

CITY OF VESTAVIA HILLS
BOARD OF ZONING ADJUSTMENT

AGENDA

September 16, 2021

6:00 P.M.

Roll Call.

Approval of Minutes: August 19, 2021.

- (1) **BZA-0921-26** Gregory Appling is requesting a **Variance for the Location of a Fence & a Front Setback Variance** for the property located at **900 Granbury Road**. The purpose of this request is to build a fence in the front setback & to reduce the front setback to 16' in lieu of the required 35'. The property is owned by Gregory Appling and is zoned Vestavia Hills R-2.
- (2) **BZA-0921-27** Matt Lemen is requesting a **Front and Rear Setback Variance** for the property located at **312 Sunset Drive**. The purpose of this request is to reduce the front setback to 25' in lieu of the required 27' & to reduce the rear setback to 20' in lieu of the required 22', to build multiple additions. The property is owned by Matt Lemen and is zoned Vestavia Hills R-1.
- (3) **BZA-0921-28** Kadco Homes, LLC is requesting a **Lot Area Variance and Lot Width Variance & a Side Setback Variance** for the property located at **909 Chestnut Street**. The purpose of this request is to reduce the lot area and lot width of to allow for a resurvey of the lot and to include the vacated alley. Also, to reduce the side setback to 7.5' in lieu of the required 9.3' The property is owned by the Kadco Homes, LLC and is zoned Vestavia Hills R-2.
- (4) **BZA-0921-29** Jones C, LLC is requesting a **Landscaping Variance** for the property located at **3952 Crosshaven Drive**. The purpose of this request is to waive the 5' landscaping buffer requirement. The property is owned by the Jones C, LLC and is zoned Vestavia Hills B-2.

- (5) **BZA-0921-30** Amory Booher is requesting a **Side Setback Variance** for the property located at **2212 Garland Drive**. The purpose of this request is to reduce the side setback to 5' in lieu of the required 15', to build a yurt. The property is owned by Amory Booher and is zoned Vestavia Hills R-2.
- (6) **BZA-0921-31** RDM3, LLC is requesting a **Wall Sign Location Variance & a Wall Sign Square Footage Variance** for the property located at **3900 Crosshaven Drive**. The purpose of this request is to erect a sign on the side of the building and to allow for 90.92 square feet of wall signage in lieu of the required 84 square feet. The property is owned by the RDM3, LLC and is zoned Vestavia Hills B-2.

Time of Adjournment.

CITY OF VESTAVIA HILLS
BOARD OF ZONING ADJUSTMENT
MINUTES

August 19, 2021

The Board of Zoning Adjustment of the City of Vestavia Hills met in regular session on this date at 6:00 PM. The roll was called with the following:

MEMBERS PRESENT:

- Rick Rice, Chairman
- Robert Gower
- Stephen Greer, Alt
- Donald Holley
- Thomas Parchman, Alt
- Loring Jones, III

MEMBERS ABSENT:

- Tony Renta

OTHER OFFICIALS PRESENT:

- Jack Wakefield, Planner/GIS

APPROVAL OF MINUTES

The minutes of June 17, 2021, 2021 were presented for approval.

MOTION Motion to dispense with the reading of the minutes of June 17, 2021 was made by Mr. Jones and 2nd was by Mr. Parchman. Motion as carried on a voice vote as follows:

- Mr. Gower – yes
- Mr. Greer – yes
- Mr. Holley – yes
- Motion carried
- Mr. Parchman – yes
- Mr. Jones – yes
- Chairman Rice – yes

VARIANCE FOR LOCATION OF A FENCE

BZA-0821-23

Jason & Sara McFarland are requesting a **Variance for the Location of a Fence** for the property located at **1817 Montclair Drive**. The purpose of this request is to build a fence in the front setback. The property is owned by Jason & Sara McFarland and is zoned Vestavia Hills R-2.

Mr. Wakefield described the area where the property is located and read the review which included the purpose of the request, comprehensive plan and staff review.

Jason McFarland was present for the request and stated that his hardship was a corner lot.

Chairman Rice asked if there will be a gate on for the fence. Mr. McFarland stated he would do what Alabama Power requested with regards to the type of gate.

Mr. Greer asked how tall the fence would be. Mr. McFarland responded 6' at its highest.

