

CITY OF VESTAVIA HILLS
PLANNING AND ZONING COMMISSION

AGENDA

JUNE 10, 2021

6:00 P.M.

Roll Call.

Pledge of Allegiance

Approval of Minutes: May 13, 2021

Preliminary Plats

- (1) **P-0621-23** RW Development, LLC Is Requesting **Preliminary Plat Approval For 2700 Vestavia Forest Dr. Development.** The Purpose for This Request Is extend Vestavia Forest Dr. and add 9 lots. The Property Is Owned By RW Development, LLC and Is Zoned Vestavia Hills R-2.

Rezoning/Conditional Use Recommendations

- (2) **P-0621-22** Willie & Darlene S. Myers, Jr. Is Requesting **Conditional Use Approval for A Home Occupation In Liberty Park** Located At **4950 Reynolds Ln.** The Property Is Owned By Willie & Darlene S. Myers, Jr. and Is Zoned Vestavia Hills PR-1.

CITY OF VESTAVIA HILLS
PLANNING AND ZONING COMMISSION

MINUTES

MAY 13, 2021

6:00 P.M.

The Planning & Zoning Commission of Vestavia Hills met in regular session on this date at 6:00 PM, following publication and posting pursuant to Alabama law. Due to the COVID-19 pandemic, in coordination with a Proclamation from Governor Ivey and pursuant to orders from the Jefferson County Health Department Official requiring social distancing along with limits of attendees, this meeting was held with a portion of the Commission digitally attending the meeting via remote computer locations utilizing a Zoom.com application. Staff and general public/audience members also were invited to attend via Zoom.com following publication pursuant to Alabama law. Chairman Barnes called the meeting to order and the City Planner called the roll with the following:

MEMBERS PRESENT: Erica Barnes, Chair
Ryan Ferrell
David Maluff
Rusty Weaver*
Rick Honeycutt
Hasting Sykes

MEMBERS ABSENT: Lyle Larson
Mike Vercher
Jonathan Romeo

OTHER OFFICIALS PRESENT: Conrad Garrison, City Planner

**Member present via Zoom*

APPROVAL OF MINUTES

Ms. Barnes stated that the minutes of the meeting April 8, 2021 are presented for approval.

MOTION Motion to approve minutes was made by Mr. Honeycutt and second was by Mr. Sykes. Voice vote as follows:

Mr. Maloof– yes
Mr. Honeycutt– yes
Mr. Weaver – yes
Motion carried.

Mr. Ferrell – yes
Mr. Sykes – yes
Ms. Barnes – yes

Final Plats

Consent Agenda

- (1) **P-0521-16** Steven K. Mote Jr. Is Requesting **Final Plat Approval For Resurvey Of Lots 8-C & 8-D Of The Resurvey Of Lot 8. Fourteenth Addition To Vestavia Hills.** The Purpose for This Request Is to amend lot lines. The Property Is Owned By Steven K. Mote Jr. and Is Zoned Vestavia Hills R-2.
- (2) **P-0521-18** Overton Investments, LLC Is Requesting **Final Plat Approval For Overton Investments Add To Fairhaven Drive.** The Purpose for This Request Is To Amend Ordinance 2818 And Create Three Single Family Lots. The Property Is Owned By Overton Investments, LLC and Is Zoned Vestavia Hills R-9.
- (3) **P-0521-20** Rowena C. Shaw Is Requesting **Final Plat Approval For Shaw’s Addition To Dolly Ridge Estates.** The Purpose for This Request Is To Combine Lots And Amend Lot Lines. The Property Is Owned By Rowena C. Shaw and Is Zoned Vestavia Hills E-2.
- (4) **P-0521-21** James Coleman & Lance Black Are Requesting **Final Plat Approval For Coleman’s Resurvey Of Dolly Ridge Road.** The Purpose for This Request Is To Combine Acreage And Amend Lot Lines. The Property Is Owned By James Coleman & Lance Black and Is Zoned Vestavia Hills E-2.

Mrs. Barnes opened the floor for a public hearing. There being no one to address the Commission concerning these request, Mrs. Barnes closed the public hearing and opened the floor for a motion.

MOTION Mr. Weaver made a motion to approve items 1-4. Second was by Mr. Sykes. Motion was carried on a roll call; vote as follows:

Mr. Maloof– yes
Mr. Honeycutt– yes
Mr. Weaver – yes
Motion carried.

Mr. Ferrell – yes
Mr. Sykes – yes
Ms. Barnes – yes

Rezoning/Conditional Use Recommendations

- (5) **P-0521-14** Mark Smith & Victor Maldonado Are Requesting **Rezoning For 2600, 2624, & 2632 Alta Vista Circle.** from **Shelby County E-1 to Vestavia Hills R-2** For The Purpose Of Annexation. **APPROVED**

- (6) **P-0521-15** Vita Marshman Is Requesting **Rezoning** For **3632 Dabney Dr.** from **Jefferson County E-2 to Vestavia Hills R-1** For The Purpose Of Annexation. **APPROVED**
- (7) **P-0521-17** Whitney Bailey Holland Is Requesting **Rezoning** For **1700 Shades Crest Rd.** from **Jefferson County E-2 to Vestavia Hills R-1** For The Purpose Of Annexation. **APPROVED**
- (8) **P-0521-19** Lindsay & Jake Brown Are Requesting **Rezoning** For **2829 Acton Pl.** from **Jefferson County E-2 to Vestavia Hills R-1** For The Purpose Of Annexation. **APPROVED**

Mr. Garrison explained the background of the requests. He stated the all properties have been annexed into the City.

Mrs. Barnes opened the floor for a public hearing. There being no one to address the Commission concerning these request, Mrs. Barnes closed the public hearing and opened the floor for motions.

MOTION Mr. Weaver made a motion to recommend Rezoning from JC E-1 to Vestavia Hills R-2 for the property located at 2600, 2624, & 2632 Alta Vista Circle. Second was by Mr. Honeycutt. Motion was carried on a roll call; vote as follows:

Mr. Maloof– yes	Mr. Ferrell – yes
Mr. Honeycutt– yes	Mr. Sykes – yes
Mr. Weaver – yes	Ms. Barnes – yes

Motion carried.

MOTION Mr. Weaver made a motion to recommend Rezoning from JC E-2 to Vestavia Hills R-1 for the property located at 3632 Dabney Dr. Second was by Mr. Sykes. Motion was carried on a roll call; vote as follows:

Mr. Maloof– yes	Mr. Ferrell – yes
Mr. Honeycutt– yes	Mr. Sykes – yes
Mr. Weaver – yes	Ms. Barnes – yes

Motion carried.

MOTION Mr. Weaver made a motion to recommend Rezoning from JC E-2 to Vestavia Hills R-1 for the property located at 1700 Shades Crest Rd. Second was by Mr. Sykes. Motion was carried on a roll call; vote as follows:

Mr. Maloof– yes	Mr. Ferrell – yes
Mr. Honeycutt– yes	Mr. Sykes – yes
Mr. Weaver – yes	Ms. Barnes – yes

Motion carried.

MOTION Mr. Weaver made a motion to recommend Rezoning from JC E-2 to Vestavia Hills R-1 for the property located at 2829 Acton Pl. Second was by Mr. Sykes. Motion was carried on a roll call; vote as follows:

Mr. Maloof– yes

Mr. Honeycutt– yes

Mr. Weaver – yes

Motion carried.

Mr. Ferrell – yes

Mr. Sykes – yes

Ms. Barnes – yes

Conrad Garrison, City Planner

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: **JUNE 10, 2021**

- **CASE:** P-0621-23
- **REQUESTED ACTION:** Preliminary Plat Approval For 2700 Vestavia Forest Dr. Development
- **ADDRESS/LOCATION:** 2700 Vestavia Forest Dr.
- **APPLICANT/OWNER:** RW Development, LLC
- **GENERAL DISCUSSION:** The request will allow for the extension of Vestavia Forest Dr. and nine additional single-family homes. The road extension and turnaround between lots 2 & 3 meet the minimum requirements stated in the Subdivision Regulation, Public Works Manual, and fire code. The proposed nine lots meet the minimum requirements for R-2 zoning. The owner received a variance in 5/21 to reduce the front setback from 50' to 40' to appease neighboring properties and protect the natural slope. Lots 2-3, 4-5, 6-7, 8-9 will share driveway access to protect the natural creek and slope. Sidewalks would be constructed.

Land that is part of the parent parcel but not included in this preliminary plat will be resurveyed at a later date. CC&R's will be provided for review at the time of final plat submittal.

- **VESTAVIA HILLS COMPREHENSIVE PLAN:** The request is consistent with the plan for low/medium density residential.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: I have reviewed the application and have no issues with this request.
 2. **City Engineer Review:** I have reviewed the application and I have no issues with this request.

3. **City Fire Marshal Review:** I have reviewed the application and I have no issues with this request.
4. **Building Safety Review:** I have reviewed the application and I have no issues with this request.

**CITY OF VESTAVIA HILLS
PLANNING AND ZONING COMMISSION
PRELIMINARY MAP APPLICATION**

II. APPLICANT INFORMATION: (owner of property)

NAME: RW Development LLC

ADDRESS: 2700 Vestavia Forest Dr. Vestavia AL 35216

MAILING ADDRESS *(if different from above)* _____

2021 Shades Crest Rd. Vestavia AL 35216

PHONE: 205-908-8865 Email rivesjm@gmail.com

NAME OF REPRESENTING ATTORNEY OR OTHER AGENT: _____

Engineering Design Group - Wade Lowery

PHONE: 205-403-9158 Email wade@edgalabama.com

III. BILLING/RESPONSIBLE PARTY: (FOR PAYMENT OF FEES)

NAME: RW Development - John Mark Rives

ADDRESS: 2021 Shades Crest Rd. Vestavia AL 35216

MAILING ADDRESS *(if different from above)* _____

PHONE: 205-908-8865 Email rivesjm@gmail.com

**P-0621-23//29-00-36-1-011-005.000
2700 Vestavia Forest Drive
Prelim Map for Sub w/9 lots
RW Development**

IV. ACTION REQUESTED

Preliminary Plat Approval (reason must be provided)

Explain reason for the request: See Attachment

if additional information is needed, please attached full description of request

V. PROPERTY DESCRIPTION: (address, legal description, etc.)

See Attachment

Property size: _____ feet X _____ feet. Acres: _____

VI. ZONING/REZONING:

The above described property is presently zoned: R2

VII. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. **Application must be signed by the owner of the property before a Notary and original submitted to the Office of the Clerk; no copies will be accepted**



Owner Signature/Date

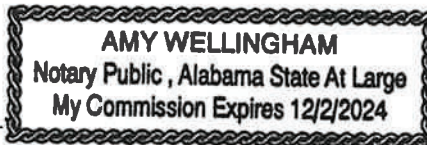
Representing Agent (if any)/date

Given under my hand and seal
this 21st day of May, 2021.



Notary Public

My commission expires _____
day of _____, 20_____



2700 Vestavia Forest Dr. Preliminary Plat Application

IV: Preliminary Plat Approval (reason must be provided)

The Primary Preliminary Plat Approval is for the road extension, and subdivision of 10 lots. Nine lots will be accessed off of the Vestavia Forest Dr. extension and (1) lot will be accessed off of Jacobs Rd (Lot 10)

In addition to the above mentioned subdivision, the owners of 2413 Jacobs Rd. Sergey B Mirov & Olga D Mirov are purchasing apx. 20,000 SF of the land currently owned by RW Development, to add to their existing apx. 17,000 SF lot, to create a larger lot (Lot 11 – Mirov).

V. Property Description

Parcel I - 6.4 Acres

2700 Vestavia Forest Dr. 35216 - PID 29 00 36 1 011 005.000 – Owner RW Development LLC

Parcel II - 1.145 Acres

2730 Jacobs Rd 35216 – PID 29 00 36 1 011 006.000 – Owner RW Development LLC

Parcel III – 17,244 SF or 0.396 Acres

2413 Jacobs Rd 35216 – PID 29 00 36 2 010 008.000 – Owner MIROV SERGEY B & OLGA D

P-0621-23//29-00-36-1-011-005.000
2700 Vestavia Forest Drive
Prelim Map for Sub w/9 lots
RW Development

2700 Vestavia Forest Dr. Preliminary Plat Application

IV: Preliminary Plat Approval

The Preliminary Plat Approval is for the road extension of Vestavia Forest Dr., and a new (9) lot Forest Creek subdivision.

V. Property Description

Parcel I - 6.4 Acres

2700 Vestavia Forest Dr. 35216 - PID 29 00 36 1 011 005.000 – Owner RW Development LLC

Parcel II - 1.145 Acres

2730 Jacobs Rd 35216 – PID 29 00 36 1 011 006.000 – Owner RW Development LLC

P-0621-23//29-00-36-1-011-005.000
2700 Vestavia Forest Drive
Prelim Map for Sub w/9 lots
RW Development

CIVIL CONSTRUCTION DOCUMENTS

FOR

2700 VESTAVIA FOREST DR. DEVELOPMENT

2700 VESTAVIA FOREST DRIVE
 VESTAVIA HILLS, AL 35216

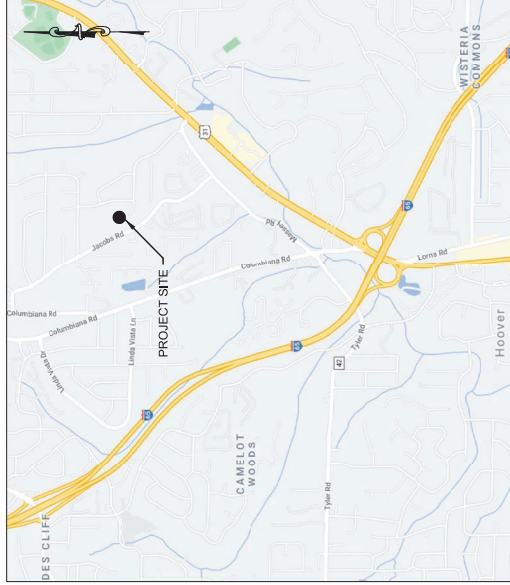
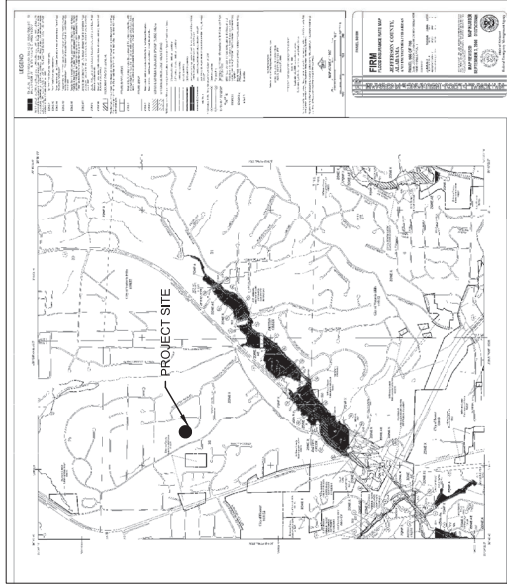
PROJECT CONTACTS

CITY ENGINEER
 CONTACT:
 CHRISTOPHER BRADY P.E.
 (205) 978-5801

ALABAMA POWER
 CONTACT:
 ASHLEY RICHARDSON
 (205) 226-1432

BIRMINGHAM WATER
 WORKS BOARD
 CONTACT:
 DOUG STOCKHAM
 (205) 244-4186

SPIRE ENERGY
 CONTACT:
 JESSIE GILLILAND
 (205) 326-8138/4186



SHEET INDEX

NS	NOTES SHEET
1 OF 1	BOUNDARY SURVEY (BY OTHERS)
C0.0	PHASE I EROSION CONTROL PLAN
C1.0	SITE PLAN
C2.0	GRADING AND DRAINAGE PLAN
C3.0	PHASE II EROSION CONTROL PLAN
C4.0	UTILITY PLAN
C5.0	DETAILS AND SECTIONS
C5.1	DETAILS AND SECTIONS
C5.2	DETAILS AND SECTIONS
C6.0	WATER MAIN EXTENSION PLAN

OWNER/DEVELOPER
 RIV DEVELOPMENT, LLC
 2021 SHADES CREST ROAD
 VESTAVIA HILLS, AL 35216
 (205) 992-8686
 CONTACT: JOHN MARK RIVES, OWNER

ENGINEERING BY
 ENGINEERING DESIGN GROUP, LLC
 120 BISHOP CIRCLE, SUITE 300
 PELHAM, AL 35124
 (205) 409-9188
 CONTACT: WADE LOWERY, P.E.

