

CITY OF VESTAVIA HILLS
BOARD OF ZONING ADJUSTMENT

AGENDA

August 19, 2021

6:00 P.M.

Roll Call.

Approval of Minutes: June 17, 2021.

- (1) **BZA-0821-23** Jason & Sara McFarland are requesting a **Variance for the Location of a Fence** for the property located at **1817 Montclair Drive**. The purpose of this request is to build a fence in the front setback. The property is owned by Jason & Sara McFarland and is zoned Vestavia Hills R-2.

- (2) **BZA-0821-24** Abbey Blalock is requesting a **Front Setback Variance** for the property located at **2501 Shades Crest Road**. The purpose of this request is to reduce the front setback to 38' in lieu of the required 60' to build multiple additions. The property is owned by Abbey Blalock and is zoned Vestavia Hills R-1.

Time of Adjournment.

**CITY OF VESTAVIA HILLS
BOARD OF ZONING ADJUSTMENT**

MINUTES

June 17, 2021

The Board of Zoning Adjustment of the City of Vestavia Hills met in regular session on this date at 6:00 PM. The roll was called with the following:

MEMBERS PRESENT:

- Rick Rice, Chairman
- Robert Gower
- Stephen Greer, Alt
- Donald Holley
- Thomas Parchman, Alt
- Tony Renta

MEMBERS ABSENT:

- Loring Jones, III

OTHER OFFICIALS PRESENT:

- Jack Wakefield, Planner/GIS

APPROVAL OF MINUTES

The minutes of May 20, 2021 were presented for approval.

MOTION Motion to dispense with the reading of the minutes of March 18, 2021 was made by Mr. Greer and 2nd was by Mr. Parchman. Motion as carried on a voice vote as follows:

- Mr. Gower – yes
- Mr. Greer – yes
- Mr. Holley – yes
- Motion carried
- Mr. Parchman – yes
- Mr. Renta – yes
- Chairman Rice – yes

SIDE SETBACK VARIANCE

BZA-0521-12

Jennifer Burks is requesting a **Side Setback Variance** for the property located at **913 Haviland Drive**. The purpose of this request is to reduce the side setback to 7' in lieu of the required 15' to build a carport addition. The property is owned by the Jennifer Burks and is zoned Vestavia Hills R-2.

Mr. Wakefield described the area where the property is located and read the review which included the purpose of the request, comprehensive plan and staff review.

Jennifer Burks was present and stated her hardship was lot topography.

Ms. Burks also stated that the addition would not encroach into the front like originally thought.

Chairman Rice opened the floor for a public hearing. There being no one present in regard to the request, Mr. Rice closed the public hearing and opened the floor for a motion.

MOTION Motion to approve an 8' side setback variance to reduce the setback to 7' in lieu of the required 15', for the property located at 913 Haviland Drive was made by Mr. Renta and 2nd was by Mr. Holley. Motion was carried on a roll call vote as follows:

Mr. Gower – yes	Mr. Parchman – yes
Mr. Greer – yes	Mr. Renta – yes
Mr. Holley – yes	Chairman Rice – yes
Motion carried	

SIDE & FRONT SETBACK VARIANCE

BZA-0521-13 Andrew and Julie Craft are requesting a **Front & Side Setback Variance** for the property located at **2019 Hickory Road**. The purpose of this request is to reduce the front setback to 30' in lieu of the required 50' & to reduce the side setback to 5' in lieu of the required 15', to build multiple additions. The property is owned by Andrew and Julie Craft and is zoned Vestavia Hills R-2.

Mr. Wakefield described the area where the property is located and read the review which included the purpose of the request, comprehensive plan and staff review.

Andrew and Julie craft were present for the request and stated that their original plans changed because of water issues and flooding. They were going to do an addition on the left side of the property, but constraints moved the addition to the opposite side of the lot and into the front setback.

Chairman Rice asked if the applicants have done work since the previous variance. The Crafts responded no.

He then asked what was their hardship. The Crafts stated that they had water issues on both sides of the lot.

Mr. Greer asked if they had no water issues, what location would the applicants build at? He also stated it seemed that water runoff was dictating where they are building.

Mr. Gower stated that many people on their street have the same issue and asked why the applicants needed to build that way. Why can't they build in the rear?

The Crafts stated that the rear drainage system is tiered limiting development.

Mr. Holley stated that the reason for the front setback is to keep a similar look with the houses around it. He told the applicants that they have other solutions.

Chairman Rice opened the floor for a public hearing.

Will Choat, 2017 Hickory Road, had issues with safety and losing street visibility with the addition encroaching so far into the front. He also questioned the hardship in the case.

Karl Peterson, 2021 Hickory Road, stated he appreciated the Crafts addressing the water issue and said surrounding properties have damage because of water.

There being no one else present in regard to the request, Mr. Rice closed the public hearing and opened the floor for a motion.

Before the motion was made, the applicants withdrew their request.

LOT AREA & LOT WIDTH VARIANCE

BZA-0421-10 Steven Mote is requesting a **Lot Area Variance and Lot Width Variance** for the property located at **1118 Winward Lane (Lots 8-C-1 & 8-D-1)**. The purpose of this request is to reduce the lot area and lot width of Lot 8-C-1 and the lot area of 8-D-1, to match lot lines to existing fence line. The property is owned by the Steven Mote and is zoned Vestavia Hills R-2.

Mr. Wakefield described the area where the property is located and read the review which included the purpose of the request, comprehensive plan and staff review.

Mack Braden, 5305 12th Avenue South, was present for the request.

Mr. Braden stated that the hardship was a corner lot and the new addition would aesthetically fit the house.

Mr. Holley noticed the current house encroached on the Sunset Drive setback as well. That was made as a part of the request.

Chairman Rice opened the floor for a public hearing. There being no one present in regard to the request, Mr. Rice closed the public hearing and opened the floor for a motion.

MOTION Motion to approve an 33' front setback (Chanticleer Lane) variance to reduce the setback to 27' in lieu of the required 60' & a 13' front setback (Sunset Drive) variance to reduce the setback to 47' in lieu of the required 60' & & a 18' rear setback variance to reduce the setback to 22' in lieu of the required 30', for the property located at 312 Sunset Drive was made by Mr. Renta and 2nd was by Mr. Holley. Motion was carried on a roll call vote as follows:

Mr. Gower – yes	Mr. Parchman – yes
Mr. Greer – yes	Mr. Renta – yes
Mr. Holley – yes	Chairman Rice – yes
Motion carried	

At 7:11 PM, Mr. Parchman made a motion to adjourn. The meeting adjourned at 7:11 PM.

Jack Wakefield,
Planner/GIS

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE BOARD OF ZONING ADJUSTMENT

Date: August 19, 2021

- **CASE: BZA-0821-23**
- **REQUESTED ACTION:** Variance for Location of Fence in the Front Setback.
- **ADDRESS/LOCATION:** 1817 Montclair Drive
- **APPLICANT/OWNER:** Jason & Sara McFarland
- **REPRESENTING AGENT:** NA
- **GENERAL DISCUSSION:** Applicants are seeking a variance for the location of a fence in the front setback. The applicant's house fronts three streets (Montclair Dr, Tyler Pl, & Kentucky Ave). The new fence is needed to replace a section of an existing fence. The existing fence is located in the Tyler Pl right-of-way. The applicants will move the new fence to the property line of their lot. There is an Alabama Power easement that the new fence location will abut. Alabama Power has said they have no issue with the new location. The applicant's property is zoned Vestavia Hills R-2.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** No problems noted.
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted.
 4. **Building Safety Review:** No problems noted.