Chairman Rice opened the floor for a public hearing.

Dorothy Bentley, of Plantation Condos, asked if the greenery would be touched. Mr. McFarland responded that it would not.

There being no one else present in regard to the request, Mr. Rice closed the public hearing and opened the floor for a motion.

MOTION Motion to approve a variance for the location of a fence in the front setback, for the property located at 1817 Monclair Drive was made by Mr. Jones and 2nd was by Mr. Gower. Motion was carried on a roll call vote as follows:

Mr. Gower – yes	Mr. Parchman – yes
Mr. Greer – yes	Mr. Jones – yes
Mr. Holley – yes	Chairman Rice – yes
Motion carried	

FRONT SETBACK VARIANCE

BZA-0821-24 Abbey Blalock is requesting a **Front Setback Variance** for the property located at **2501 Shades Crest Road**. The purpose of this request is to reduce the front setback to 38' in lieu of the required 60' to build multiple additions. The property is owned by Abbey Blalock and is zoned Vestavia Hills R-1.

Mr. Wakefield described the area where the property is located and read the review which included the purpose of the request, comprehensive plan and staff review.

Jason Hale was present for this case and stated that the hardship was a corner lot.

He clarified that the walkway is just a finished space leading to the garage. Also the exterior of the house will not change

Chairman Rice opened the floor for a public hearing. There being no one present in regard to the request, Mr. Rice closed the public hearing and opened the floor for a motion.

MOTION Motion to approve a 22' front setback variance to reduce the setback to 38' in lieu of the required 60', for the property located 2501 Shades Crest Road was made by Mr. Jones and 2nd was by Mr. Parchman. Motion was carried on a roll call vote as follows:

Mr. Gower – yes	Mr. Parchman – yes
Mr. Greer – yes	Mr. Jones – yes
Mr. Holley – yes	Chairman Rice – yes
Motion carried	

At 6:20 PM, Mr. Jones made a motion to adjourn. The meeting adjourned at 6:20 PM.

Jack Wakefield,
Planner/GIS

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE BOARD OF ZONING ADJUSTMENT

Date: September 16, 2021

- **CASE: BZA-0921-26**
- **REQUESTED ACTION:** 19' Front Setback Variance to reduce the setback to 16' in lieu of the required 35' & a Variance for the Location of A Fence in the Front Setback.
- **ADDRESS/LOCATION:** 900 Granbury Road
- **APPLICANT/OWNER:** Gregory Appling
- **REPRESENTING AGENT:** NA
- **GENERAL DISCUSSION:** The applicant is seeking front setback variance and a variance for the location of a fence in the front setback. The applicant contends the corner lot causes a hardship. The request is to build a pool on the house's side yard, which fronts a street, with a pergola extending from the house to the pool area. The existing fence is also a part of the request as it is required for the pool and sits in the front setback. The applicant's property is zoned Vestavia Hills R-2.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** No problems noted.
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted.
 4. **Building Safety Review:** No problems noted.

CITY OF VESTAVIA HILLS BOARD OF ZONING ADJUSTMENT APPLICATION

The owner of the property understands that the Board of Zoning Adjustment only has jurisdiction to grant variances from the Vestavia Hills Zoning Code in cases of undue hardship only. Variances cannot be considered or granted on any kind of private covenants as covenants are restrictions between property owners.

EXAMPLE: If you are asking for a variance from a building setback line and the building setback line is recorded on the plat and matches the Zoning Code, then the Board of Zoning Adjustment would only hear the case based on the Zoning Code requirements, not what is on the recorded plat. The recorded plat is a covenant between property owners of the subdivision. You must have signatures of every property owner on the recorded plat map to change the covenant portion of the setback. The letter of signatures approving the amendment of the covenants must be filed with the Office of the Probate Court. Again, the BZA can only grant a variance based on the Zoning Code and that is the only portion of the building setback changes that the BZA can vote upon. Once a waiver is filed with the Office of the Probate, please include a copy of the recorded amendment with the application to the Office of the City Clerk.

Please note: Only completed applications will be accepted by this office. The applicant is responsible for the Application Fee as well as all postage fees incurred by this request.