SURVEYING BY
 CARR & ASSOCIATES ENGINEERING, LLC
 155 CAHABA VALLEY PARKWAY
 PELHAM, AL 35124
 (205) 964-6696
 CONTACT: MICHAEL JOHNSON, P.L.S.





DATE:	APR 26, 2021
DRAWN BY:	CLO
CHECKED BY:	JANRE50001
PROJECT NO.:	WH1
CLIENT:	CLD
PROJECT:	
REVISIONS:	

PROJECT:	2700 VESTAVIA FOREST DR. DEVELOPMENT VESTAVIA HILLS, ALABAMA
TITLE:	GENERAL NOTE SHEET
DATE:	APR 26, 2021

120 BISHOP CIRCLE, SUITE 300
 PELHAM, AL 35124
 TEL - (205) 403-9158
 FAX - (205) 403-9175



PRINTED DATE: 5/13/21

GENERAL GRADING NOTES:

- CLEARING AND GRUBBING LIMITS SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATIONS. ANY CLEARING REQUIRED FOR THIS CONSTRUCTION SHALL BE INCIDENTAL TO THE OVERALL SITE WORK.
- IF THE SITE CONTRACTOR DOES NOT ACCEPT THE EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, THE CONTRACTOR SHALL MAKE A TOPOGRAPHIC SURVEY AT THEIR OWN EXPENSE AND SUBMIT IT TO THE OWNER FOR REVIEW.
- THE CONTRACTOR SHALL PROVIDE DRAINAGE AWAY FROM ALL BUILDINGS.
- GRADES SHOWN ARE TO FINISHED PAVEMENT & TOP OF SOIL GRADE ELEVATIONS. REFERENCE SECTIONS & DETAILS.
- THE CONTRACTOR SHALL CALL APPROPRIATE UTILITY CONTACTS A MINIMUM OF 48 HOURS (OR AS OTHERWISE REQUIRED) PRIOR TO EXCAVATION IN AREAS WHERE UTILITIES MAY EXIST.
- BLASTING (IF REQUIRED) CONTRACTOR SHALL COMPLY WITH ALL LAWS, RULES, AND REGULATIONS REGARDING THE USE OF EXPLOSIVES. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS OWNER, ARCHITECT, ENGINEER, OWNERS REPRESENTATIVE AND THEIR AGENTS AND EMPLOYEES FROM ANY CLAIM ARISING OUT OF THE USE OF EXPLOSIVES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING A PRE-BLAST SURVEY OF THE SURROUNDING PROPERTIES AND MONITORING DURING BLASTING ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING MEANS AND METHODS FOR ACHIEVING DESIRED RESULTS OF BLASTING ACTIVITIES. REFERENCE GEOTECHNICAL REPORT.

EROSION AND SEDIMENT CONTROL NOTES:

- THE SITE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SUITABLE EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION TO PREVENT SILT FROM LEAVING THE SITE. SILT WILL NOT BE ALLOWED BEYOND CONSTRUCTION LIMITS.
- THE CONTRACTOR SHALL PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE BY INSTALLING EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENTLY WITH LAND DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLANS DO NOT PROVIDE SUFFICIENT EROSION AND SEDIMENT CONTROL, ADDITIONAL CONTROL MEASURES SHALL BE IMPLEMENTED. CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING EROSION CONTROL DEVICES WHICH BECOME INEFFECTIVE.
- ALL EROSION CONTROL MEASURES SHALL MEET THE GUIDELINES SET FORTH BY THE LATEST LOCAL AND STATE EROSION CONTROL STANDARDS.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ALL GRADING AND OTHER LAND DISTURBING ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE CLEANUP AND REMOVAL OF ANY BUILDUP OF SEDIMENT WHICH ESCAPES FROM THE SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM THE SITE (IF NOT REUSABLE ON SITE) PRIOR TO THE COMPLETION OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING SILT AND DEBRIS OUT OF ALL STORM DRAINAGE STRUCTURES UPON THE COMPLETION OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION CONTROL MEASURES AFTER CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- ADDITIONAL EROSION CONTROL DEVICES SHALL BE INSTALLED BY THE CONTRACTOR IF REQUIRED BY THE PROJECT ENGINEER AND/OR THE LOCAL INSPECTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ANY FINES LEVIED AGAINST THE SITE FOR VIOLATIONS OF EROSION CONTROL REGULATIONS.
- SILT SERVICES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING THE PROPERTY LIMITS.
- OTHER THAN LAND CLEARING ACTIVITIES REQUIRED TO INSTALL THE APPROPRIATE BMP PLANS, BEFORE ANY CLEARING OR EARTHMOVING OPERATIONS BEGIN, THESE MEASURES SHALL BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES SHALL BE REMOVED AT THE BEGINNING OF THE WORKDAY, BUT SHALL BE REPLACED AT THE END OF THE WORKDAY.
- CONTRACTOR TO PROVIDE TEMPORARY GROUND COVER FOR ALL AREAS WITH EXPOSED SOIL WHICH WILL NOT BE DISTURBED BY GRADING OPERATIONS FOR A PERIOD OF 30 DAYS OR MORE.
- ADEQUATE PROTECTIVE MEASURES SHALL BE PROVIDED FOR THE CONTAINMENT OF HAZAROUS SUBSTANCES AND ANY OTHER MATERIALS WHICH MAY POLLUTE. THESE MAY INCLUDE, BUT ARE NOT LIMITED TO, OIL, FUEL, PAINTS, SOLVENTS, AND OTHER LIQUIDS. THESE MATERIALS SHALL BE STORED IN ACCORDANCE WITH SPCC REGULATIONS. THESE SUBSTANCES SHALL BE STORED AWAY FROM ALL STORM DRAINS, DITCHES AND GUTTERS IN WATER TIGHT CONTAINERS. DISPOSAL OF THESE MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. PROVIDE ADEQUATE WASH BASIN AND WASTE DISPOSAL FOR ALL CONSTRUCTION MATERIALS. PROVIDE ADEQUATE WASTE CONTAINERS FOR PREVENTING SITE TRASH FROM ENTERING THE STORM DRAINAGE SYSTEM.

UTILITY NOTES:

- REFERENCE GENERAL NOTES AND ARCHITECTURAL/MEP PLANS.
- CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL BUILDING ENTRANCES. TO INCLUDE SANITARY SEWER, SEWER, DOMESTIC & IRRIGATION WATER MAINS, AND OTHER UTILITIES. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND COORDINATE WITH THE APPROPRIATE UTILITIES AS TO LOCATION AND SCHEDULING OF TIE-IN/CONNECTIONS TO THEIR FACILITIES.
- ALL UTILITY LEADS TO BUILDINGS SHALL END 5 FT. OUTSIDE THE FACE OF THE EXTERIOR BUILDING WALL, UNLESS OTHERWISE NOTED. SERVICES SHALL BE PROVIDED WITH A TEMPORARY PLUG AND LOCATOR AT THE END FOR OTHERS TO REMOVE AND EXTEND AS NECESSARY UNLESS THE CONNECTION IS READY AT THE TIME OF INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE CONNECTIONS TO UTILITY MAINS WITH THE UTILITY AUTHORITY. THE CONTRACTOR IS RESPONSIBLE FOR ALL CHARGES, FEES, ETC., ASSOCIATED WITH THE CONNECTIONS. CONTRACTOR SHALL PROVIDE AND INSTALL ALL UTILITY SERVICES PER LOCAL UTILITY STANDARDS.
- THE CONTRACTOR SHALL MEET WITH THE GOVERNING AUTHORITY'S INSPECTORS A MINIMUM OF 24 HOURS PRIOR TO COMMENCING UTILITY WORK AND WILL COORDINATE ALL UTILITY INSPECTIONS WITH THEM AS REQUIRED BY THEIR STANDARDS.

WATER

- MINIMUM COVER FOR ALL WATER MAINS SHALL BE 3' MINIMUM OR AS REQUIRED BY LOCAL WATER WORKS AUTHORITY.
- CONTRACTOR SHALL MAINTAIN A 5' HORIZONTAL AND 2' VERTICAL SEPARATION BETWEEN WATER SERVICE AND SANITARY SEWER.
- SANITARY SEWER PIPE MATERIAL SHALL BE SCH 40 PVC OR AS REQUIRED BY THE LOCAL AUTHORITY.
- OPENING MADE TO EXISTING SANITARY SEWER MANHOLES SHALL BE CORE DRILLED. NO IMPACT TYPE CONNECTION WILL BE ALLOWED.
- ALL MANHOLES/CLEANOUTS SHALL BE A MINIMUM OF 6" ABOVE GRADE EXCEPT IN PAVEMENT AREAS WHERE TOP SHALL BE FLUSH WITH PAVEMENT GRADE ELEVATIONS. SEE CLEANOUT DETAIL.

DEMOLITION NOTES:

- REMOVE OR ABANDON ITEMS INDICATED WITHIN LIMITS OF THE WORK AS REQUIRED. DO NOT REMOVE ANYTHING BEYOND THE LIMITS INDICATED WITHOUT NOTIFICATION AND/OR PERMISSION OF THE OWNER.
- PROTECT OTHER UTILITIES, STRUCTURES OR FACILITIES FROM DAMAGE. ITEMS DAMAGED AS A RESULT OF THIS WORK SHALL BE REPAIRED OR REPLACED, AS REQUIRED, AT CONTRACTOR'S SOLE EXPENSE.
- EXISTING UTILITIES AND UNDERGROUND STRUCTURES SHOWN ON THE PLANS ARE BASED UPON THE BEST AVAILABLE PUBLIC RECORDS AND/OR PRIVATE RECORDS AS SUPPLIED BY THE PROJECT OWNER AND/OR DATA OBTAINED VERBALLY FROM OWNERS OR OFFICIALS ASSOCIATED WITH THE PARTICULAR UTILITY. NEITHER THE OWNER NOR THE ENGINEER GUARANTEE ACCURACY OR COMPLETENESS OF THIS INFORMATION. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND OTHER UNDERGROUND FACILITIES NOT SHOWN ON THE DRAWINGS MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL INVERT ELEVATIONS ON THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- IF CHANGED CONDITIONS ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PROMPTLY OF (1) PREEXISTING SUBSURFACE CONDITIONS DIFFERING FROM THOSE INDICATED IN THE DRAWINGS, (2) CONDITIONS THAT MAY BE UNUSUAL, UNUSUAL, OR UNUSUAL, AND (3) MATERIALS FROM THOSE ORIGINALLY ENCOUNTERED, AND GENERAL, RECOGNIZED AS INHERENT IN WORK OF THE CHARACTER PROVIDED FOR IN THE CONTRACT.
- CONTRACTOR SHALL CONTACT ALABAMA ONE CALL AT 811 FOR FIELD LOCATION OF ALL UTILITIES AND SHALL NOT BEGIN EXCAVATION UNTIL ALL KNOWN UNDERGROUND FACILITIES IN THE VICINITY OF THE PROPOSED WORK HAVE BEEN LOCATED AND MARKED. IF THE UTILITY IS NOT A SUBSCRIBER OF ALABAMA ONE CALL THEN THE CONTRACTOR SHALL GIVE NOTICE TO THE UTILITY.
- VERIFY THAT ALL UTILITY SERVICES TO BE DEMOLISHED AND/OR ABANDONED HAVE BEEN DISCONNECTED.
- DO NOT SHUT OFF OR CAP UTILITIES WITHOUT PRIOR NOTICE. COORDINATE WORK WITH LOCAL UTILITY PROVIDERS.
- MAINTAIN VEHICULAR AND PEDESTRIAN TRAFFIC ROUTES. ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, AND ADJACENT FACILITIES DO NOT CLOSE OR OBSTRUCT STREETS, SIDEWALKS, OR PASSAGEWAYS WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. MAINTAIN FREE ACCESS ALONG ACCESS ROAD AT ALL TIMES. MEET ALL APPLICABLE CODES AND ORDINANCES.
- REMOVE EXISTING ABOVE GRADE AND BELOW GRADE IMPROVEMENTS AS INDICATED, AND AS NECESSARY TO FACILITATE NEW CONSTRUCTION. CARE SHALL BE TAKEN THAT DAMAGE DOES NOT OCCUR TO EXISTING PAVEMENT WHICH IS TO REMAIN IN PLACE AND THAT ALL PAVEMENT REMOVALS ARE ACCOMPLISHED BY MAKING A NEAT VERTICAL SAW CUT AT THE BOUNDARIES OF THE AREA TO BE REMOVED.
- THE REFUSE RESULTING FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF BY THE CONTRACTOR IN A MANNER CONSISTENT WITH ALL GOVERNMENT REGULATIONS. IN NO CASE SHALL BE BURIED IN EMBANKMENTS OR TRENCHES ON THE PROJECT SITE. DEBRIS SHALL NOT BE DEPOSITED IN ANY STREAM OR BODY OF WATER, WETLAND, OR IN ANY STREET OR ALLEY OR UPON ANY PRIVATE PROPERTY. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING TRAFFIC ROUTES. TRAFFIC ROUTES CLEAN AND FREE OF ANY DEBRIS RESULTING FROM DEMOLITION WORK ON THIS PROJECT.