CITY OF VESTAVIA HILLS BOARD OF ZONING ADJUSTMENT APPLICATION

The owner of the property understands that the Board of Zoning Adjustment only has jurisdiction to grant variances from the Vestavia Hills Zoning Code in cases of undue hardship only. Variances cannot be considered or granted on any kind of private covenants as covenants are restrictions between property owners.

EXAMPLE: If you are asking for a variance from a building setback line and the building setback line is recorded on the plat and matches the Zoning Code, then the Board of Zoning Adjustment would only hear the case based on the Zoning Code requirements, not what is on the recorded plat. The recorded plat is a covenant between property owners of the subdivision. You must have signatures of every property owner on the recorded plat map to change the covenant portion of the setback. The letter of signatures approving the amendment of the covenants must be filed with the Office of the Probate Court. Again, the BZA can only grant a variance based on the Zoning Code and that is the only portion of the building setback changes that the BZA can vote upon. Once a waiver is filed with the Office of the Probate, please include a copy of the recorded amendment with the application to the Office of the City Clerk.

Please note: Only completed applications will be accepted by this office. The applicant is responsible for the Application Fee as well as all postage fees incurred by this request.

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: JASON (JAY) AND SARA MCFARLAND
Address: 1817 MONTCLAIRE DRIVE VESTAVIA, AL 35216
1817 MONTCLAIRE DRIVE VESTAVIA, AL 35216
Phone #: 251-581-0733 Other #: _____
E-Mail: JAYMCFARLAND@BELLSOUTH.NET

Billing/Responsible Party

Name: JASON (JAY) AND SARA MCFARLAND
Address: 1817 MONTCLAIRE DRIVE VESTAVIA, AL 35216
Phone #: 251-581-0733 Other #: _____
E-Mail: JAYMCFARLAND@BELLSOUTH.NET

Z0821-23//28-00-19-3-009-001.000
1817 Montclair Drive
Variance for location of a fence
Jason & Sara McFarland
R2

Representing Attorney/Other Agent

Name: N/A
Address: ~~1817 MONTCLAIRE DRIVE VESTAVIA, AL 35216~~
~~1817 MONTCLAIRE DRIVE VESTAVIA, AL 35216~~
Phone #: ~~251-581-0733~~ Other #: _____
E-Mail: ~~JAYMCFARLAND@BELLSOUTH.NET~~

**This section must be completed in order for a representative to represent the owner.*

II. DESCRIPTION OF SUBJECT PROPERTY:

LOCATION: 1817 MONTCLAIRE DRIVE VESTAVIA, AL 35216
Street Address
LOT 34 BLK 2 MONTCLAIRE FIFTH SECTOR
Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST (PLEASE FILL IN APPLICABLE STATEMENTS):

1. A request to vary:
_____ ' variance to reduce the lot width to _____ ' in lieu of the required _____ ' .
_____ square foot variance to reduce the lot area to _____ square feet in lieu of the required _____ square feet.
_____ ' front/side/rear (circle one) setback variance to reduce the setback to _____ ' in lieu of the required _____ ' .
_____ ' front/side/rear (circle one) setback variance to reduce the setback to _____ ' in lieu of the required _____ ' .
_____ ' front/side/rear (circle one) setback variance to reduce the setback to _____ ' in lieu of the required _____ ' .
2. A decision of the Zoning Official which the applicant believes to be contrary to the meaning of the Zoning Ordinance.
3. An application to establish a use which must be approved by the Board of Zoning Adjustment (See Section _____).
4. A request for extension of non-conforming use (See Section _____).
5. Variance for location of a fence.
6. Sign Code Variance (See Section _____).
7. Other - Explain (See Section _____).

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Variance for location of a fence
Jason & Sara McFarland
R2

IV. ZONING

Vestavia Hills Zoning for the subject property is R2.

V. HARDSHIP

Describe those things which you feel justify the action requested. An Undue Hardship is required in order to seek a variance. List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. *(Use additional space on separate page if necessary).*

CORNER LOT (3 FRONT SETBACKS)

VI. PROJECT:

Describe the scope of the project and/or the reason for requesting this variance.

REPLACE SECTION OF EXISTING 6' WOODEN FENCE WITH NEW 6' WOODEN FENCE (4' HEIGHT FOR SHORT EAST-WEST SECTION PARALLEL TO DRIVEWAY CONNECTING TO HOUSE). WITH CORNER LOT, FENCE LINE IS IN "FRONT SETBACK" ON SIDE YARD FRONTING TYLER PLACE.

VARIANCE ALSO REQUESTED FOR 3RD "FRONT SETBACK" ACROSS BACK OF LOT AND EXISTING FENCE LINE AS SUGGESTED BY CITY BUILDING SAFETY DEPARTMENT TO PROACTIVELY HAVE IN PLACE SHOULD ANY FUTURE DAMAGE REPAIRS TO EXISTING FENCE BE REQUIRED.

VII. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. I, also, understand that I am asking for a variance based on the Zoning Code only and not on any or all covenants that are on the subject property. ***Note, this application must be signed by the owner of the property before a notary. The original application shall be submitted, no copies shall be accepted***

Jason McFarland 7/15/21
Owner Signature/Date

Representing Agent (if any)/date

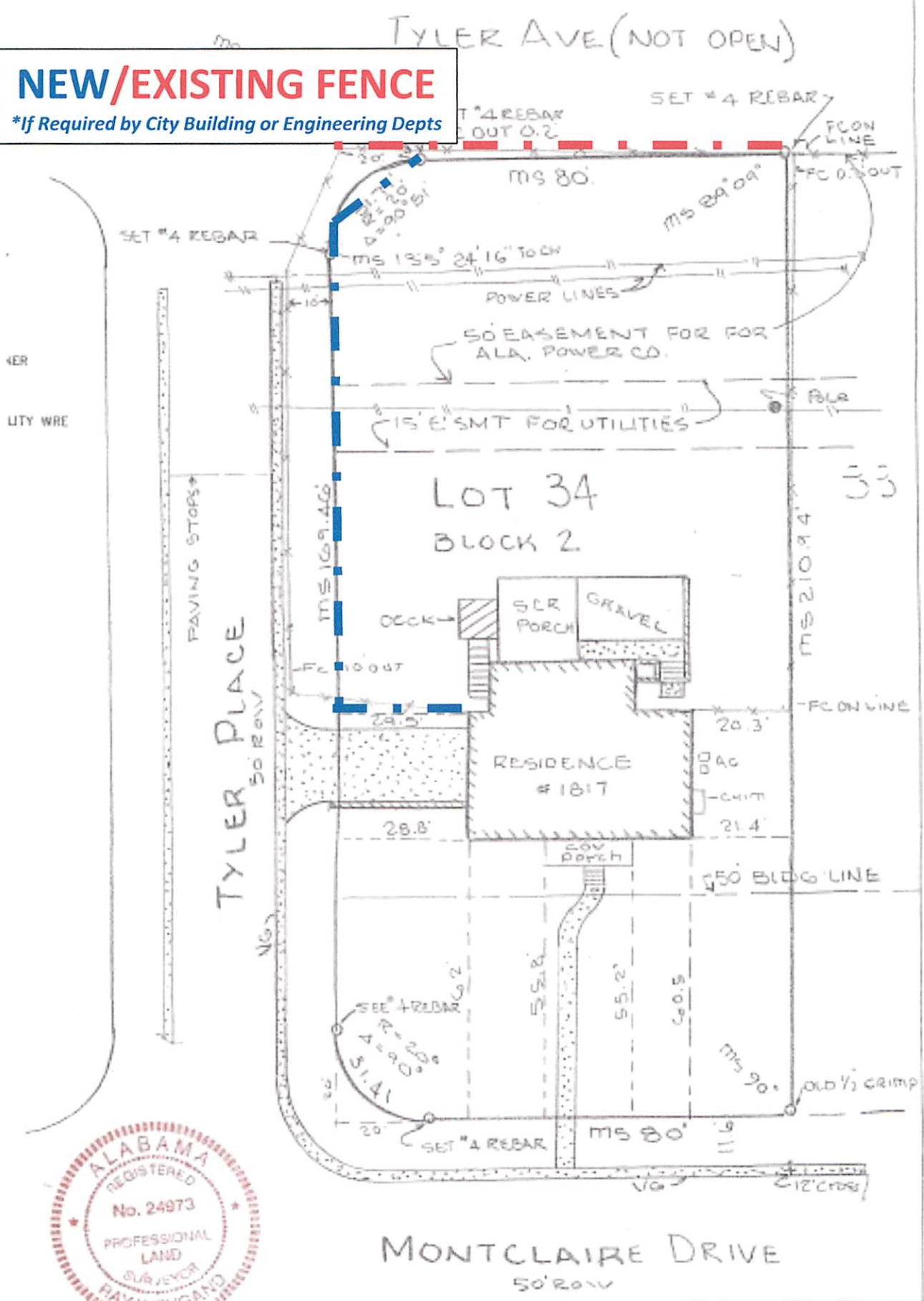
Given under my hand and seal
this 15th day of July, 2021.