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: Gregory J. Appling

Address: 900 Granbury Road
Vestavia, AL 35216

Phone #: 205-305-4626 Other #: _____

E-Mail: coachappling@gmail.com

Billing/Responsible Party

Name: Gregory J. Appling

Address: 900 Granbury Road, Vestavia, AL 35216

Phone #: 205-305-4626 Other #: _____

E-Mail: coachappling@gmail.com

Representing Attorney/Other Agent

Name: _____

Address: _____

Phone #: _____ Other #: _____

E-Mail: _____

**This section must be completed in order for a representative to represent the owner.*

II. DESCRIPTION OF SUBJECT PROPERTY:

LOCATION: 900 Granbury Road, Vestavia, AL 35216
Street Address
Lots 1+2, Block 5, South Birmingham Heights
Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST (PLEASE FILL IN APPLICABLE STATEMENTS):

1. A request to vary:
_____ ' variance to reduce the lot width to _____ ' in lieu of the required _____ ' .
_____ square foot variance to reduce the lot area to _____ square feet in lieu of the required _____ square feet.
~~31~~ ' ~~front~~/side/rear (circle one) setback variance to reduce the setback to ~~16~~ ' in lieu of the required ~~30~~ ' . ~~31~~ JKW
19 ' front/side/rear (circle one) setback variance to reduce the setback to 16 ' in lieu of the required 35 ' . JKW
_____ ' front/side/rear (circle one) setback variance to reduce the setback to _____ ' in lieu of the required _____ ' .
2. A decision of the Zoning Official which the applicant believes to be contrary to the meaning of the Zoning Ordinance.
3. An application to establish a use which must be approved by the Board of Zoning Adjustment (See Section _____).
4. A request for extension of non-conforming use (See Section _____).
5. Variance for location of a fence. (WEP6 WOOD RD)
6. Sign Code Variance (See Section _____).
7. Other - Explain (See Section _____).

Request for pool

Z0921-26//28-00-30-1-008-001.000
900 Granbury Rd.
Front setback & variance for
location of fence
Gregory Appling

IV. ZONING

Vestavia Hills Zoning for the subject property is _____.

V. HARDSHIP

Describe those things which you feel justify the action requested. An Undue Hardship is required in order to seek a variance. List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. (Use additional space on separate page if necessary).

We have no backyard, only a sideyard in which a pool can be installed

VI. PROJECT:

Describe the scope of the project and/or the reason for requesting this variance.

Pool installation

VII. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. I, also, understand that I am asking for a variance based on the Zoning Code only and not on any or all covenants that are on the subject property. ***Note, this application must be signed by the owner of the property before a notary. The original application shall be submitted, no copies shall be accepted***