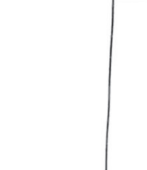
GENERAL NOTES:

- ALL NECESSARY PERMITS AND APPROVALS FROM AGENCIES GOVERNING THIS WORK SHALL BE SECURED PRIOR TO BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION SHOWN ON THESE PLANS SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS, RESTRICTIONS AND STANDARDS OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THE SITE. CONTRACTOR WILL ONLY PERFORM CONSTRUCTION ACTIVITIES BASED ON PLANS AND SPECIFICATIONS WHICH HAVE BEEN PROPERLY ISSUED FOR CONSTRUCTION PURPOSES.
- CONTRACTOR SHALL COORDINATE THE INSTALLATION, ADJUSTMENT OR RELOCATION OF ALL UTILITIES WITH THE APPROPRIATE UTILITY COMPANIES AND HIS WORK AND ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS AND BENCHMARKS. ALL PROPERTY PINS OR BENCHMARKS ELIMINATED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO LAND DISTURBING ACTIVITIES. EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED THROUGHOUT CONSTRUCTION UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- JOB SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE LIMITS OF DISTURBANCE SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATIONS. ANY DAMAGE CAUSED BY CONSTRUCTION SHALL BE REPAIRED TO ITS ORIGINAL CONDITION OR BETTER. REPAIRS ARE SUBJECT TO APPROVAL BY THE ENGINEER AND OWNER.
- IN THE EVENT THAT A CONFLICT ARISES BETWEEN THE SITE CONSTRUCTION DRAWINGS AND FIELD CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND SHALL NOT PROCEED WITH CONSTRUCTION OF ANY AREA WHERE A CONFLICT HAS BEEN DISCOVERED UNTIL SUCH TIME AS THE CONFLICT HAS BEEN CLEARLY RESOLVED.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY PROTECTIVE DEVICES, TRAFFIC CONTROL, AND FOR THE IMPLEMENTATION OF ALL SAFETY MEASURES INCLUDING, BUT NOT LIMITED TO: UTILITY MARKING AND STRUCTURES; AND THE PROVISION AND COORDINATION OF ALL TEMPORARY TRAFFIC CONTROL EFFORTS AND MEASURES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SMOOTH TRANSITION BETWEEN ALL NEW CONSTRUCTION AND ALL EXISTING CONDITIONS. ALL TRANSITION GRADES, CONSTRUCTION MATERIALS, AND FINISHES SPECIFICALLY AT DRIVEWAY ENTRANCE LOCATIONS, ARE SUBJECT TO APPROVAL BY THE OWNER AND ENGINEER.
- TOPOGRAPHIC AND BOUNDARY SURVEY WERE PROVIDED BY ENGINEERING DESIGN GROUP, LLC.
- EXISTING UTILITIES AND UNDERGROUND STRUCTURES SHOWN ON THE PLANS ARE BASED UPON THE BEST AVAILABLE PUBLIC RECORDS AND/OR PRIVATE RECORDS AS SUPPLIED BY THE PROJECT OWNER AND/OR DATA OBTAINED VERBALLY FROM OWNERS OR OFFICIALS ASSOCIATED WITH THE PARTICULAR UTILITY. NEITHER THE OWNER NOR THE ENGINEER GUARANTEE ACCURACY OR COMPLETENESS OF THIS INFORMATION. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND OTHER UNDERGROUND FACILITIES NOT SHOWN ON THE DRAWINGS SHALL BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL INVERT ELEVATIONS ON THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION TO MEET OSHA SAFETY GUIDELINES. SAID SAFETY PROCEDURES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- DO NOT SCALE CRITICAL DIMENSIONS FROM THIS DRAWING. CONTACT ENGINEER FOR SPECIFIC CLARIFICATIONS NEEDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING PROPER TRAFFIC CONTROL FOR PUBLIC SAFETY IN ACCORDANCE WITH THE CITY OF BONDARE AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- HEADER CURB ADJACENT TO SIDEWALKS MAY BE CONSTRUCTED MONOLITHICALLY WITH THE SIDEWALKS IF PREFERRED BY THE CONTRACTOR.

LAYOUT NOTES:

- THE WORKING POINT SHALL BE A POINT OF REFERENCE FOR A HORIZONTAL DIMENSION OR A VERTICAL ELEVATION.
- THE WORKING POINT FOR ALL ROADWAY DIMENSIONS IS THE CENTER LINE OF THE ROAD AND EDGE OF PAVEMENT.
- THE WORKING POINT FOR ALL PAVEMENT DIMENSIONS IS THE EDGE OF PAVEMENT.
- THE WORKING POINT FOR ALL YARD INLETS, GRATE INLETS, CURB INLETS, AND STORM MANHOLES IS THE CENTER OF THE RISER.
- THE WORKING POINT FOR ALL SANITARY SEWER MANHOLES IS THE CENTER OF THE RISER, OUT, A PIPE FITTING, OR END OF PIPE.
- THE WORKING POINT FOR ALL WATER LINES, FITTINGS, FIRE HYDRANTS AND APPURTENANCES SHALL BE THE CENTER LINE OF THE PIPE/FITTING, OR DEVICE.
- THE WORKING POINT FOR ALL LIGHT POLES IS THE CENTER OF THE POLE.
- PLAN ELEVATIONS FOR STORM INLETS AND MANHOLES SHALL BE THE FLOW LINE INVERT INTO THE INLET.
- GRATE ELEVATIONS FOR GRATE INLETS SHALL BE THE TOP OF GRATE.
- THE WORKING POINT FOR ALL SPOT ELEVATIONS SHALL BE THE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
- INVERT ELEVATIONS FOR HEADWALLS SHALL BE THE INVERT AT THE END OF THE PIPE.
- ELEVATIONS FOR RIP RAP AREAS SHALL BE THE TOP OF THE RIP RAP.
- ALL CURB RADIUS SHALL BE AS NOTED ON PLAN SHEETS.
- ALL SIDEWALKS WIDTHS SHALL BE AS NOTED ON PLAN SHEETS.

CARR & ASSOCIATES ENGINEERS, INC.
 153 CHAMPA VALLEY PARKWAY
 PELHAM, ALABAMA 35124
 CIVIL, STRUCTURAL & ENVIRONMENTAL ENGINEERS
 LAND SURVEYORS
 LICENSE NO. 12021
 PROFESSIONAL ENGINEER IN CIVIL ENGINEERING
 LICENSE NO. 12021
 PROFESSIONAL SURVEYOR IN LAND SURVEYING



REVISIONS

NO.	DESCRIPTION	BY	REVIEW	DATE

PRODUCTION REVIEW

NO.	SURVEYOR	DESIGN ENGINEER	DESIGN ENGINEER	DATE

LEGEND

P	PLATTED
M	MEASURED
○	CONCRETE MARK OR FIND
●	CAPPED REBAR - IRON PIN FOUND
○	CAPPED REBAR - IRON PIN SET
○	CH-POINT WITH SINGLE LIGHT
○	UTILITY POLE
○	LOT ASHORE
---	PROPERTY LINE
---	EXHIBIT LINE
---	OVERHEAD POWER LINE
---	OVERHEAD TELEPHONE
---	CHAIN LINK FENCE
---	WOODEN FENCE
---	ANCHOR WIRE

SURVEYOR'S NOTES

- This survey and the descriptions shown herein are based on the prior subdivision plat/sets. No deed research or extent of ownership is implied herein.
- The Surveyor was not informed of the existence of any encumbrances on the properties shown herein.
- The purpose of this survey drawing is to provide a Copyrighted Land Survey as required by the Alabama Standards referenced in the CERTIFICATE of Accuracy. This drawing is not intended to be used for planning, design or construction purposes. It is the responsibility of the client to verify the accuracy of the information shown on this drawing. The Surveyor is not responsible for any errors or omissions in the drawing or for any consequences resulting therefrom.
- This plat may not be recorded without the express written consent of the Surveyor.
- The entire subject property is located in "Zone X" as per FEMA Flood Map No. 01072002008 with an effective date of September 3, 2010.

CERTIFICATE

I hereby state that all parts of this survey and drawing have been completed in accordance with the Alabama Standards referenced in the CERTIFICATE of Accuracy. This drawing is not intended to be used for planning, design or construction purposes. It is the responsibility of the client to verify the accuracy of the information shown on this drawing. The Surveyor is not responsible for any errors or omissions in the drawing or for any consequences resulting therefrom.

Survey completed under my supervision on January 27, 2021.
 Kathy Albano
 Surveyor
 Date of Signature

OBSERVATIONS

A THE ADDORNER'S FENCE EXISTING ON PARCEL I.
 B THE OVERHEAD POWER AND TELEPHONE LINE EXIST ON THE SUBJECT PARCELS.

LEGAL DESCRIPTION

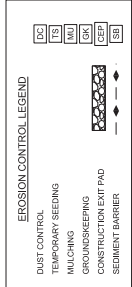
PARCEL I
 A parcel of land being situated in the southwest quarter of the southwest quarter of Section 36, Township 18 South, Range 3 West in Jefferson County, Alabama and being more particularly described as follows:
 Commence at the Northwest corner of the Southwest Quarter of the Northwest Quarter of Section 36, Township 18 South, Range 3 West in Jefferson County, Alabama and being more particularly described as follows:
 Run South along the west line of said quarter lot for a distance of 315.34 feet to a 1/2" capped pipe found at the southwest corner of said quarter lot, thence turn a deflection angle left of 99.92 degrees to a 1/2" capped pipe found at the southwest corner of said quarter lot, thence turn a deflection angle right of 119.900 degrees and run west along said quarter lot for a distance of 269.29 feet to a 1/2" capped pipe found at the southwest corner of said quarter lot, thence turn a deflection angle right of 119.900 degrees and run west along said quarter lot for a distance of 269.29 feet to a 1/2" capped pipe found at the southwest corner of said quarter lot, thence turn a deflection angle right of 119.900 degrees and run west along said quarter lot for a distance of 269.29 feet to a 1/2" capped pipe found at the southwest corner of said quarter lot, thence run northwesterly along said curve and along said right of way for a distance of 218.16 feet to a capped rebar set stamped "CARR CA-16-15" for a distance of 218.16 feet, thence run northwesterly along said curve and along said right of way for a distance of 218.16 feet to a capped rebar set stamped "CARR CA-16-15" for a distance of 218.16 feet, thence run north (through a 1/2" capped pipe at a distance of 2.42 feet) for a distance of 47.42 feet to the Point of Beginning. Said parcel contains 1.145 Acres or 261,559.48 Square Feet more or less.

PARCEL II
 A parcel of land being situated in the southwest quarter of the southwest quarter of Section 36, Township 18 South, Range 3 West in Jefferson County, Alabama and being more particularly described as follows:
 Commence at the Northwest corner of the Southwest Quarter of the Northwest Quarter of Section 36, Township 18 South, Range 3 West in Jefferson County, Alabama and being more particularly described as follows:
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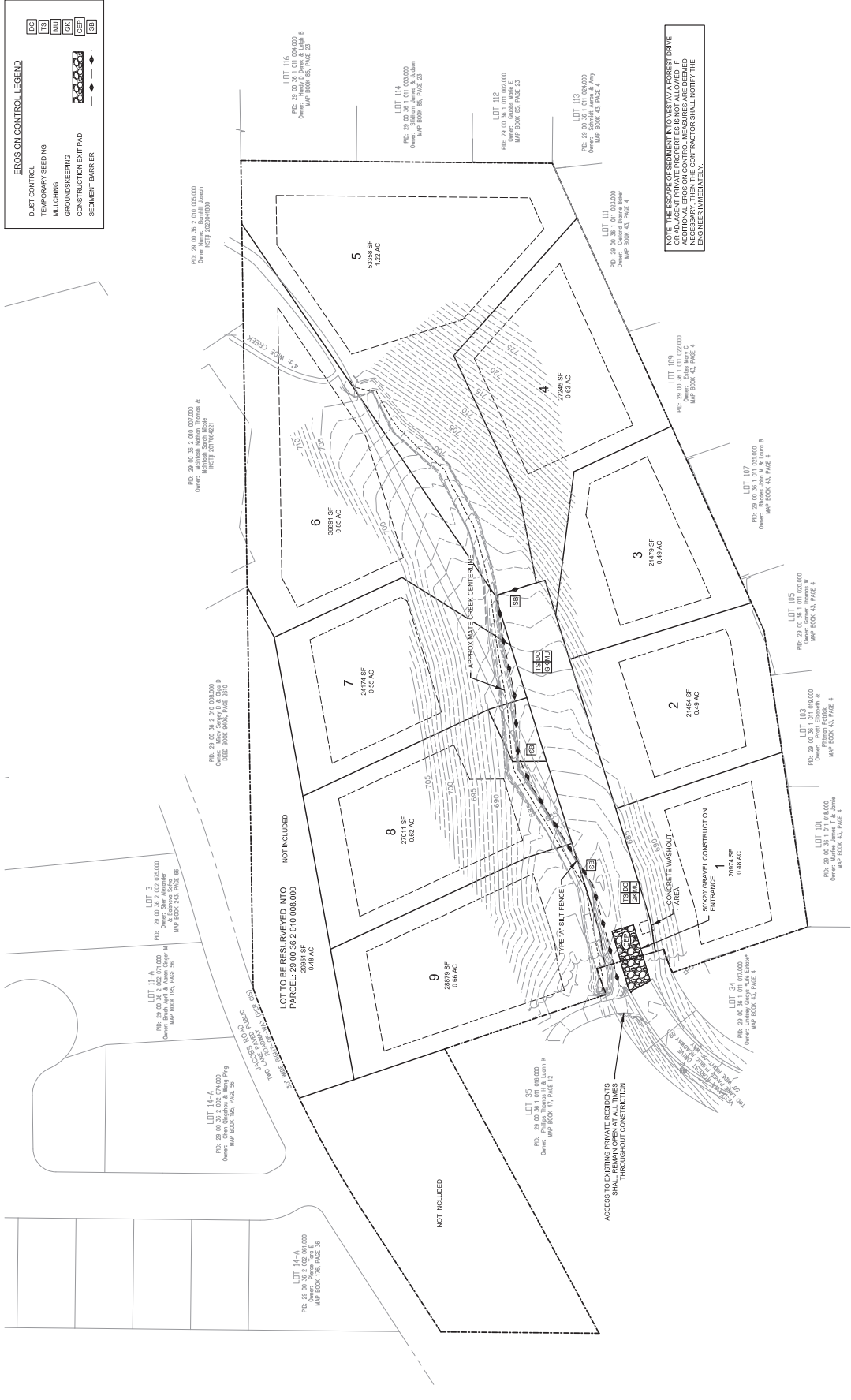
LEGAL DESCRIPTION

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NOTE: THE ESCAPE OF SEDIMENT INTO VESTAVIA FOREST DRIVE OR ADJACENT PRIVATE PROPERTIES IS NOT ALLOWED. IF NECESSARY, THEN THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.