Jason H. [Signature]
Notary Public
My commission expires July
day of July, 2023.

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R2

NEW/EXISTING FENCE

*If Required by City Building or Engineering Depts



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1817 Montclair Drive
Variance for location of a fence
Jason & Sara McFarland
R2

1817 Montclair Drive

Variance for location of a fence
Jason & Sara McFarland
R2

jaymcfarland@bellsouth.net

From: Lori Beth Kearley <lbkearley@vhal.org>
Sent: Thursday, August 20, 2020 10:46 AM
To: Cristen Speegle
Cc: Christopher Brady; jaymcfarland@bellsouth.net
Subject: RE: 1817 Montclair Drive - Engineering Comments

Cris,

Yes, and we are good with everything as submitted. I received confirmation this morning from our Building Department that the fence will not have to be brought into compliance unless it is replaced or repaired. I will be submitting engineering approval to the Building Department this morning. Once they have all permits ready, they will call to let you know.

Thanks!

Lori Beth



Lori Beth Kearley, P.E.
Department of Public Services
P 205 978 0236 | vhal.org
Vestavia Hills

  WWW.ALIFEABOVE.ORG

From: Cristen Speegle <crisspeegle@me.com>
Sent: Thursday, August 20, 2020 10:38 AM
To: Lori Beth Kearley <lbkearley@vhal.org>
Cc: Christopher Brady <CBrady@vhal.org>; jaymcfarland@bellsouth.net
Subject: Re: 1817 Montclair Drive - Engineering Comments

Lori Beth,
I just wanted to check to see if you had a chance to review the resubmittal.

Thanks

Cris Speegle
Speegle Construction LLC

205-365-1373

On Aug 13, 2020, at 9:24 AM, Lori Beth Kearley <lbkearley@vhal.org> wrote:

Cris,

This email is good for the resubmittal. Give us a few days to review, and I will let you know if these revisions satisfy our comments.

Thanks!

Lori Beth

<image001.jpg>

Lori Beth Kearley, P.E.

Department of Public Services

P 205 978 0236 | vhal.org

Vestavia Hills

<image002.jpg>

<image003.jpg>

<image004.png>

From: Cris Speegle <crisspeegle@me.com>

Sent: Thursday, August 13, 2020 9:16 AM

To: Lori Beth Kearley <lbkearley@vhal.org>

Cc: Christopher Brady <CBrady@vhal.org>; jaymcfarland@bellsouth.net

Subject: Re: 1817 Montclair Drive - Engineering Comments

Lori Beth,

Please see attached. Is it ok to send by email or do we need to bring paper copies down?

We don't plan on replacing the fence.

Let me know if you have any questions please.

Thanks

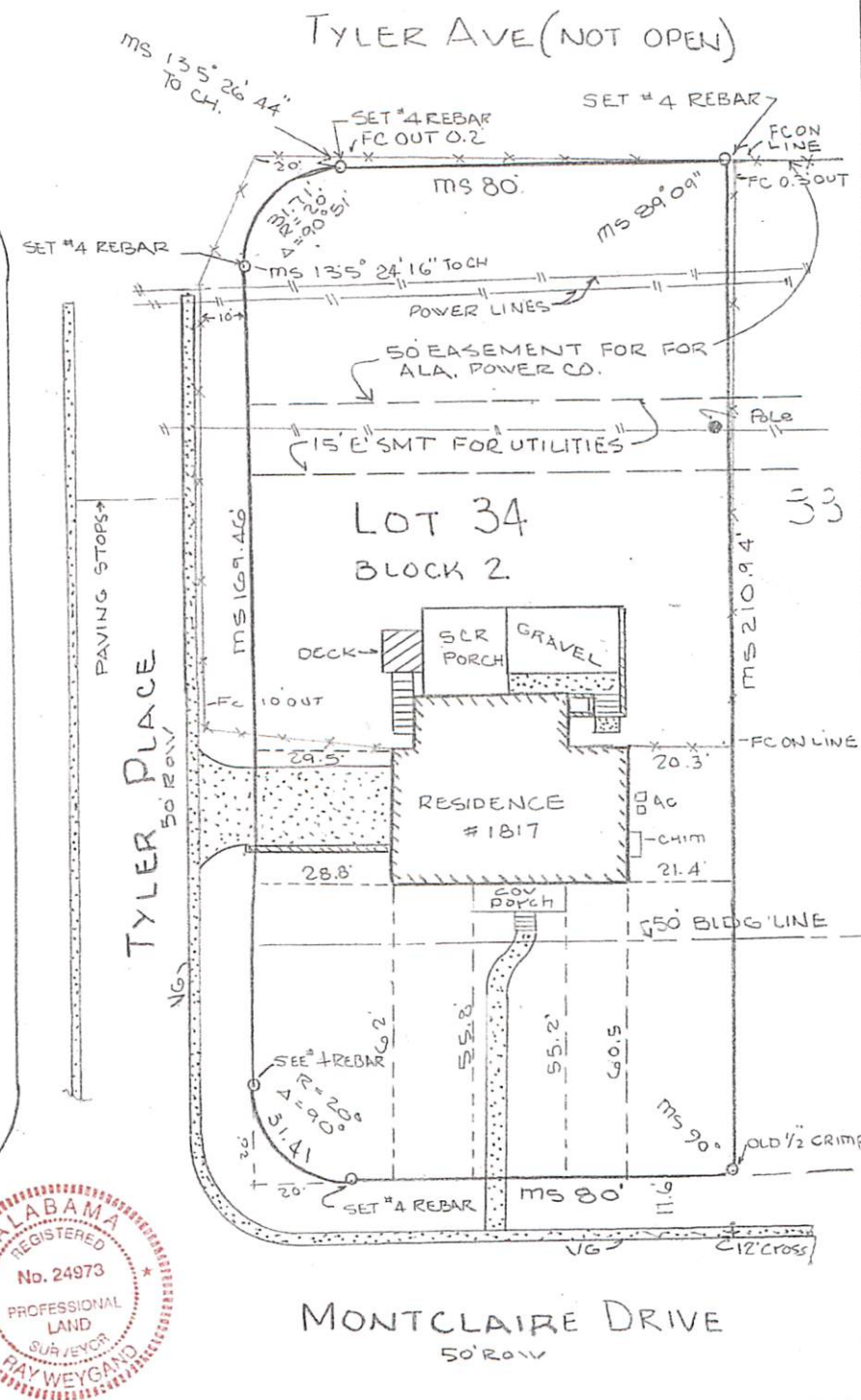
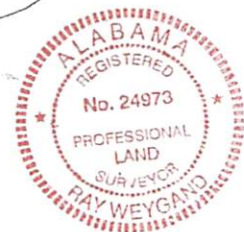
Cris Speegle