Gregory Appling
Owner Signature/Date

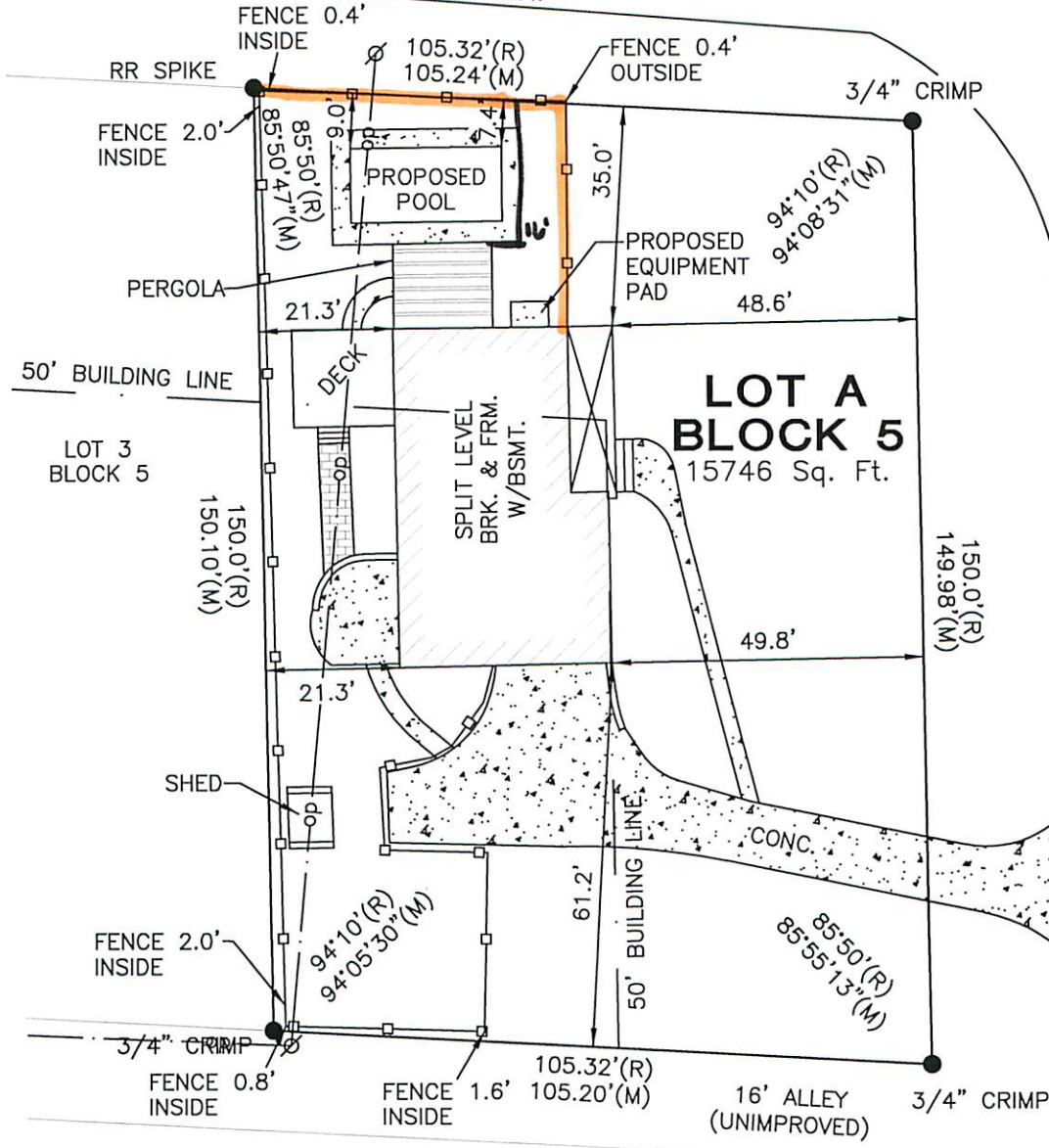
Representing Agent (if any)/date

Given under my hand and seal
this 2 day of August, 2021.

[Signature]
Notary Public
My commission expires 30th
day of OCTOBER, 2023.

WEDGEWOOD ROAD
(ALABAMA AVE. PER PLAT)
60' ROW

GRANBURY ROAD
60' ROW



Z0921-26//28-00-30-1-008-001.000
900 Granbury Rd.
 Front setback & variance for
 location of fence
 Gregory Appling

Lot Survey/ Plot Plan 0' 30' 60' 90'

STATE OF ALABAMA
 JEFFERSON COUNTY



TO ALL INTERESTED PARTIES:
 SCALE: 1" = 30'

I hereby state that this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief.

Lot A, Block 5, according to A RESURVEY OF LOTS 1 & 2, BLOCK 5, SOUTH BIRMINGHAM HEIGHTS, as the same appears of record in the Office of the Judge of Probate, Jefferson County, Alabama, in Map Book 60, Page 83.

That there are no rights-of-way, easements, joint driveways or encroachments, over or across said land, visible on the surface or shown on recorded map, except as shown; that this survey shows the improvements located on said property, and that there are no electrical or telephone wires, (excluding wire which serve the premises only) or structures or supports therefor, including poles, anchors and guy wires, on or over said property, except as shown; and



