Farms, Inc., as recorded in Map Book 88, Page 9 in the Probate Office of Jefferson County, Alabama

Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST:

- | | | |
|----|-------------------------------------|---------------------------|
| 1. | <input type="checkbox"/> | Preliminary Review |
| 2. | <input type="checkbox"/> | Landscape Review |
| 3. | <input checked="" type="checkbox"/> | Architectural Review |
| 5. | <input checked="" type="checkbox"/> | Final Review of Materials |
| 6. | <input type="checkbox"/> | Other - Explain _____ |

IV. PROCESS:

- | | | |
|----|-------------------------------------|---|
| 1. | <input type="checkbox"/> | New Building |
| 2. | <input type="checkbox"/> | Renovation of Existing Building |
| 3. | <input type="checkbox"/> | New Landscape Plan |
| 4. | <input type="checkbox"/> | Renovation to Existing Landscaping Plan |
| 7. | <input checked="" type="checkbox"/> | Other - Explain <u>Addition of aluminum canopy at receiving</u> |

V. ZONING

Vestavia Hills Zoning for the subject property is _____.

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. **This application must be signed by the property owner before a Notary and the original application shall be submitted (no copies allowed).**

 6/17/21
Owner Signature/Date

David Johnson - Vapor Intl.
Representing Agent (if any)/date

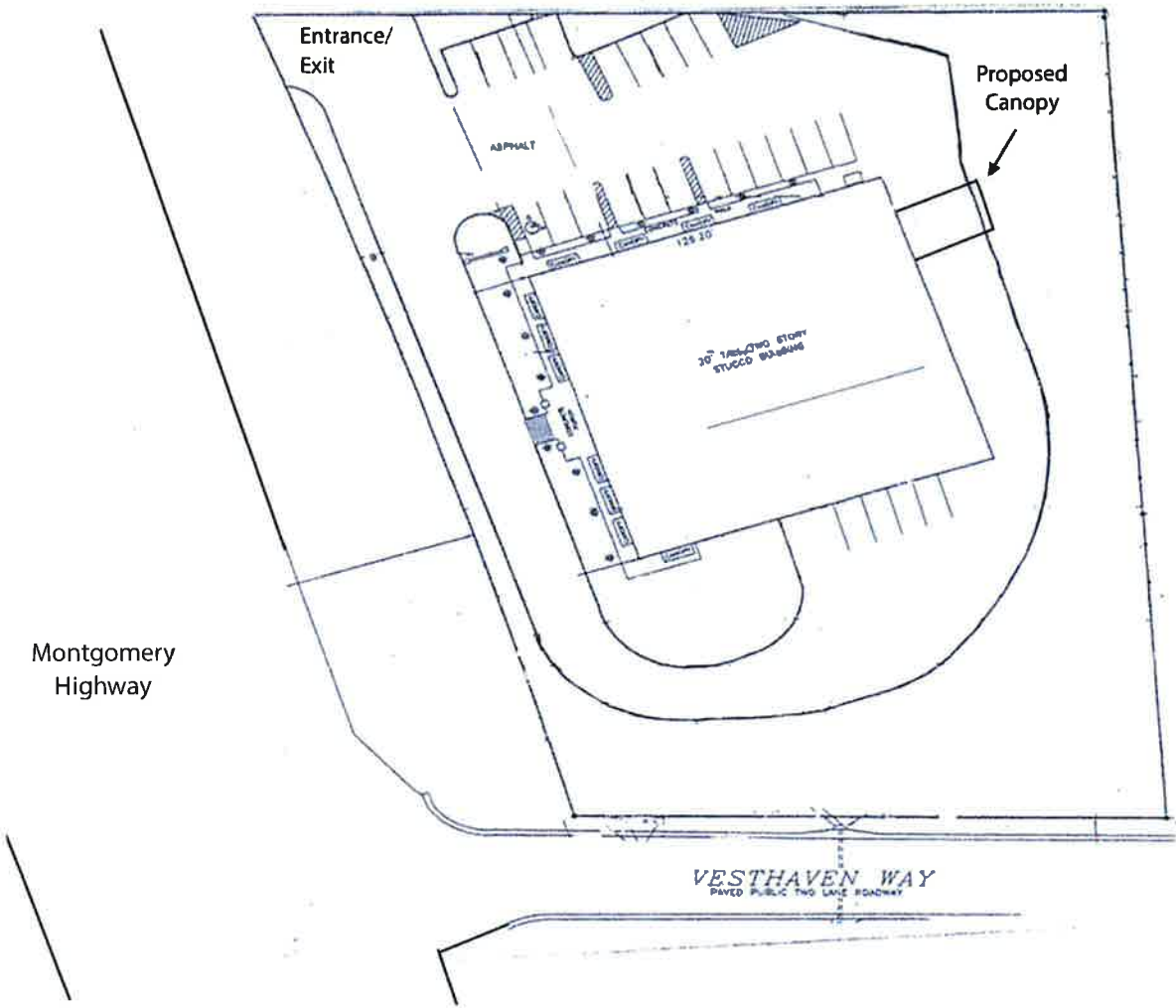
Given under my hand and seal
this 17 day of June, 2021.