205-365-1373

LEGEND

ASP	ASPHALT
BLDG	BUILDING
CALC	CALCULATED
MEAS	MEASURED
CH	CHORD
LNG	LONG CHORD
d	DEFLECTION
Δ	DELTA
ESMT	EASEMENT
HW	HEADWALL
MIN	MINIMUM
MH	MANHOLE
OH	OVERHANG
POR	PORCH
R	RADIUS
R.O.W.	RIGHT OF WAY
SAN	SANITARY
STM	STORM
UTIL	UTILITY
AC	ACRES
S.F.	SQUARE FEET
CL	CENTERLINE
A/C	AIR CONDITIONER
○	POLE
×	ANCHOR
—	FENCE
—	OVERHEAD UTILITY WIRE
PVMT	PAVEMENT
W/	WITH
TAN	TANGENT
RES	RESIDENCE
LG	LIGHT
COV	COVERED
▨	DECK
○	CONCRETE
▨	WALL
□	COLUMN

SCALE: 1" = 30'



MONTCLAIRE DRIVE
50' ROW

STATE OF ALABAMA
JEFFERSON COUNTY

"Closing Survey"

* FIFTH SECTOR *

I, Ray Weygand, a Registered Land Surveyor hereby certify to the purchaser of this property at this time, that I have surveyed Lot 34 Block 2, MONTCLAIRE as recorded in Map Volume 41, Page 14, in the Office of the Judge of Probate, Jefferson County, Alabama; that there are no rights-of-way, easements or joint driveways over or across said land visible on the surface except as shown; that there are no electric or telephone wires (excluding wires which serve the premises only) or structures or supports therefor, including poles, anchors and guy wires, (visible on the surface) on or over said premises except as shown; that there are no encroachments on said lot except as shown and that improvements are located as shown above. I hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief, according to my survey of APRIL 18, 2016. Survey invalid if not sealed in red.

Order No.: 75072
Purchaser: MCFARLAND
Address: 1817 MONTCLAIRE Dr.

[Signature]

Ray Weygand, Reg. L.S. #24973
169 Oxmoor Road Homewood, AL 35209
Phone: (205) 942-0086 Fax: (205) 942-0087

Note: (a) No title search of the public records has been performed by this firm and land shown hereon was not abstracted for easements and/or rights-of-way, recorded or unrecorded. The parcel shown hereon is subject to setbacks, easements, zoning, and restrictions that may be found in the public records of said county and/or city. (b) All bearings and/or angles, are deed/record map and actual unless otherwise noted. (c) Underground portions of foundations, footings, and/or other underground structures, utilities, cemeteries or burial sites were not located unless otherwise noted. We do not look for underground sewers or flip manhole covers. (d) The shown north arrow is based on deed/record map. (e) This survey is not transferable and is only good for 6 years and only good to the person/co. that pays for it at time of survey. (f) Easements not shown on record map are not shown above.

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1817 Montclair Drive
Variance for location of a fence
Jason & Sara McFarland
R2

On Aug 6, 2020, at 4:12 PM, Lori Beth Kearley <lbkearley@vhal.org> wrote:

Cris,

Thank you for speaking with me this afternoon regarding the planned project at 1817 Montclair Drive. As we discussed, there are a few engineering comments related to the plan that need to be addressed. I apologize that I failed to mention a few of these when we talked, but should you or the homeowner have any questions or concerns, please do not hesitate to reach out to me.

1. For clarification, please provide a plan that only shows the work you are asking to be permitted at this time.
2. Show silt fence and any other BMPs that will be utilized to prevent sediment from leaving your project site during construction.
3. The new wood fence will need to be located outside of the public right-of-way.
4. Any drainage work will need to be located outside of the public right-of-way, if possible.
5. The City has a maximum driveway width of 20' for residential driveways. Please adjust your plan accordingly.
6. We need a Driveway Permit application filled out and submitted with plan.

Sincerely,

Lori Beth Kearley

<[image001.jpg](#)>

Lori Beth Kearley, P.E.

Department of Public Services

P 205 978 0236 | vhal.org

Vestavia Hills

<[image002.jpg](#)><[image003.jpg](#)> <[image004.png](#)>

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1817 Montclair Drive
Variance for location of a fence
Jason & Sara McFarland
R2

From: [McFarland, Jay \(SPC\)](#)
To: jaymcfarland@bellsouth.net
Subject: Approval for Fences in APC Easements
Date: Thursday, July 15, 2021 10:04:58 PM
Attachments: [image008.png](#)

From: Van Pelt, Nickie <bvanpelt@SOUTHERNCO.COM>
Sent: Thursday, July 15, 2021 2:53 PM
To: Fritz, Dean <JDFRITZ@southernco.com>; McFarland, Jay (SPC) <JDMcFarl@southernco.com>
Subject: RE: Residential Pool Encroachments

Transmission is fine with the location of the fence as long as we have a 16' gate and lock in place to access the backyard.

The pool and skirting around the pool has to be entirely out of the transmission right of way.

[Nickie VanPelt | Right of Way Services](#)
[Sr. Right of Way Specialist](#)

[Alabama Power Company](#) | 600 North 18th Street, 12S-0782 | Birmingham, AL 35203-2206

☎: (205) 257-2106 | ☎: (205)438-2755 | Linc: 10*11401 | ☎: (256)393-8700

✉: bvanpelt@southernco.com



From: Fritz, Dean <JDFRITZ@southernco.com>
Sent: Thursday, July 15, 2021 2:50 PM
To: McFarland, Jay (SPC) <JDMcFarl@southernco.com>; Van Pelt, Nickie <bvanpelt@SOUTHERNCO.COM>
Subject: RE: Residential Pool Encroachments

It is ok for a fence to be built in the distribution easement part of your property.

Dean Fritz

Corporate Real Estate
2 Industrial Park Drive
Pelham, AL 35124
(O) 205-226-1754
(C) 205-438-4419

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1817 Montclair Drive
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R2

BZA

The following application and case file has been reviewed and R2
submitted as follows:

Location: 1817 Montclair Drive Case No.: BZA0821-23
McFarland

Engineering: Date: 7.20.21 Initials: JBK
Comments: Fence must be completely outside of
public right-of-way.
 Recommended Not Recommended No Recommendation

Planning/DRB: Date: 7/20 Initials: L
Comments: MP
 Recommended Not Recommended No Recommendation

GIS/Mapping: Date: _____ Initials: _____
Comments: _____
 Recommended Not Recommended No Recommendation

Fire Department: Date: 7/20/21 Initials: RF
Comments: _____
 Recommended Not Recommended No Recommendation

Building Department: Date: 7/20/21 Initials: MR
Comments: Fence must comply with pool barrier
requirements.
 Recommended Not Recommended No Recommendation

City Clerk: Date: _____ Initials: _____
Comments: _____
 Recommended Not Recommended No Recommendation

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE BOARD OF ZONING ADJUSTMENT

Date: August 19, 2021

- **CASE: BZA-0821-24**
- **REQUESTED ACTION:** 22' Front Setback Variance to reduce the setback to 38' in lieu of the required 60'.
- **ADDRESS/LOCATION:** 2501 Shades Crest Road
- **APPLICANT/OWNER:** Abbey Blalock
- **REPRESENTING AGENT:** Willow Homes
- **GENERAL DISCUSSION:** The applicant is seeking a front setback variance to build a couple of additions. The applicant contends that the corner lot causes a hardship. The applicant intends to rebuild the existing garage and put in a new addition between the existing house and the rebuilt garage. The encroachment will be on the Beaumont side of the lot. The existing house sits 38' from Beaumont and the closest point of the new addition, in relation to the front property line, is 42'. The applicant's property is zoned Vestavia Hills R-1.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** No problems noted.
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted.
 4. **Building Safety Review:** No problems noted.