PLANTER: 18x18
 1 inch = 40 ft.
 (1/8" = 1')

120 BISHOP CIRCLE, SUITE 300 PERLAM, AL 35124 TEL - (205) 403-9158 FAX - (205) 403-9175	ENGINEERING DESIGN GROUP, LLC CIVIL ENGINEERING • LAND SURVEYING 12051 404-9158
--	--

NOTE: WHERE VESTAVIA FOREST DRIVE ENDS AND PRIVATE DRIVEWAY ACCESS BEGINS CITY OF VESTAVIA IS RESPONSIBLE FOR THE MAINTENANCE OF PRIVATE DRIVEWAY ACCESS.

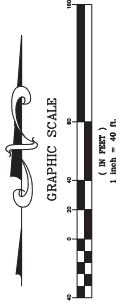
PARCEL ID:	29 00 36 2 010 002000
OWNER:	29 00 36 2 010 002000
ZONING:	R4
TOTAL SITE AREA:	27.71 ACRES
TOTAL LOTS:	9 LOTS
SETBACKS:	FRONT-40' (VARIANCE) REAR-30'
MINIMUM LOT WIDTH:	100'
MINIMUM LOT AREA:	15,000 SF.
MAXIMUM BUILDING HEIGHT:	20 OR 2.5 STORES, WHICHEVER IS LESS

GRAPHIC SCALE
 1 inch = 40 ft.
 0 20 40 60 80 100 120 140 160 180 200

TYPICAL STREET SECTION
STREETS 2'-10" GRADE
 48' R.O.W.
 11.5' 22' 5' 4.5'
 1" ASPHALT SEAL ALDOT 424A ESAL RANGE AB
 2" BRIDGE ALDOT 424A ESAL RANGE AB
 SEWALK
 6" CONC. CURB
 6" CONC. BASE MATERIAL ALDOT 603 TYPE B
 SHOULDER

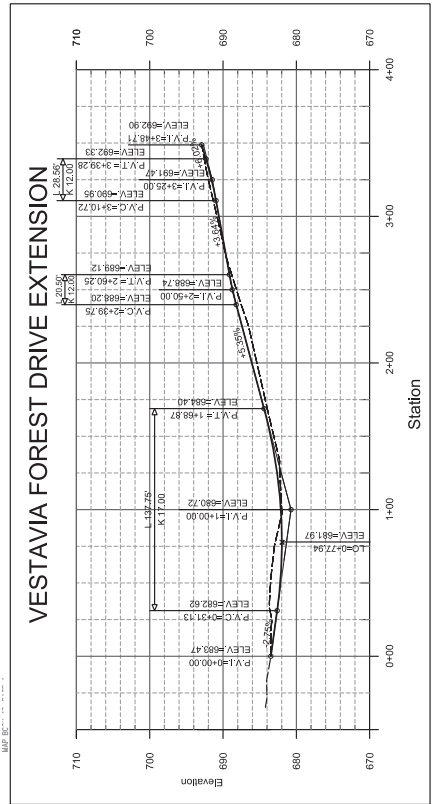
VELOCITY MAP
 N.T.S.

VEHICLE LOCATION

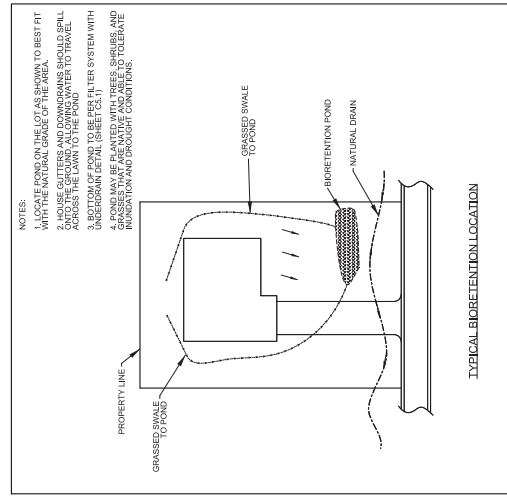


EASTWORK DATA
 FILE: 102.CVD
 CUP: 210.CVD
 NET: 108.CVD (OFF)

PROPOSED GRADE
 EXISTING GRADE



VESTAVIA FOREST DRIVE EXTENSION



- NOTES:
1. LOCATE POND ON THE LOT AS SHOWN TO BEST FIT WITH THE NATURAL GRADE OF THE AREA.
 2. HOUSE CUTTERS AND DOWNDRAINS SHOULD SPILL ACROSS THE LAWN TO THE POND.
 3. BIoretention POND IS BEETLE 11.
 4. POND MAY BE PLANTED WITH TREES, SHRUBS, AND PERENNIALS TO PROVIDE ADDITIONAL BIoretention AND DOWNDRAIN COUNTERS.

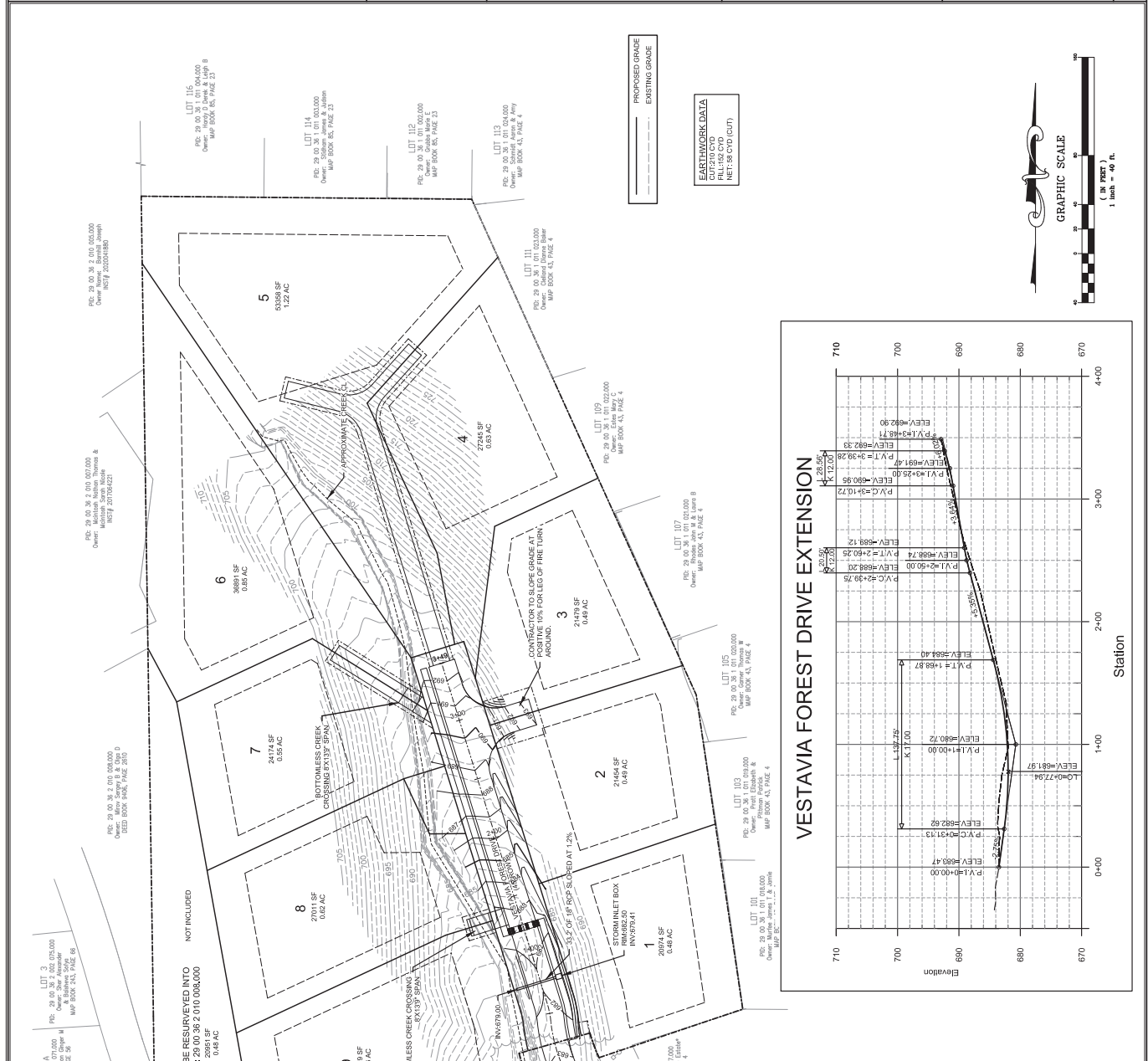


FIG. 29.00.38.2.010.000.000
 Owner: MICHOUK HOLDING TRUSTEE & TRUST
 WEST 2700 VESTAVIA FOREST

FIG. 29.00.38.2.010.000.000
 Owner: MICHOUK HOLDING TRUSTEE & TRUST
 WEST 2700 VESTAVIA FOREST

FIG. 29.00.38.2.010.000.000
 Owner: MICHOUK HOLDING TRUSTEE & TRUST
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 Owner: MICHOUK HOLDING TRUSTEE & TRUST
 WEST 2700 VESTAVIA FOREST

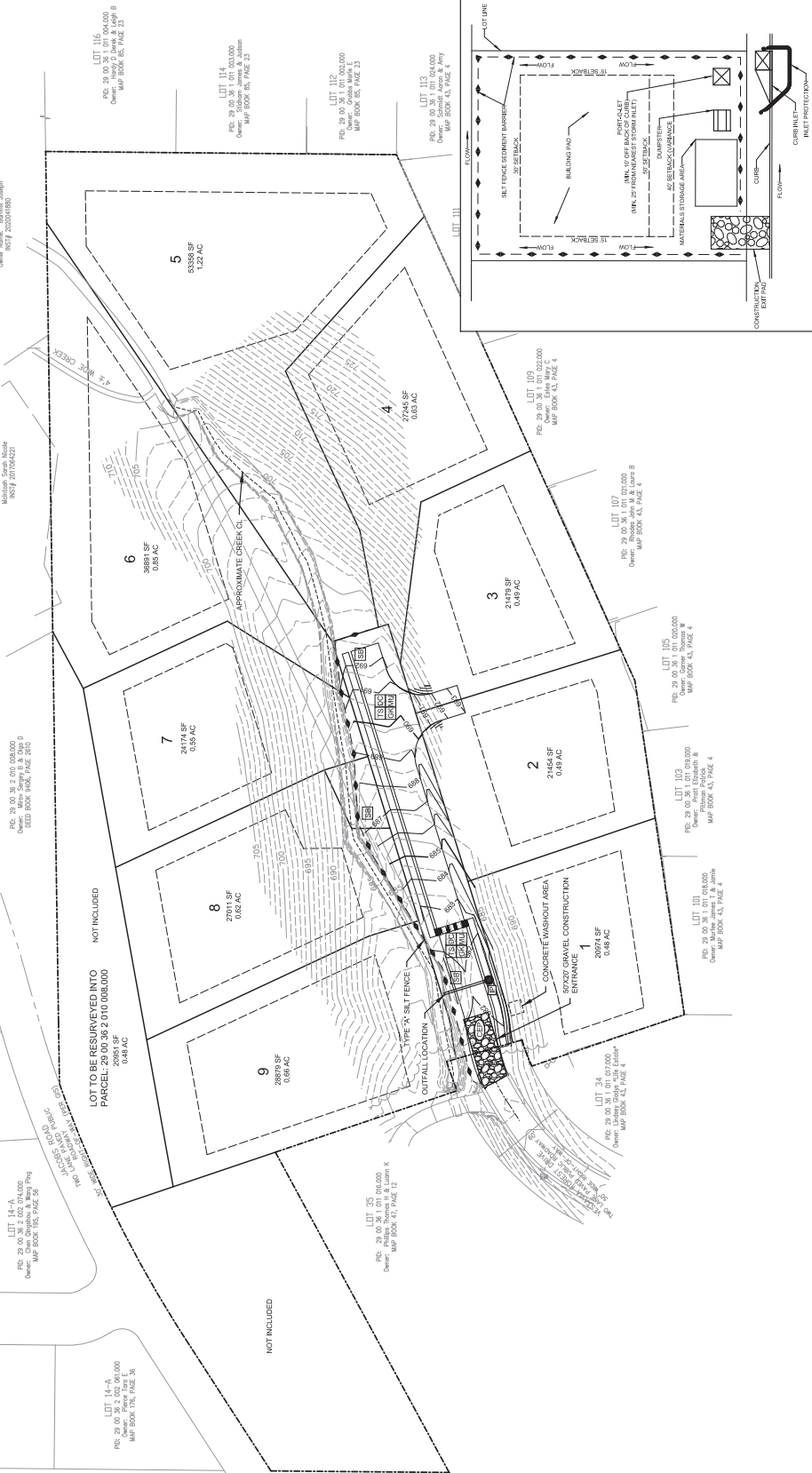
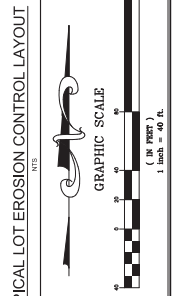
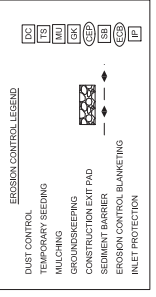
FIG. 29.00.38.2.010.000.000
 Owner: MICHOUK HOLDING TRUSTEE & TRUST
 WEST 2700 VESTAVIA FOREST

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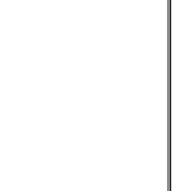
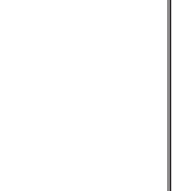
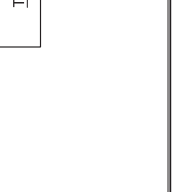
NOT INCLUDED
 LOT TO BE RESURVED INTO
 PARCEL: 29.00.38.2.010.008.000
 0.48 AC

NOT INCLUDED



EROSION CONTROL LEGEND

- INLET CONTROL
- TEMPORARY SEEDING
- MULCHING
- GROUNDKEEPING
- CONSTRUCTION EXIT PAD
- SEDIMENT BARRIER
- EROSION CONTROL BLANKETING
- INLET PROTECTION