Notary Public

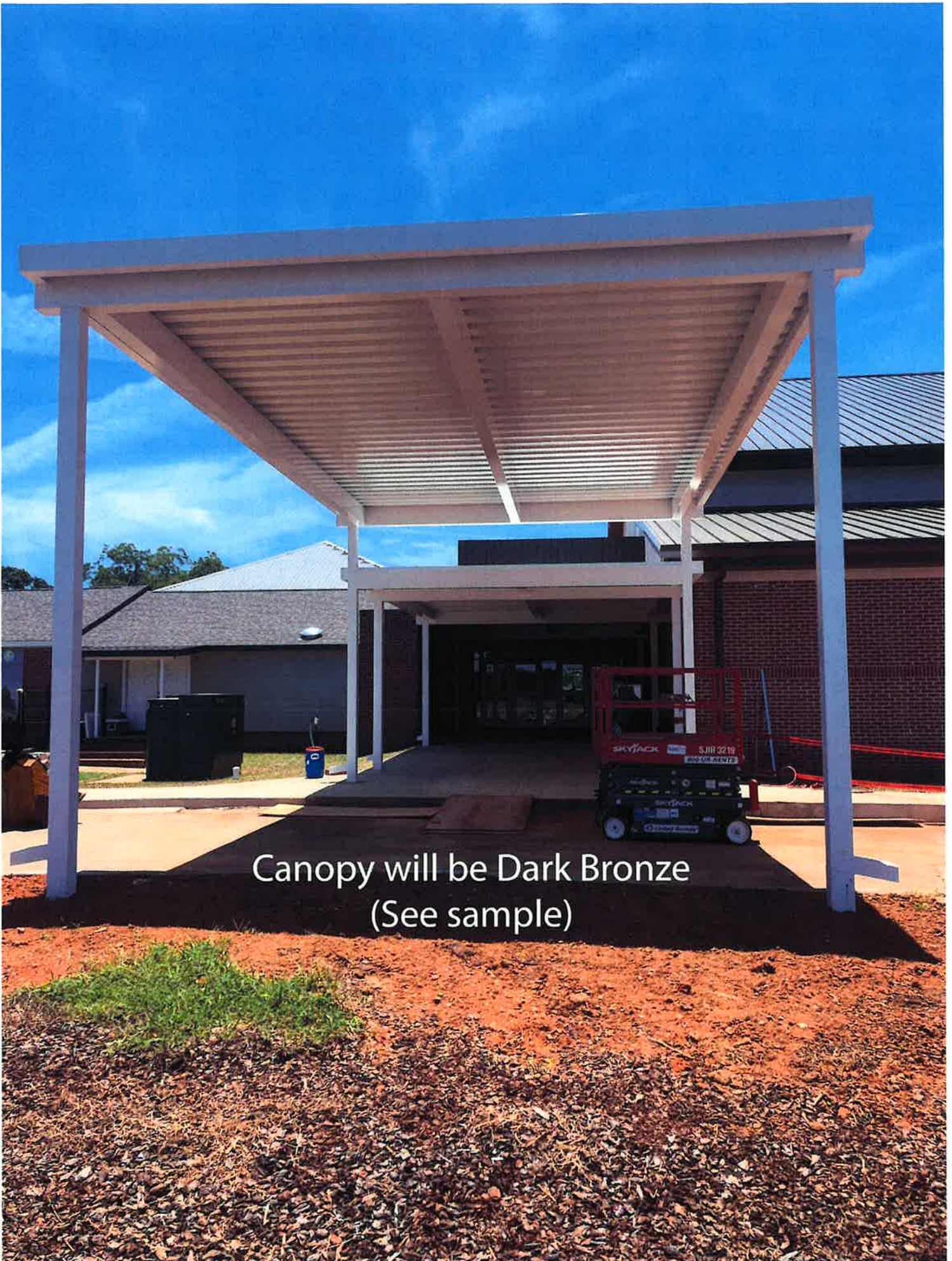


My commission expires 19
day of January, 2022.

D-0721-11//1069 Montgomery
Hwy.
28-00-30-3-001-005.000
Arch & Final Review for canopy
Vapor Thrift Store



D-0721-11//1069 Montgomery Hwy.
28-00-30-3-001-005.000
Arch & Final Review for canopy
Vapor Thrift Store



Canopy will be Dark Bronze
(See sample)