CITY OF VESTAVIA HILL

BOARD OF ZONING ADJUSTMENT

APPLICATION

The owner of the property understands that the Board of Zoning Adjustment only has jurisdiction to grant variances from the Vestavia Hills Zoning Code in cases of undue hardship only. Variances cannot be considered or granted on any kind of private covenants as covenants are restrictions between property owners.

EXAMPLE: If you are asking for a variance from a building setback line and the building setback line is recorded on the plat and matches the Zoning Code, then the Board of Zoning Adjustment would only hear the case based on the Zoning Code requirements, not what is on the recorded plat. The recorded plat is a covenant between property owners of the subdivision. You must have signatures of every property owner on the recorded plat map to change the covenant portion of the setback. The letter of signatures approving the amendment of the covenants must be filed with the Office of the Probate Court. Again, the BZA can only grant a variance based on the Zoning Code and that is the only portion of the building setback changes that the BZA can vote upon. Once a waiver is filed with the Office of the Probate, please include a copy of the recorded amendment with the application to the Office of the City Clerk.

Please note: Only completed applications will be accepted by this office. The applicant is responsible for the Application Fee as well as all postage fees incurred by this request.

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: Abbey Blalock

Address: 2501 Shades Crest Rd.

Phone #: _____ Other #: (205) 200-0121

E-Mail: abs721@gmail.com / hello@gowillowhomes.com

Billing/Responsible Party

Name: Abbey Blalock

Address: 2501 Shades Crest Rd.

Phone #: (205) 200-0121 Other #: _____

E-Mail: abs721@gmail.com / hello@gowillowhomes.com

Representing Attorney/Other Agent

Name: WILLOW HOMES

Address: 2810 CRESCENT AVE.

Phone #: (205) 206-6121 Other #: _____

E-Mail: hello@gowillowhomes.com

**This section must be completed in order for a representative to represent the owner.*

II. DESCRIPTION OF SUBJECT PROPERTY:

LOCATION: 2501 SHADES CREST RD.
Street Address

Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST (PLEASE FILL IN APPLICABLE STATEMENTS):

1. A request to vary:
_____ ' variance to reduce the lot width to _____ ' in lieu of the required _____ ' .
_____ square foot variance to reduce the lot area to _____ square feet in lieu of the required _____ square feet.
22 ' front /side/rear (circle one) setback variance to reduce the setback to 38 ' in lieu of the required 60 ' .
_____ ' front/side/rear (circle one) setback variance to reduce the setback to _____ ' in lieu of the required _____ ' .
_____ ' front/side/rear (circle one) setback variance to reduce the setback to _____ ' in lieu of the required _____ ' .
2. A decision of the Zoning Official which the applicant believes to be contrary to the meaning of the Zoning Ordinance.
3. An application to establish a use which must be approved by the Board of Zoning Adjustment (See Section _____).
4. A request for extension of non-conforming use (See Section _____).
5. Variance for location of a fence.
6. Sign Code Variance (See Section _____).
7. Other - Explain (See Section _____).

Z0821-24//28-00-20-2-004-001.000

2501 Shades Crest Rd.

Front setback for additions

Abbey Blalock

R1

IV. ZONING

Vestavia Hills Zoning for the subject property is R-1.

V. HARDSHIP

Describe those things which you feel justify the action requested. An Undue Hardship is required in order to seek a variance. List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. (Use additional space on separate page if necessary).

Existing house, garage, and Porch are not in compliance. See attachment A. Corner lot requires two front setbacks which impedes expansion.

VI. PROJECT:

Describe the scope of the project and/or the reason for requesting this variance.

Existing garage to be rebuilt. New porch to be built on Beaumont Dr side of home. New addition to be built between garage and existing house.

VII. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. I, also, understand that I am asking for a variance based on the Zoning Code only and not on any or all covenants that are on the subject property. ***Note, this application must be signed by the owner of the property before a notary. The original application shall be submitted, no copies shall be accepted***

[Handwritten Signature]

Owner Signature/Date

Representing Agent (if any)/date

Given under my hand and seal this 15 day of JULY, 2021.

[Handwritten Signature]

Notary Public

My commission expires May day of 7, 2022.