DATE	MAY 28, 2021
PROJECT	C10 PLANT LAYOUT.DGN
PROJECT NO.	JANREV0001
CHECKED BY	WHL
DRAWN BY	CLG
REVISIONS	

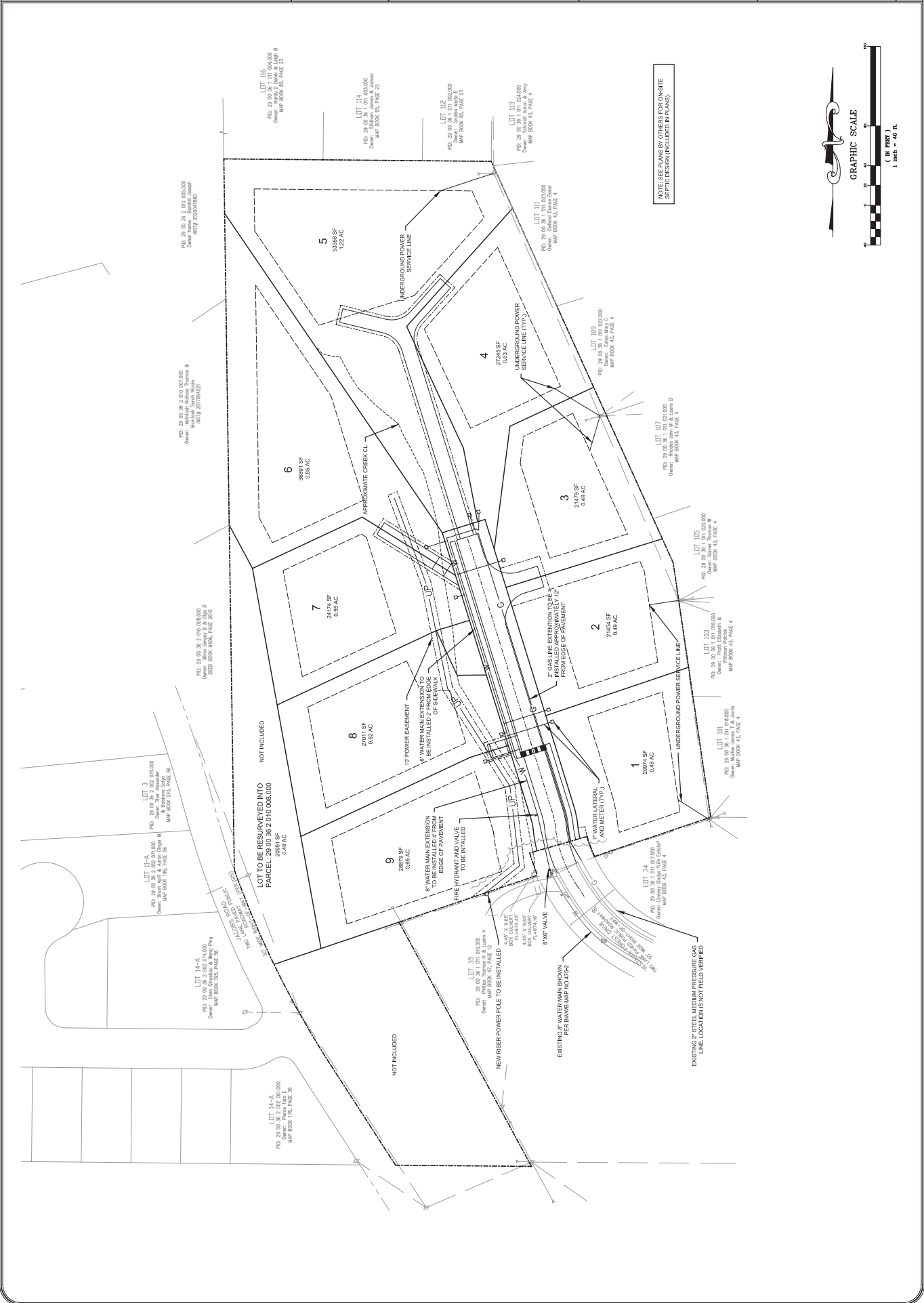
PROJECT: 2700 VESTAVIA FOREST
 DR. DEVELOPMENT
 VESTAVIA HILLS, ALABAMA

UTILITIES PLAN

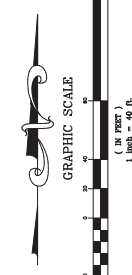
120 BISHOP CIRCLE, SUITE 300
 PELHAM, AL 35124
 TEL - (205) 403-9158
 FAX - (205) 403-9175



C4.0
 SHEET NO. 11
 PRINTED DATE: 5/28/21



NOTE: SEE PLANS BY OTHERS FOR GRANITE SEPTIC DESIGN (INCLUDED IN PLANS).





PROJECT NO.	2700 VESTAVIA FOREST
DR. DEVELOPMENT	VESTAVIA HILLS, ALABAMA
DETAILS AND SECTIONS	
DATE	MAY 26, 2021
PROJECT NO.	JANVE50001
PROJECT NAME	WHI
CHECKED BY	CLG
DRAWN BY	REBR/MS

DATE	MAY 26, 2021
PROJECT NO.	JANVE50001
PROJECT NAME	WHI
CHECKED BY	CLG
DRAWN BY	REBR/MS

PROJECT: 2700 VESTAVIA FOREST
 DR. DEVELOPMENT
 VESTAVIA HILLS, ALABAMA
 DETAILS AND SECTIONS

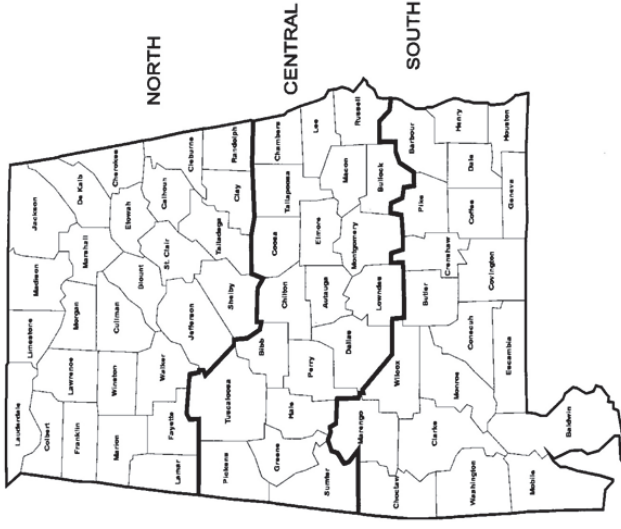
120 BISHOP CIRCLE, SUITE 300
 PERHAM, AL 35124
 TEL - (205) 403-9158
 FAX - (205) 403-9175



C5.0
 PRINTED MATTER

Species	Seeding Rates/AC PLS	North	Central	South
Bahiangrass, Pensacola	40 lbs	-	Seeding Dates Mar 15-July 1	Feb 1-Nov 12
Bahiangrass, Common	10 lbs	Apr 1-July 1	Mar 15-July 1	Mar 1-July 15
Bahiangrass, Pensacola	30 lbs 5 lbs	-	Mar 1-July 1	Mar 1-July 15
Bermudagrass, Hybrid (Lawn Types)	Solid Sod	Anytime	Anytime	Anytime
Bermudagrass, Hybrid (Lawn Types)	Sprigs 1/eq ft	Mar 1-Aug 1	Mar 1-Aug 1	Feb 15-Sep 1
Bermudagrass, Hybrid (Lawn Types)	40-50 lbs	Apr 1-Nov 1	Apr 1-Nov 1	Apr 1-Nov 1
Sericea & Common	40-50 lbs	Mar 15-July 15	Mar 15-July 15	Feb 15-July 15
Bermudagrass	40 lbs 10 lbs	Mar 15-July 15	Mar 15-July 15	Feb 15-July 15
Switchgrass, Alamo	4 lbs	Apr 1-Jun 15	Mar 15-Jun 15	Mar 15-Jun 15

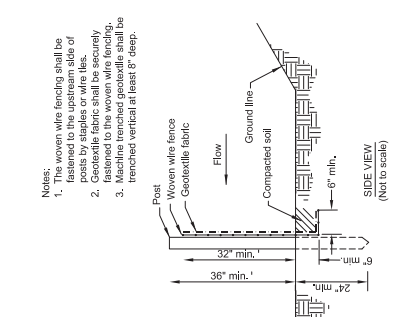
Figure FS-1 Geographical Areas for Species Adaptation



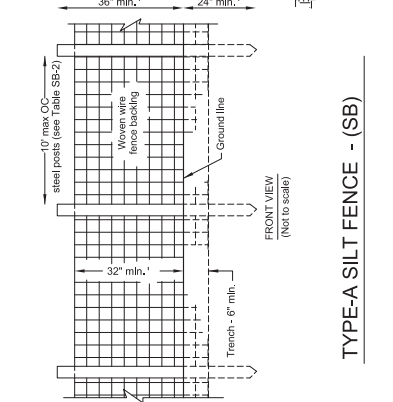
Note: Site conditions related to soils and aspect in counties adjacent or close to county boundaries may justify adjustments in planting dates by qualified design professionals.

Table ML-1 Mulching Materials and Application Rates

Material	Rate Per Area and (Per 1000 (0.2))	Notes
Straw (with Seed)	1 1/2 - 2 tons (70 lbs - 90 lbs)	Spread by hand or machine, anchor when subject to blowing.
Straw Alone (no seed)	2 1/2 - 3 tons (115 lbs - 160 lbs)	Spread by hand or machine, anchor when subject to blowing.
Wood Chips	5-6 tons (225 lbs - 270 lbs)	Apply by hand or machine, anchor when subject to blowing.
Bank	35 cubic yards (0.8 cubic yard)	Can apply with mulch blower.
Pine Straw	1-2 tons (45 lbs - 90 lbs)	Spread by hand or machine, will not blow like straw.
Peanut Hulls	10-20 tons (450 lbs - 900 lbs)	Apply by hand or machine, will not blow like straw.



TYPE-A SILT FENCE - (SB)



CONSTRUCTION EXIT PAD - (CEP)

DESIGN BASIS:
 NORTH AMERICAN GREEN S150 OR NORTH AMERICAN GREEN HYDRACK OR APPROVED ALTERNATE.

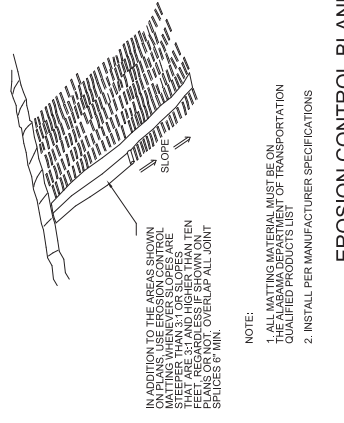
DEFINITION:
 A PROTECTIVE SOIL STABILIZATION COVERING (MATTING OR HYDROSEED WITH TACKIFIER) USED TO PROTECT SOIL FROM EROSION ON CHANNELS, OR SHOULDERLINES, IT ALSO REINFORCES TO RESIST FORCES OF EROSION DURING STORM EVENTS.

PHYSICAL PROPERTIES

THICKNESS	0.5 INCH
WEIGHT	0.8 PSY
ROLL WIDTH	38 INCHES
LENGTH (MINIMUM)	15 LBS/INCH
LENGTH (ULTIMATE)	20 LBS/INCH

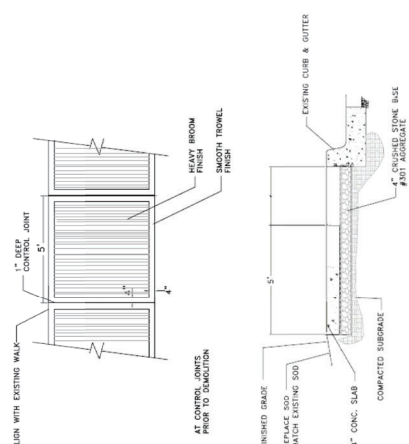
MINIMUM VALUE

EROSION CONTROL BLANKET - (ECB)



STANDARD DUTY PAVING SECTION

N.T.S.