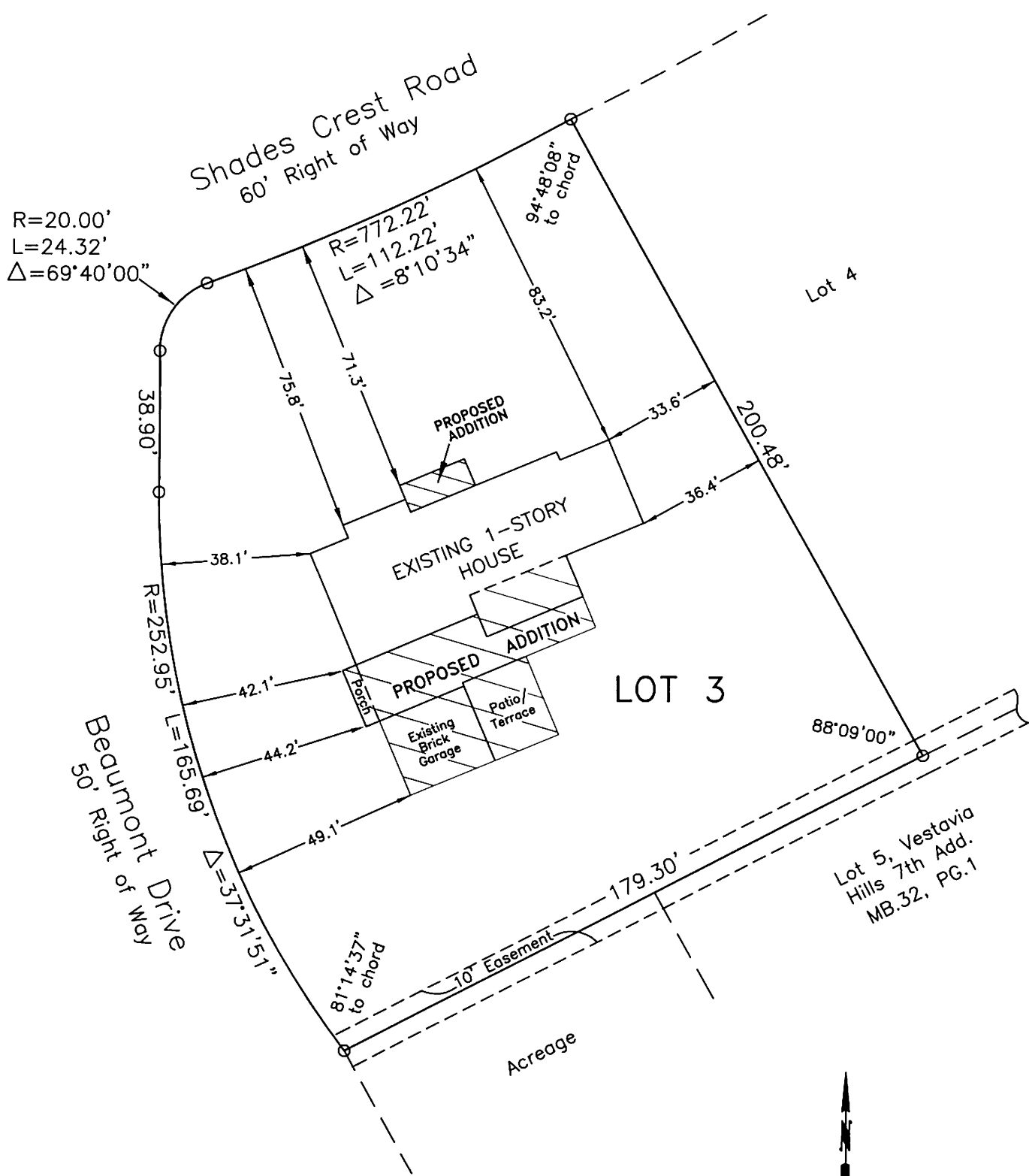


Z0821-24//28-00-20-2-004-001.000
2501 Shades Crest Rd.
Front setback for additions
Abbey Blalock R1

Attachment A

We request a variance to the front/side setback on the Beaumont Dr side of the lot. The current front and right side of the existing home are out of compliance as well as the current garage and side porch. A variance is requested in order to make improvements to these parts of the house. Without a variance this property is not able to make improvements consistent with other homes in the neighborhood.

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Abbey Blalock R1



Notes:

1. Existing house depiction, Lot Configuration, offsets house to property lines taken from Weygand Survey dated 3/6/19, provided by client;
2. Depiction of Addition to portion of existing house taken from Sheet A2.1, Main Level Floor Plan, dated 7/5/21, provided by client;

Z0821-24/28-00-20-2-004-001.000

2501 Shades Crest Rd.

Front setback for additions

Abbey Blalock

R1

PLOT PLAN

2501 Shades Crest Road, Vestavia Hills, Ala.
 Lot 3, Third Addition to Vestavia Hills
 Mapbook 30, Page 61, Judge of Probate Office,
 Jefferson County, Alabama

Scale: 1 Inch = 40 Feet July, 2021

JACKINS, BUTLER & ADAMS, INC.

SURVEYING-GEOLOGY

3430 INDEPENDENCE DRIVE, SUITE 30
 BIRMINGHAM, ALABAMA 35209

(205) 870-3390

S-1479/21-UUU Dwg. 1

Lot 5, Vestavia Hills 7th Add. MB.32, PG.1

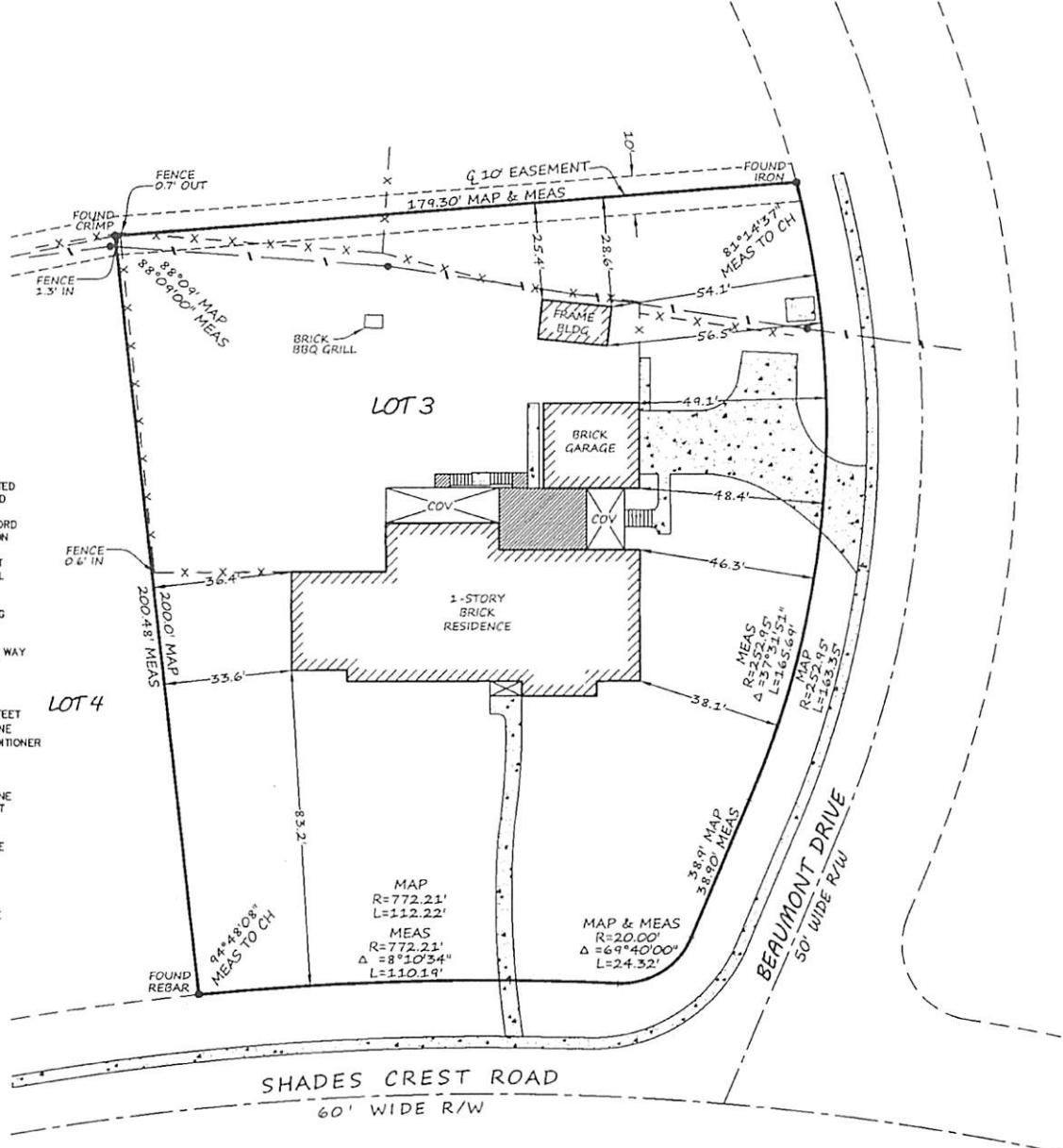


Z0821-24//28-00-20-2-004-001.000
 2501 Shades Crest Rd.
 Front setback for additions
 Abbey Blalock R1



LEGEND

ASP	ASPHALT
BLDG	BUILDING
CALC	CALCULATED
MEAS	MEASURED
CH	CHORD
LNG	LONG CHORD
d	DEFLECTION
Δ	DELTA
ESMT	EASEMENT
HW	HEADWALL
MIN	MINIMUM
MH	MANHOLE
OH	OVERHANG
POR	PORCH
R	RADIUS
R.O.W.	RIGHT OF WAY
SAN	SANITARY
STM	STORM
UTIL	UTILITY
AC	ACRES
S.F.	SQUARE FEET
C	CENTERLINE
A/C	AIR CONDITIONER
○	POLE
⊙	ANCHOR
-X-	FENCE
- - -	POWER LINE
PVMT	PAVEMENT
W/	WITH
TAN	TANGENT
RES	RESIDENCE
oLGT	LIGHT
COV	COVERED
▨	DECK
○	CONCRETE
▨	WALL



STATE OF ALABAMA
 JEFFERSON COUNTY)

"Closing Survey"

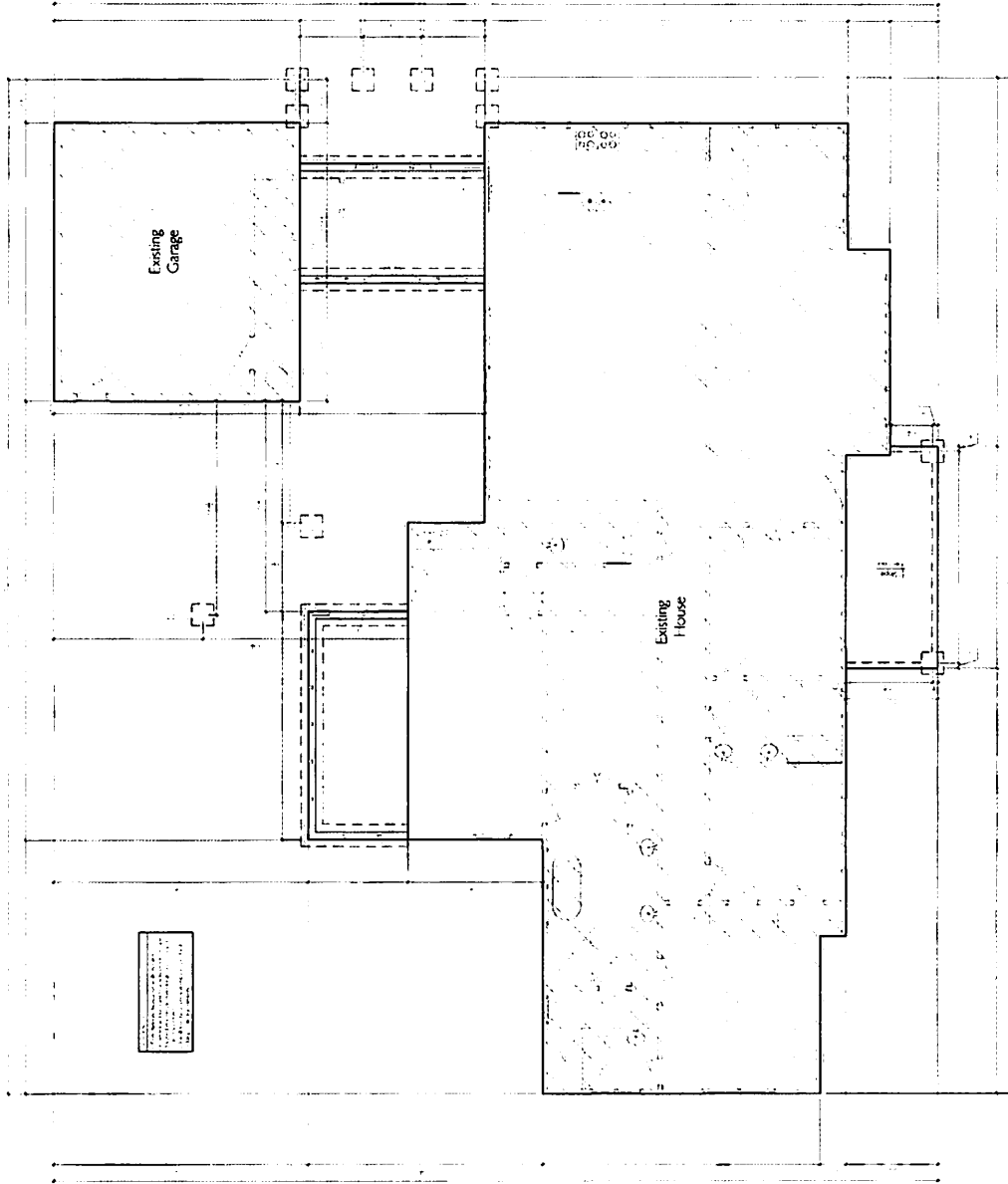
I, Ray Weygand, a Registered Land Surveyor, hereby certify to the purchaser of this property at this time, that I have surveyed Lot 3, THIRD ADDITION TO VESTAVIA HILLS, as recorded in Plat Book 30, Page 61, in the Office of the Judge of Probate, Jefferson County, Alabama. I hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief, according to my survey of MARCH 6, 2019. Survey invalid if not sealed in red.

Order No.: 2114
 Purchaser:
 Address: 2501 SHADES CREST ROAD

[Signature]
 Ray Weygand, R.L.S. #24973
 169 Oxmoor Road, Homewood, AL 35209
 Phone: (205) 942-0086 Fax: (205) 942-0087
 Copyright ©



Note: (a) No title search of the public records has been performed by this firm and land shown hereon was not abstracted for easements and/or rights-of-way, recorded or unrecorded. The parcel shown hereon is subject to setbacks, easements, zoning, and restrictions that may be found in the public records of said county and/or city. (b) All bearings and/or angles, are deed/record map and actual unless otherwise noted. (c) Underground portions of foundations, footings, and/or other underground structures, utilities, cemeteries or burial sites were not located unless otherwise noted. (d) The shown north arrow is based on deed/record map. (e) This survey is not transferable (f) Easements not shown on recorded map are not shown above.



PLAN INFORMATION

**BLALOCK
RESIDENCE**
3901 SW 14th S. CREST RD

**WILLOW
HOMES**

Revisions	
Date	Revised
07/09/2011	Revised S.I.
	Revised Drawing
	Revised Drawing
	Revised Drawing