DATE	MAY 26, 2021
PROJECT NO.	2700 VESTAVIA FOREST
DRAWN BY	JMM/BS/001
CHECKED BY	WHL
C.L.G.	
REVISIONS	

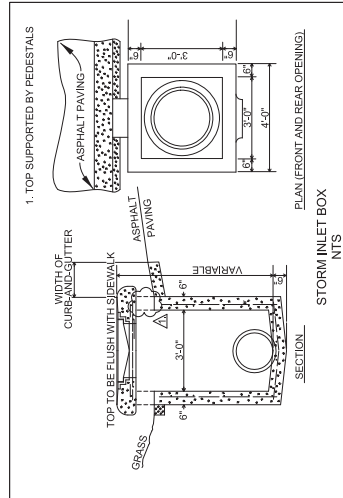
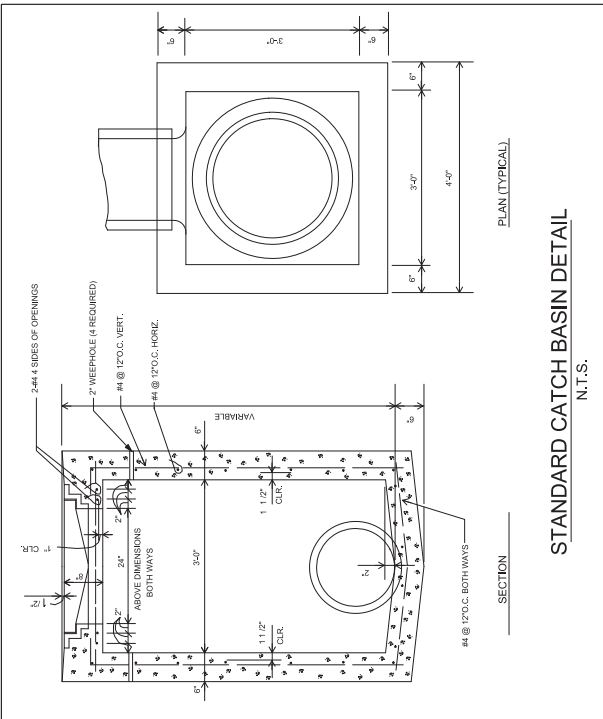
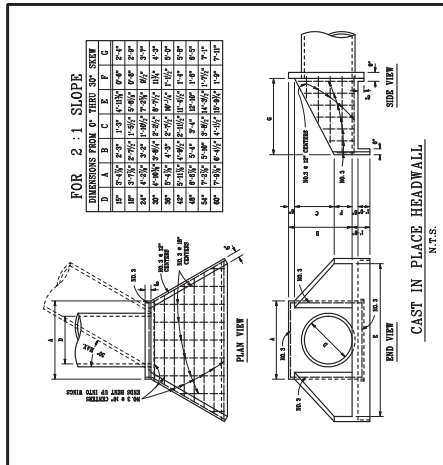
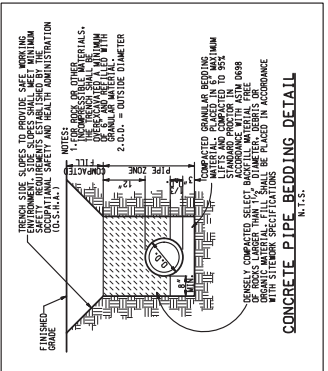
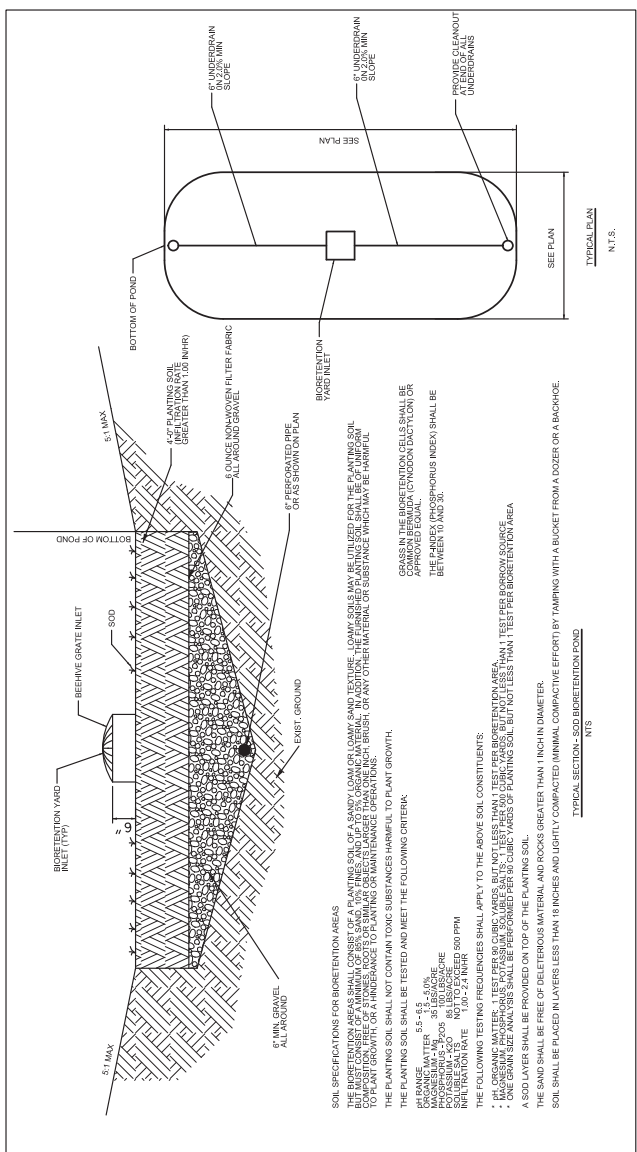
PROJECT: 2700 VESTAVIA FOREST
 DR. DEVELOPMENT
 VESTAVIA HILLS, ALABAMA

DETAILS AND SECTIONS
 TITLE: 2700 VESTAVIA FOREST
 PROJECT: 2700 VESTAVIA FOREST
 DR. DEVELOPMENT
 VESTAVIA HILLS, ALABAMA

120 BISHOP CIRCLE, SUITE 300
 PERHAM, AL 35124
 TEL - (205) 403-9158
 FAX - (205) 403-9175



C5.1
 SHEET NO. 16
 PRINTED DATE: 05/26/21



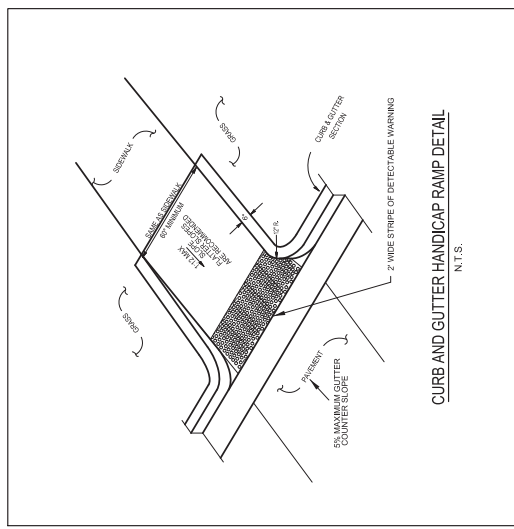


DATE	MAY 26, 2021
PROJECT	C10, PLOT LAYOUT.DGN
PROJECT NO.	JANVE50001
DESIGNED BY	WHL
CHECKED BY	CLG
DRAWN BY	CLG
REVISIONS	

PROJECT	2700 VESTAVIA FOREST DR. DEVELOPMENT VESTAVIA HILLS, ALABAMA
TITLE	DETAILS AND SECTIONS

120 BISHOP CIRCLE, SUITE 300
 PELHAM, AL 35124
 TEL - (205) 403-9158
 FAX - (205) 403-9175

EDG
 ENGINEERING DESIGN GROUP, LLC
 CIVIL ENGINEERING • LAND SURVEYING
 (205) 403-9158



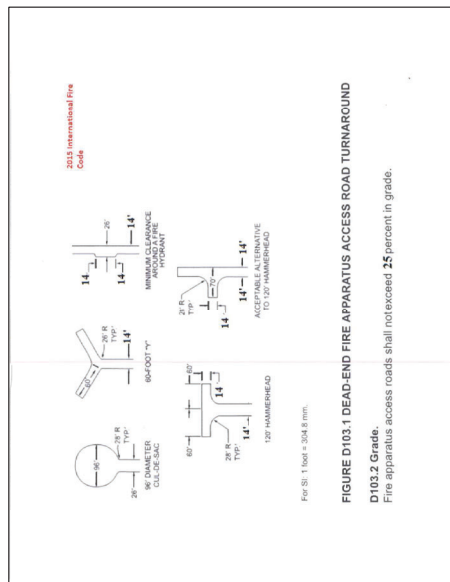
GENERAL NOTES FOR CURB RAMPS AND SIDEWALKS:

1. WHILE THE TURNING SPACE IS DETERMINED AT THE BACK-OF-SIDEWALK, SUCH AS 4'-0" MIN BY 5'-0" MIN, THE 5'-0" DIMENSION SHALL BE PROVIDED IN THE CURB RAMP SECTION OF THE RAMP RUN.
2. SIDEWALK, RAMP, AND CURB RAMP SURFACES SHALL BE NON-SLID PREPARED BY CONCRETE OR POLISHED ASPHALT.
3. 2% (500:1) OR LESS IS CONSIDERED FLAT.
4. INSTALL EXPANSION JOINT MATERIAL WHERE NEW CONSTRUCTION MEETS EXISTING CONSTRUCTION. JOINT MATERIAL SHALL MEET THE REQUIREMENT OF SECTION 832.07 AND BE SEALED IN ACCORDANCE WITH SECTION 832.02.
5. WITH THE NOTES NOT BLACK ONE (1) FOOT FROM FACE OF SIDEWALK.
6. SIDEWALKS, RAMPS, LANDINGS, AND CURB RAMPS SHALL BE FOUR (4) INCHES THICK UNLESS NOTED OTHERWISE.
7. RAMP AND CURB RAMP GRADE/SLOPE IN THE DIRECTION OF PEDESTRIAN TRAVEL SHALL BE 2% (500:1).
8. GUTTER SLOPE SHALL NOT EXCEED 0.3% (120:1).
9. WITHIN THE STREET OR HIGHWAY RIGHT-OF-WAY, THE GRADE OF THE PEDESTRIAN ACCESS ROUTES SHALL NOT EXCEED THE GENERAL GRADE ESTABLISHED FOR THE STREET OR HIGHWAY RIGHT-OF-WAY. IF THEY SHALL HAVE A MAXIMUM GRADE OF 20% (10:5).
10. TRANSITION STRIPS IF SEPARATE DIFFERENCES BETWEEN READYWAY SLOPE AND CURB RAMP SLOPE ARE GREATER THAN 9:1 (11:0%). TRANSITION STRIP SHALL NOT EXCEED 2.0% (50:1).
11. DIRECTION OF PEDESTRIAN TRAVEL AND EXTENT OF THE CURB RAMP SHALL BE INDICATED BY THE CURB RAMP SLOPE AND DEVICES. THE COLOR SHALL BE BROWN, RED OR A COLOR APPROVED BY THE LOCAL AUTHORITY. THE CURB RAMP SHALL BE CONSTRUCTED WITH A DARK OR DARK-ON-LIGHT COLOR.
12. VERTICAL SURFACE DISCONTINUITIES SHALL BE 0-50 INCH MAXIMUM VERTICAL SURFACE DISCONTINUITIES SHALL BE 2:1 (50:0%). AND 0-35 INCH SHALL BE DECELED WITH TRAVEL BETWEEN THE DOWNS.
13. THESE MAXIMUM SLOPES SHALL NOT BE EXCEEDED.
14. LOCATE STORM DRAIN AT THE BASE OF CURB RAMPS. LOCATE STORM DRAIN IN ITS UP-DRAIN.
15. IF A 4 FOOT SIDEWALK IS REQUIRED, THEN A 5 FOOT X 5 FOOT PASSING ZONE SHALL BE CONSTRUCTED EVERY 200 FEET.
16. IF THE SIDEWALK IS ADJACENT TO THE CURB, THE WIDTH SHOULD BE 6 FOOT MINIMUM FROM CURB TO SIDEWALK.

PRE-FABRICATED MAT OPTION (INLAID)
 EXPANSION JOINT
 BRICK PAVEMENT
 4" MIN. CURB OR GUTTER
 1/2" CRACK MORTAR
 2'-0" - 1'-6"
 2'-6"

BRICK PAVER OPTION
 SIDEWALK
 2'-6"

INSTALL PER THE MANUFACTURER'S RECOMMENDATIONS



For 96" 1'600" = 304.8 mm.

FIGURE D103.1 DEAD-END FIRE APPARATUS ACCESS ROAD TURNAROUND
D103.2 Grade.
 Fire apparatus access roads shall not exceed 2% percent in grade.

STORM WATER MANAGEMENT REPORT

For

A NEW RESIDENTIAL DEVELOPMENT KNOWN AS

2700 Vestavia Forest Drive Development

LOCATED IN

THE CITY OF VESTAVIA HILLS, ALABAMA

May 28, 2021

PREPARED BY:



**120 Bishop Circle, Suite 300
Pelham, Alabama 35124
Phone 205-403-9158
Fax 205-403-9175**

Project No. JMRI0001

**P-0621-23//29-00-36-1-011-005.000
2700 Vestavia Forest Drive
Prelim Map for Sub w/9 lots
RW Development**

This report is a summary explanation of the storm water management measures for a new residential development to be called 2700 Vestavia Forest Drive Development. This report is meant to show compliance with the City of Vestavia's Stormwater requirements.

Existing Conditions

The site is located on approximately 6.5 acres of previously undeveloped property sited at the end of Vestavia Forest Drive. The site is wooded with heavy underbrush. An unnamed tributary of Patton Creek flows along the middle of the property and flows from north to south. The entire site is sloped towards the creek that flows through the property forming a valley.

Proposed Improvements

The proposed development will include 9 residential lots, varying in size, for new homes as well as a roadway, sidewalk, utilities and associated grading.

Off-site storm water will flow through the site to the creek that flows through the middle of the property. This will isolate the site so that only the on-site storm water is collected and controlled by the storm water management features. Runoff generated by each lot will be collected into an individual storm water bio retention pond.

Storm water runoff rates will be controlled via bio retention pond that will restrict the release of storm flows. These ponds locations will vary based on the layout of the individual lot. Each lot of the development will discharge directly to the creek.

Storm water quality treatment will be performed by installing a sand/soil mixture with an underdrain into the bottom of each of the bio retention ponds – converting it into a sand filter for low level rainfall events. In addition to this, the individual home sites will utilize bio retention ponds where feasible to catch and treat the first flush before it leaves those lots.

For detailed information related to the storm water infrastructure, detention/water quality ponds, and individual home site bio retention areas, reference the projects civil engineering construction documents.

Water Quality Analysis

The city of Vestavia Hills requires a new development to provide a calculated water quality amount via the following water quality calculation:

$$WQv = 1.1 \text{ inches / acre of additional impervious area}$$

For this undeveloped site the following information was used to calculate the water quality volume per lot.

$$\begin{aligned}
 \text{Average Lot Area} &= 29,000 \text{ ft}^2 (0.67 \text{ AC}) \\
 \text{Maximum Building Area (9 Lots)} &= 3,050 \text{ ft}^2 \\
 \text{Average Driveway Surface Area (9 Lots)} &= 1,200 \text{ ft}^2 \\
 \text{Proposed Roadway Area} &= 8,725 \text{ ft}^2 \\
 \text{Total Additional Impervious Area} &= 46,975 \text{ ft}^2 (1.08 \text{ AC})
 \end{aligned}$$

$$\begin{aligned}
 WQv &= 4,315 \text{ ft}^3 \text{ of storage required} \\
 \text{Per Lot (9) Water Quality} &= \frac{4,315 \text{ ft}^3}{9 \text{ Lots}} = 480 \text{ ft}^3
 \end{aligned}$$

Methodology

The SCS Method was used to determine runoff volumes and rates, and to route flows to the retention ponds. The Rational Method was used to determine flow rates for Storm Pipe Sizing and Design. Aiding in design and analysis were commonly used computer software programs: Hydrology Studio 2018 v2.0.0.53 was used for Hydrograph generation (SCS) and Detention Modeling, and Stormwater Studio 2017 v2.0.0.58 was used for Runoff Calculations (Rational) and Pipe Modeling/Sizing. Times of Concentration were generated by the TR-55 method within each of these computer models. All calculations are based on the Grading and Storm Plan for the development as prepared by Engineering Design Group, LLC.

Curve Numbers

The property is split between soils classified as “B” and “D” by the National Resource Conservation Service (NRCS). Below is a chart of SCS standard numbers (SN) that were used in the modeling of the site’s drainage. Any area with more than one type of ground cover was analyzed and a composite SN for that basin was calculated.

General SCS Numbers

Description	SCS Number
Pre Developed Woods	75
(1/2 acre) Residential	70
Ponds / Roads	98

Similarly, the Rational Method Runoff Coefficient (C) was found using the chart below:

General C Numbers

Description	C Number
Existing (1 acre) Residential	0.30
Proposed (1/3 acre) Residential	0.50

Retention Analysis

Each lot must have a bio retention pond capable of treating the required $480ft^3$ of water quality storage. This can be achieved by a 32' x 32' x 3' bio retention pond with 3:1 side slopes. A typical cross section detail for a bio retention pond can be found in the Appendix section. These ponds were analyzed for the 2-25 year storms as well as the 100-yr storm. The pre/post runoff for the average lot are listed in chart below and the attached exhibits for the results and other supporting information.

2-Yr Storm Event			5-Yr Storm Event			10-Yr Storm Event			25-Yr Storm Event		
Pre	Post	Change	Pre	Post	Change	Pre	Post	Change	Pre	Post	Change
0.73	1.31	+0.58	1.02	1.76	+0.74	1.32	2.20	+0.88	1.80	2.88	+1.08

All results shown as Cubic Feet per Second (CFS)

Summary

Once completed, the proposed storm water system will convey water through the site and discharge water from the site in a manner that is safe to the proposed development and downstream properties. While runoff volumes are unavoidably increased, rates of discharge will closely mimic those of the existing condition. It is our professional opinion that the proposed system, if constructed and maintained as designed, will not adversely impact downstream properties.

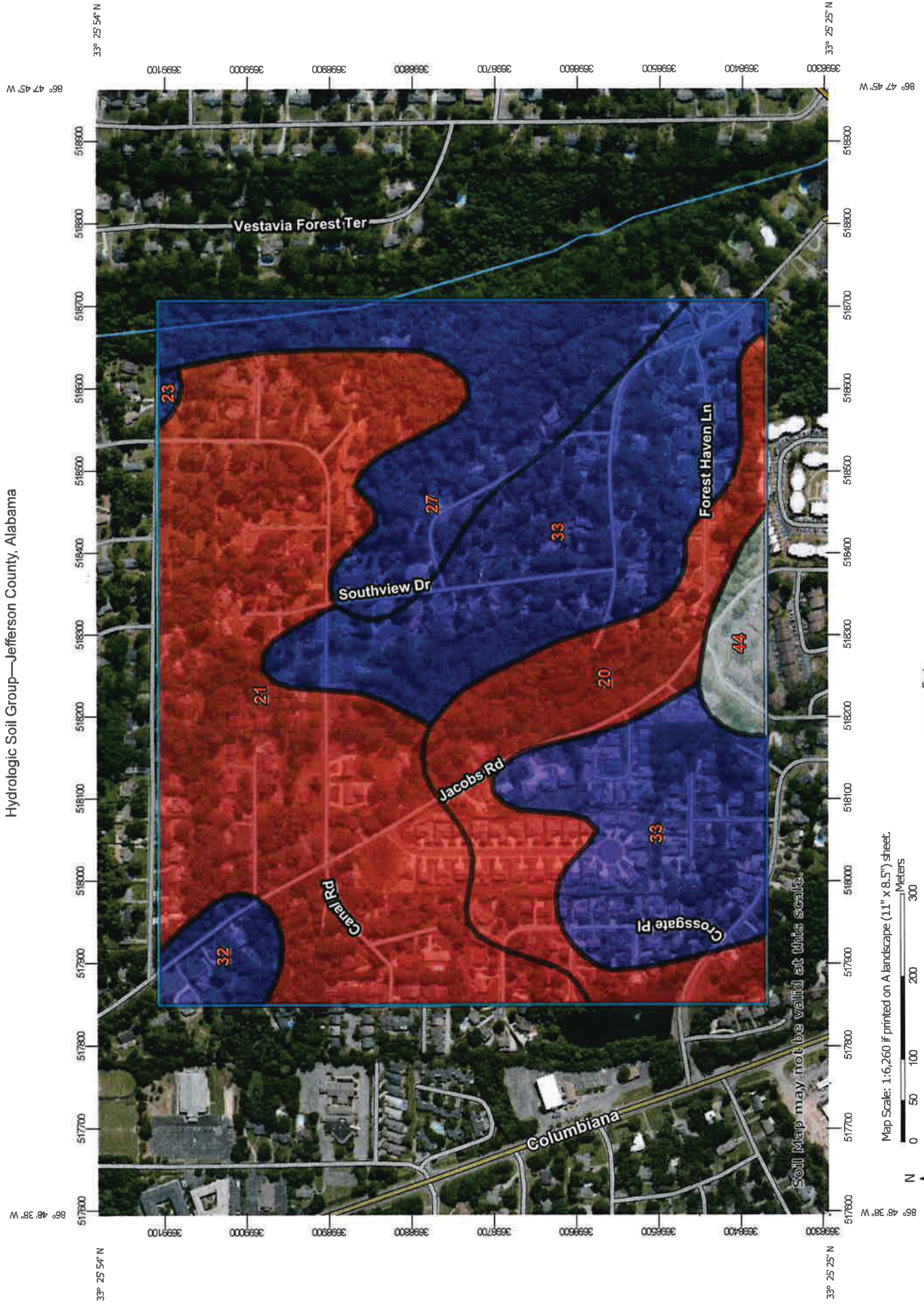
Detention Pond Narrative and Maintenance Requirements

Maintenance of the detention system ponds and outlet control structures is critical to the system's functionality. After each rainfall event, the detention ponds, outlet control structures, and pipes should be inspected. Trash or other debris that accumulates after a rainfall event around the outlet control structures should be removed to ensure proper function. At a minimum, the outlet pipes should be cleaned and inspected on a monthly basis to ensure they are not clogged with trash, sediment, yard clippings or other debris. Any visible defect or problem related to the detention system should be reported to the civil engineer immediately. Vegetative growth within the ponds should be kept to a minimum. Grass should be mowed/trimmed and sapling trees/weeds should be removed. Left unchecked, vegetative growth will hinder the performance of the detention ponds.

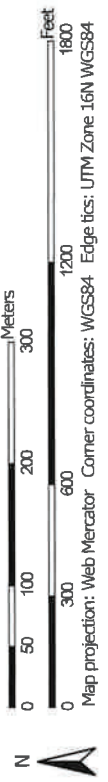
Appendix

1. Hydrologic Soil Group Map
2. Bio-Retention Pond Basin Exhibits

Hydrologic Soil Group—Jefferson County, Alabama

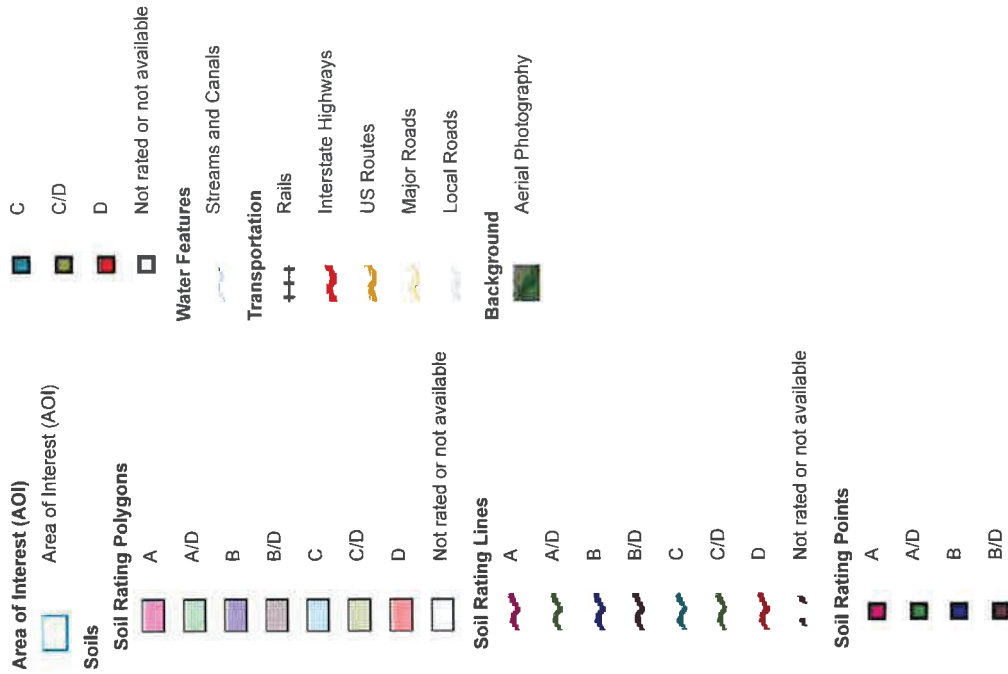


Map Scale: 1:6,260 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 16N WGS84

MAP LEGEND



MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Jefferson County, Alabama
 Survey Area Data: Version 13, May 28, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Apr 23, 2019—Jul 9, 2019

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
20	Gorgas-Rock outcrop complex, steep	D	22.9	14.6%
21	Gorgas-Rock outcrop-Urban land complex, 8 to 15 percent slopes	D	56.4	35.9%
23	Hanceville-Urban land complex, 2 to 8 percent slopes	B	0.4	0.2%
27	Leesburg-Rock outcrop complex, steep	B	22.0	14.0%
32	Nauvoo-Urban land complex, 2 to 8 percent slopes	B	4.0	2.6%
33	Nauvoo-Urban land complex, 8 to 15 percent slopes	B	47.6	30.3%
44	Urban land		3.9	2.5%
Totals for Area of Interest			157.2	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

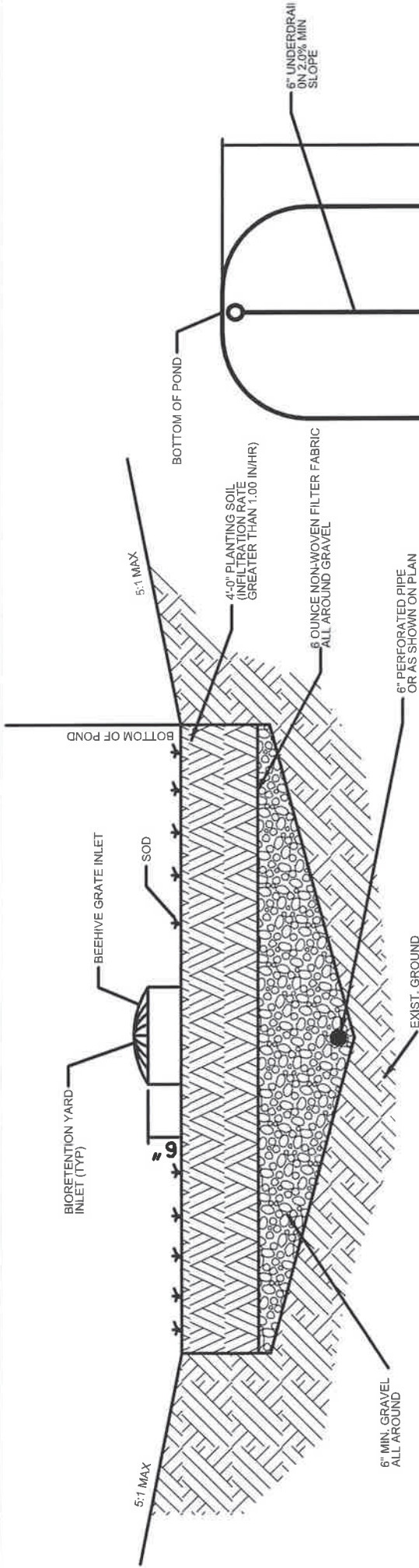
If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher



SOIL SPECIFICATIONS FOR BIORETENTION AREAS

THE BIORETENTION AREAS SHALL CONSIST OF A PLANTING SOIL OF A SANDY LOAM OR LOAMY SAND TEXTURE. LOAMY SOILS MAY BE UTILIZED FOR THE PLANTING SOIL BUT MUST CONSIST OF A MINIMUM OF 85% SAND, 10% FINES, AND UP TO 5% ORGANIC MATERIAL. IN ADDITION, THE FURNISHED PLANTING SOIL SHALL BE OF UNIFORM COMPOSITION, FREE OF STONES, ROCKS, OR OTHER MATERIALS WHICH MAY BE HARMFUL TO PLANT GROWTH, OR A HINDERANCE TO PLANTING OR MAINTENANCE OPERATIONS.

THE PLANTING SOIL SHALL NOT CONTAIN TOXIC SUBSTANCES HARMFUL TO PLANT GROWTH.

THE PLANTING SOIL SHALL BE TESTED AND MEET THE FOLLOWING CRITERIA:

PH RANGE	5.5 - 6.5
ORGANIC MATTER	5.5 - 5.0%
NITROGEN	35 LBS/ACRE
PHOSPHORUS - P ₂ O ₅	100 LBS/ACRE
POTASSIUM - K ₂ O	85 LBS/ACRE
SOLUBLE SALTS	NOT TO EXCEED 500 PPM
INFILTRATION RATE	1.00 - 2.4 IN/HR

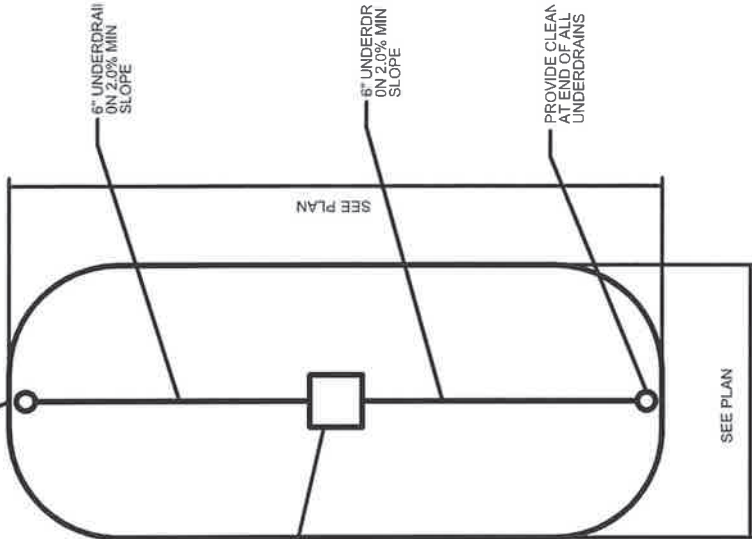
THE FOLLOWING TESTING FREQUENCIES SHALL APPLY TO THE ABOVE SOIL CONSTITUENTS:

- PH, ORGANIC MATTER: 1 TEST PER 90 CUBIC YARDS, BUT NOT LESS THAN 1 TEST PER BIORETENTION AREA.
- MAGNESIUM, PHOSPHORUS, POTASSIUM, SOLUBLE SALTS: 1 TEST PER 500 CUBIC YARDS, BUT NOT LESS THAN 1 TEST PER BORROW SOURCE
- ONE GRAIN SIZE ANALYSIS SHALL BE PERFORMED PER 90 CUBIC YARDS OF PLANTING SOIL, BUT NOT LESS THAN 1 TEST PER BIORETENTION AREA

A SOD LAYER SHALL BE PROVIDED ON TOP OF THE PLANTING SOIL.