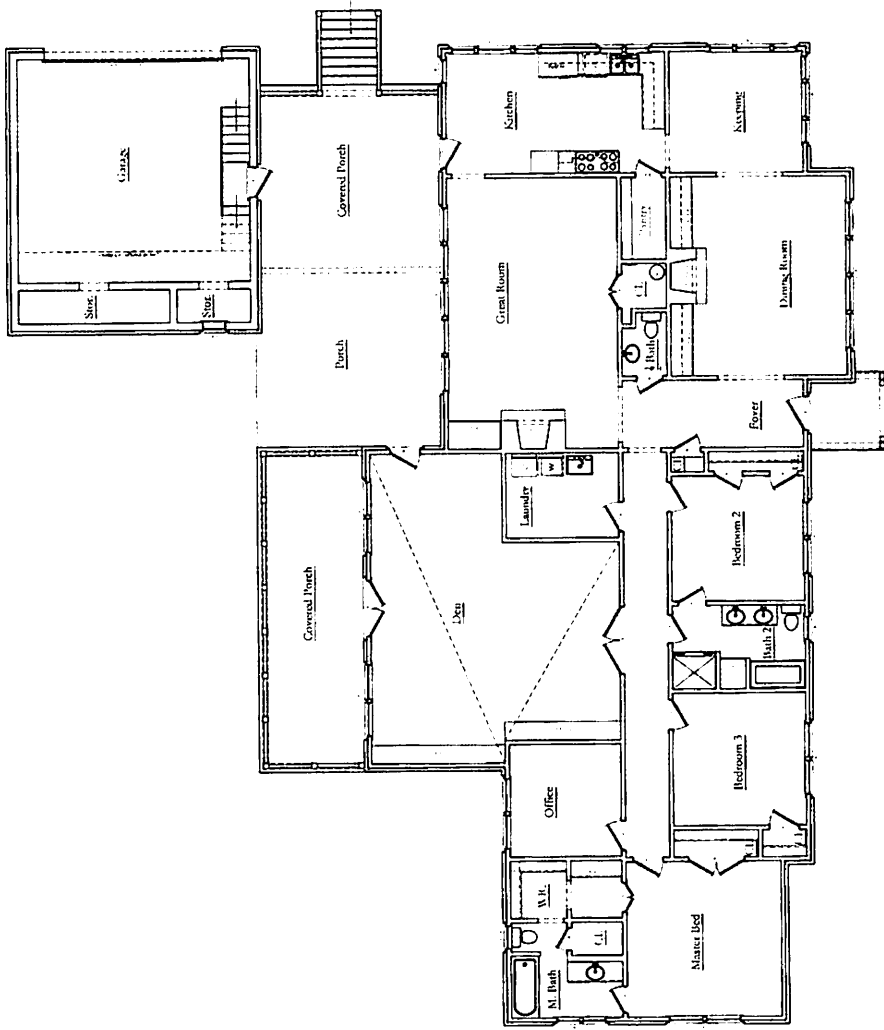
SHEET INDEX

1.1	General
1.2	Foundation
1.3	Foundation
1.4	Foundation
1.5	Foundation
1.6	Foundation
1.7	Foundation
1.8	Foundation
1.9	Foundation
1.10	Foundation
1.11	Foundation
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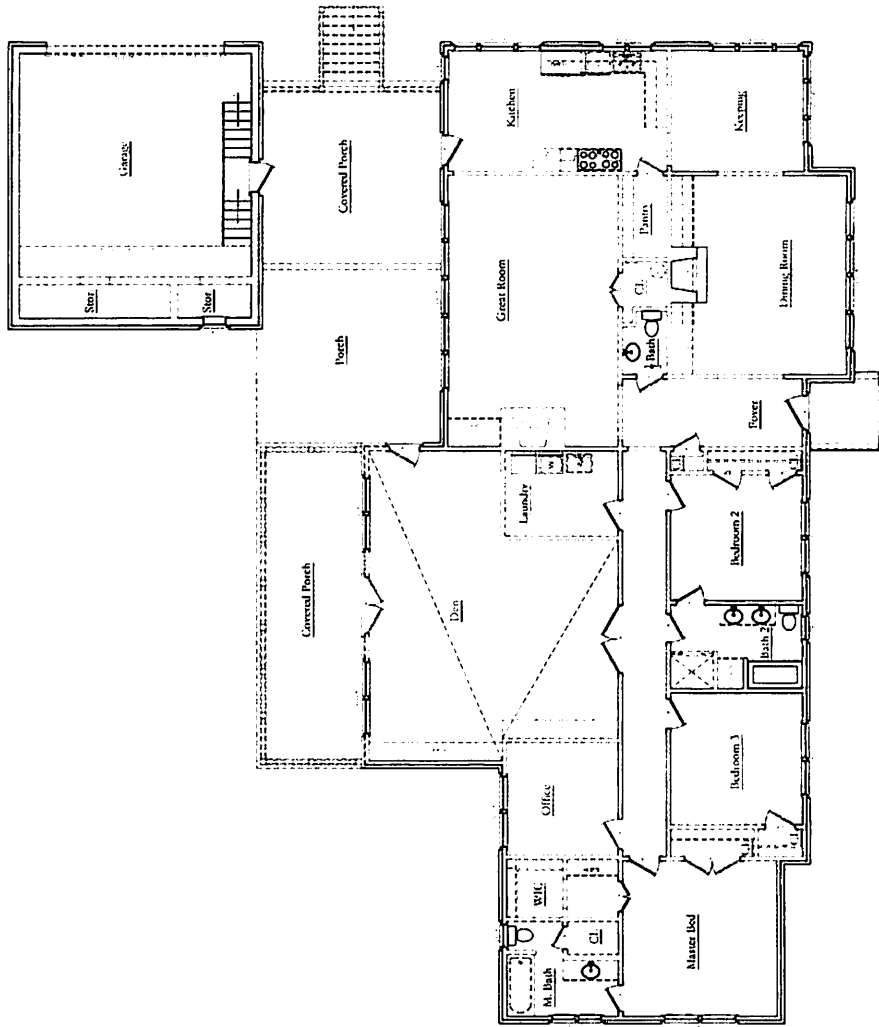
SHEET NUMBER
Foundation Plan
A1.0

1. Foundation Plan
A1.0

PLAN INFORMATION	
BLALOCK RESIDENCE 300 SHANES CREST RD	
WILLOW HOMES	
Revisions	
Date: 01-05-2021	Revision: _____
	Revised Drawing: _____
	Revised Drawing: _____
	Revised Drawing: _____
SHEET INDEX	
P-2	COVER SHEET
F-1	FLOOR PLAN
A-1	ARCHITECTURAL ELEVATIONS
A-2	MECHANICAL ELEVATIONS
A-3	ELECTRICAL ELEVATIONS
A-4	PLUMBING ELEVATIONS
A-5	MECHANICAL, ELECTRICAL & PLUMBING SCHEDULES
A-6	MECHANICAL, ELECTRICAL & PLUMBING SPECIFICATIONS
A-7	MECHANICAL, ELECTRICAL & PLUMBING NOTES
A-8	MECHANICAL, ELECTRICAL & PLUMBING DETAILS
A-9	MECHANICAL, ELECTRICAL & PLUMBING SECTION CUTS
A-10	MECHANICAL, ELECTRICAL & PLUMBING FINISHES
A-11	MECHANICAL, ELECTRICAL & PLUMBING MATERIALS
A-12	MECHANICAL, ELECTRICAL & PLUMBING EQUIPMENT
A-13	MECHANICAL, ELECTRICAL & PLUMBING NOTES
A-14	MECHANICAL, ELECTRICAL & PLUMBING NOTES
A-15	MECHANICAL, ELECTRICAL & PLUMBING NOTES
A-16	MECHANICAL, ELECTRICAL & PLUMBING NOTES
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A-99	MECHANICAL, ELECTRICAL & PLUMBING NOTES
A-100	MECHANICAL, ELECTRICAL & PLUMBING NOTES



1 Main Level As-Built
A2.0



PLAN INFORMATION	
BLALOCK RESIDENCE	
390 SHADES CREST RD	
WILLOW HOMES	
Revisions	
Date:	07/05/2021
Revised Drawings:	
Revised Drawings:	
Revised Drawings:	
Revised Drawings:	
SHEET INDEX	
710	Cover Page
711	Foundation & Footing
A1.1	Foundation & Footing
A2.0	Main & Upper Floor Plan
A3.0	Basement
A4.0	Garage
A5.0	Roof Deck
B1.0	Interior Elevations
SHEET NUMBER	
Demolition Plan	
D1.0	

1 Demolition Plan
D1.0 Rev 7/5/21

BZA

Z0821-24//28-00-20-2-004-001.000

CITY OF VESTAVIA HILL 2501 Shades Crest Rd.

Department Review of Application Front setback for additions

(To be completed by City Staff) Abbey Blalock

R1

The following application and case file has been reviewed and the comments submitted as follows:

Location: 2501 Shades Crest Rd. Case No.: BZA0821-24
Blalock

Engineering:

Date: 7.20.21

Initials: ABK

Comments: no issues noted

Recommended Not Recommended No Recommendation

Planning/DRB:

Date: _____

Initials: _____

Comments: _____

Recommended Not Recommended No Recommendation

GIS/Mapping:

Date: _____

Initials: _____

Comments: _____

Recommended Not Recommended No Recommendation

Fire Department:

Date: 7/20/21

Initials: ZC

Comments: _____

Recommended Not Recommended No Recommendation

Building Department:

Date: 7/20/21

Initials: MR

Comments: _____

Recommended Not Recommended No Recommendation

City Clerk:

Date: _____

Initials: _____

Comments: _____

Recommended Not Recommended No Recommendation