THE SAND SHALL BE FREE OF DELETERIOUS MATERIAL AND ROCKS GREATER THAN 1 INCH IN DIAMETER.

SOIL SHALL BE PLACED IN LAYERS LESS THAN 18 INCHES AND LIGHTLY COMPACTED (MINIMAL COMPACTIVE EFFORT) BY TAMPING WITH A BUCKET FROM A DOZER OR A BACKHOE.



TYPICAL PLAN

N.T.S.

TYPICAL SECTION - SOD BIORETENTION POND

NTS



VESTAVIA HILLS
FIRE DEPARTMENT

ASHLEY C. CURRY
Mayor

MARVIN D. GREEN
Fire Chief

May 11, 2021

Corey Guin
Engineering Design Group, LLC
120 Bishop Circle Suite 300
Pelham, AL 35124

Dear Mr. Guin:

I have reviewed the water main extension plan for the 2700 Vestavia Forest Drive Development you recently submitted to our office. I have no issues with the location of the fire hydrant as drawn. If you have any other questions please reach out.

Sincerely,

Deputy Chief Ryan Farrell
Fire Marshal

P-0621-23//29-00-36-1-011-005.000
2700 Vestavia Forest Drive
Prelim Map for Sub w/9 lots
RW Development

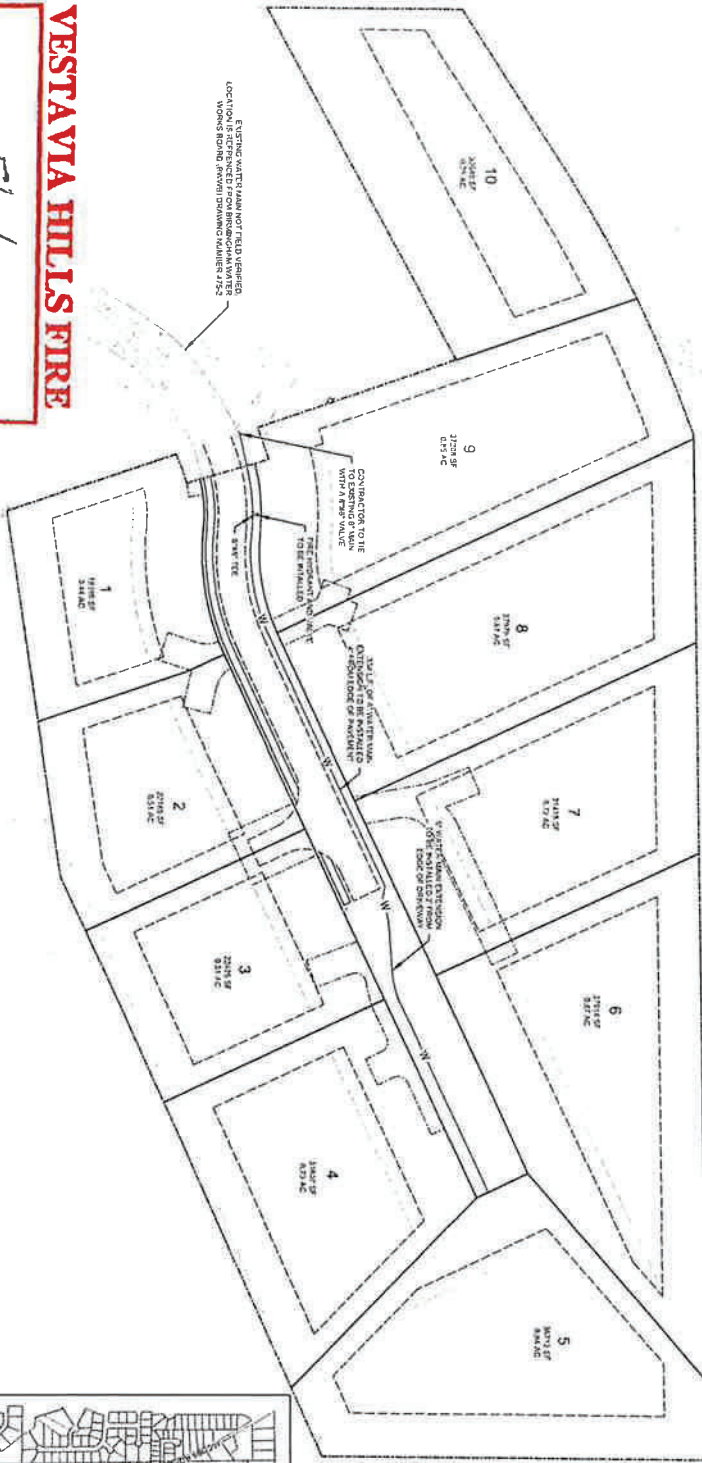
VESTAVIA HILLS CITY HALL
1032 Montgomery Highway | Vestavia Hills, AL 35216
P. O. Box 660854 | Vestavia Hills, AL 35266-0854
205.978.0225 | VHAL.ORG

VESTAVIA HILLS FIRE

Date: 5/11/21

Initial: ZF

PLAN REVIEW



APPROVED FOR CONSTRUCTION

PROJECT MANAGER _____ DATE _____

ENGINEER/DESIGNER/GENERAL SERVICES _____ DATE _____

PROJECT NUMBER _____ STAFF PRESIDENT _____

DETAILED BY _____ DATE _____

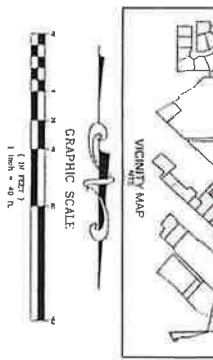
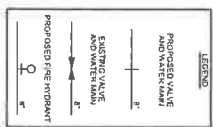
THE WATERWORKS BOARD OF THE CITY OF BIRMINGHAM

NOTES:

1. THIS PLAN IS THE PROPERTY OF THE ENGINEER AND WILL BE LOANED TO THE CITY OF BIRMINGHAM FOR CONSTRUCTION PURPOSES ONLY. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

LAY 4: OFF PROPOSED PAVING

1. ALL WATER SERVICE INSTALLATIONS SHALL COMPLY WITH THE CITY OF BIRMINGHAM WATER SERVICE STANDARDS.
2. EXISTING WATER SERVICE LINES SHALL BE ABANDONED AND NOT REINSTALLED UNLESS OTHERWISE SPECIFIED.
3. ALL EXISTING WATER SERVICE LINES SHALL BE ABANDONED AND NOT REINSTALLED UNLESS OTHERWISE SPECIFIED.
4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF BIRMINGHAM.
5. THE SITE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF BIRMINGHAM.



EDG
ENGINEERING DESIGN GROUP, LLC
2700 VESTAVIA FOREST DRIVE, SUITE 300
PELHAM, AL 35124

2700 VESTAVIA FOREST
DR. DEVELOPMENT
VESTAVIA HILLS, ALABAMA

**BWWB WATER MAIN EXTENSION
PLAN**

PROJECT	CLO
DESIGNED BY	WVC
CHECKED BY	JUNHES0001
DATE	CLO PLOT LAYOUT.DGN
	MAY 7, 2021

PRELIMINARY

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: **JUNE 10, 2021**

- **CASE:** P-0621-22
- **REQUESTED ACTION:** Conditional Use Approval for a home based business
- **ADDRESS/LOCATION:** 4950 Reynolds Ln.
- **APPLICANT/OWNER:** Willie & Darlene S. Myers, Jr.
- **GENERAL DISCUSSION:** The applicant wishes to conduct a home based business in Liberty Park. As currently required by the Liberty Park PUD a conditional use permit is required for a home based business. A description of the applicants business is attached. The property is zoned PR-1.
- **LIBERTY PARK MASTER PLAN:** This request is consistent with the procedures of the Liberty Park PUD.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: I recommend the Commission recommend approval with the following conditions:

1. Home occupations shall be conducted only in the principal dwelling. No more than twenty-five (25) percent, up to 500 sq. ft., of the dwelling may be used for a home occupation.
2. There shall be no outdoor display or storage associated with the home occupation and no commodities shall be sold on the premises other than by phone, mail or internet. No goods shall be delivered to a purchaser on the premises.
3. No sign may be attached to the dwelling or any part of the real estate advertising any home occupation.
4. No home occupation shall be permitted if it creates noise, odors, vibrations or traffic congestion, which interferes with the residential qualities of the neighborhood insofar as health, safety, morals, convenience and general welfare are concerned.

5. In order to be a permitted home occupation, the use must be one which is habitually, customarily, and commonly established as a reasonable incidental, accessory, subordinate and secondary use. The existing dwelling shall not be enlarged to accommodate the home occupation; nor shall any accessory structure be built for the purpose of operating the home occupation.

6. No home occupation shall be permitted that requires the operation or keeping on premises of a commercial vehicle.

7. No persons other than members of the family residing on the premises shall be employed by the home occupation.

8. Home occupations shall be limited to the hours between 7:00 a.m. and 10:00 p.m.

2. **City Engineer Review:** I have reviewed the application and I have no issues with this request.
3. **City Fire Marshal Review:** I have reviewed the application and I have no issues with this request
4. **Building Safety Review:** I have reviewed the application and I have no issues with this request.

2021 MAY -6 A 2:00
CITY OF VESTAVIA HILLS
PLANNING AND ZONING COMMISSION

Conditional Use Application

I. INSTRUCTIONS AND INFORMATION:

- (1) The Vestavia Hills Planning and Zoning Commission meets regularly on the second Thursday of each month at 6:00 PM in Council Chambers at the Municipal Center.
- (2) All materials and information relating to a conditional use approval before the Planning and Zoning Commission must be submitted to the Office of the City Clerk no later than **25 working days prior to the scheduled meeting at which it shall be considered**. Applications must be completed in its entirety and must contain all pertinent information in order to be considered. Acceptance by the Clerk does not constitute acceptance of complete and proper filing. All applicants are encouraged to present their request to the Zoning Staff on any Tuesday at 9 AM in the Executive Conference Room, City Hall, prior to submitting for a Conditional use.
- (3) This application must be filled out in its entirety completely, including zip codes.
- (4) All applicable fees shall accompany this application prior to its being considered complete. Fees include an application fee of \$100.00 along with applicable postage per property owner to be notified for Commission meeting. Postage Fees for notification for Planning and Zoning and for City Council meetings along with applicable publication fees will be billed to applicant at a later date. The applicant is responsible for all notification fees. ****No permits will be issued until all fees have been paid.****
- (5) Appropriate plats and maps with proper legal description shall accompany this application. **Please refer to attached checklist.**

II. APPLICANT INFORMATION: (owner of property)

NAME: WILLIE & DARLENE S. MYERS, JR
ADDRESS: 4950 Reynolds Lane
VESTAVIA, AL 35242
PHONE: 205-427-0365 EMAIL: williemyers@gmail.com
NAME OF REPRESENTING ATTORNEY OR OTHER AGENT: N/A

PHONE: _____ EMAIL: _____

P-0621-22/27-00-08-2-000-002.088

4950 Reynolds Lane
Conditional Use for a home office
Willie & Darlene Myers

II. BILLING/RESPONSIBLE PARTY: (FOR PAYMENT OF FEES)

NAME: WILLIE MYERS, JR
ADDRESS: 4950 REYNOLDS LANE
VESTAVIA, AL 35242
PHONE: 205-427-0365 EMAIL: williemyers@gmail.com

III. ACTION REQUESTED

Request that the above described property be approved conditional use approval pursuant to Section _____ of the Vestavia Hills Zoning Code.

Current Zoning of Property: PREL PLANNED Single Family Residential ^{Class 1} _{A1102}

Requested Conditional use For the intended purpose of: Working from home
for Serenity Claims (Claims Adjuster)

****if additional information is needed, please attached full description of request****

IV. PROPERTY DESCRIPTION: (address, legal, etc.)

4950 Reynolds Lane Vestavia, AL 35242
Vestlake Village 278-2 PLOT: 358 PBLK: 5 LOT 05BLK
S BLK: 100 MAPBOOK: 199 MAP PAGE 85
Property size: 149.52' feet X 160.07' feet. Acres: _____

****All applications must contain a full legal description of subject property.****

V. INFORMATION ATTACHED:

- Attached Checklist complete with all required information.
 Application fees submitted.

P-0621-22/27-00-08-2-000-002.088
4950 Reynolds Lane
Conditional Use for a home office
Willie & Darlene Myers

VI. I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. ****Application must be signed by the owner of the property before a Notary and original submitted to the Office of the Clerk; no copies will be accepted****



Owner Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this 6th day of May, 2021.



Notary Public

My commission expires _____
day of _____, 20_____.

**My Commission Expires
November 8, 2024**

P-0621-22//27-00-08-2-000-002.088
4950 Reynolds Lane
Conditional Use for a home office
Willie & Darlene Myers

Letter of Purpose

The conditional purpose of use for Serenity Claims, LLC at 4950 Reynolds Lane is intended to process insurance claim damages. Serenity Claims will be a 100 percent remote claims service.

Willie Myers, Jr

P-0621-22//27-00-08-2-000-002.088
4950 Reynolds Lane
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April 21, 2021

City of Vestavia Hills
Vestavia Hills City Hall
Vestavia Hills, AL 35242

Re: Willie Myers, Jr
4950 Reynolds Lane
Vestavia Hills, AL 35242

To Whom It May Concern:

We are writing in connections with the above matter. We understand Willie Myers, Jr is in the process of applying for a conditional use within the PR-1 (Planned Single-Family Residential) classification of the Liberty Park PUD to allow him to conduct a home occupation as the Owner of Serenity Claims LLC in his residence.

The Liberty Park Covenants, Conditions and Restrictions, that are applicable to this subject property, provide for use of any portion of a dwelling for personal use as an office subject to the following conditions and restrictions:


1. There shall be no customer, client or employee traffic to, at or near the residence that is generated, directly or in directly, by the home occupation;
2. There shall be no pickups or deliveries to the residence that are related, directly or in directly, by the home occupation, including without limitation, pickups and deliveries by overnight courier services and pickups and deliveries of inventory, samples or other goods and services related, directly or in directly, by the home occupation;
3. There shall be no signage on the property related, directly or in directly, by the home occupation; and
4. In all respects, there shall be no means, visual or otherwise, by which a casual observer would become aware that the residence is being used for any purpose other than strictly residential.

Therefore, we respectfully request that if the Planning and Zoning Commission votes to approve the conditional use of the applied for in the above referenced matter, such approval will be made subject to the above and foregoing restrictions.

If you have any questions or comments regarding this matter, or if we can assist in any other way, please call 205-945-6430.

Very truly yours,

LIBERTY PARK JOINT VENTURE, LLC

By: 
Kris Toffel
Its Authorized Representative

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