**A RESURVEY
OF**

**LOTS 1 & 2, BLOCK 5
SOUTH BIRMINGHAM HEIGHTS**

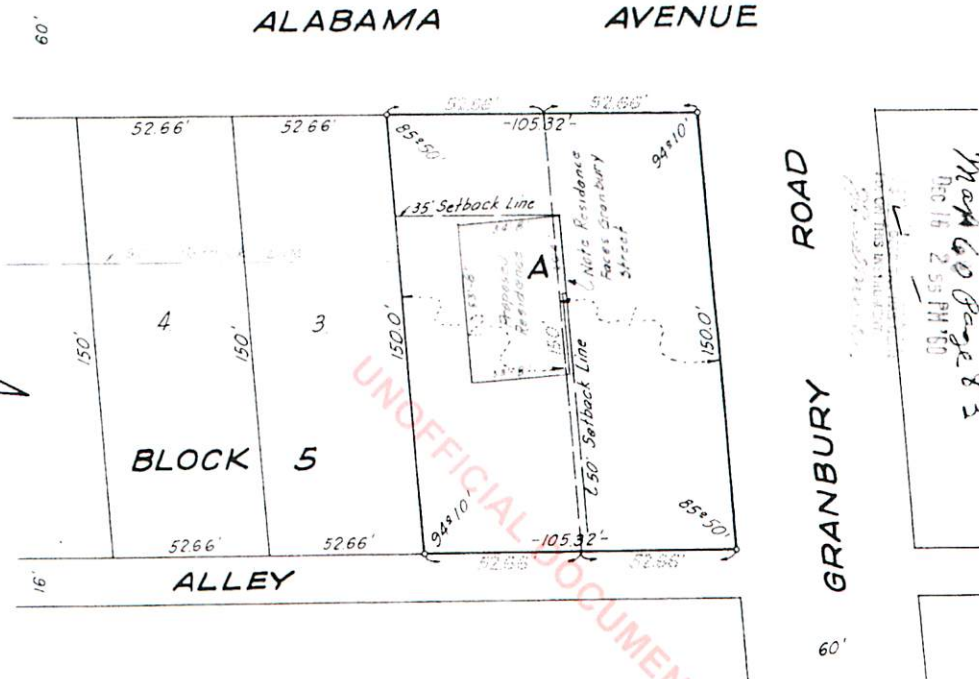
(Recorded in Map Book 7, Pg. 41)

Situated in the SW 1/4 of NE 1/4 of Sec. 30, TWP 18 S, R 2 W
Jefferson County, Alabama

Scale 1"=40' November, 1960

WALTER SCHOEL ENGINEERING CO.

Graphic Scale



ROAD
GRANBURY
 Map to Page 83
 Dec 14 2 58 PM '60
 155

Z0921-26//28-00-30-1-008-001.000
900 Granbury Rd.

Front setback & variance for
location of fence
Gregory Appling

STATE OF ALABAMA
JEFFERSON COUNTY

We, the undersigned, Walter Schoel, Engineer and Surveyor and Frederick Chalmers, Jr., and Anna Louise Chalmers, owners, hereby certify that this is a true and correct plat and survey made by Walter Schoel, Engineer and Surveyor, of the aforesaid property, showing the streets, avenues, alleys and other public ways and giving the name and width of each street and avenue and the dimensions of each lot and block and showing the relation of the land so platted to the Government Survey of the SW 1/4-NE 1/4 of Section 30, Township 18 South, Range 2 West of the Huntsville Principal Meridian in Jefferson County, Alabama.

IN WITNESS WHEREOF, the said Walter Schoel has set his hand and seal, and Frederick Chalmers, Jr., and Anna Louise Chalmers, owners, have caused these presents to be executed in their behalf this the 12th day of December, 1960.

Walter Schoel
Walter Schoel, Reg. No. 322
Civil Engineer and Surveyor

Frederick Chalmers, Jr.
Frederick Chalmers, Jr., Owner

Anna Louise Chalmers
Anna Louise Chalmers, Owner

STATE OF ALABAMA
JEFFERSON COUNTY

I, James W. Sloan, a Notary Public in and for said County and State, hereby certify that Walter Schoel, Civil Engineer and Surveyor and Frederick Chalmers, Jr., and Anna Louise Chalmers, owners, whose names are signed to the foregoing certificate and who are known to me, acknowledged before me on this date, that after having been duly informed of the contents of said certificate, they executed the same voluntarily on the day the same bears date.

Given under my hand and seal this the 12 day of December, 1960.

APPROVED: James W. Sloan
Chairman, Planning & Zoning Commission
Vestavia Hills, Alabama

Notary Public

APPROVED: J. H. Guyton
City Engineer

FILED: Henry G. Holliman
City Clerk, Vestavia Hills, Alabama

DATE: 12/15/60

To Whom It May Concern:

I am writing to inform you I am seeking to build a swimming pool on the side of my yard at 900 Granbury Road. I am seeking to have a variance from the city of Vestavia because my septic is at the lower end. I need your support to do so based on the location of your homes. If you can please sign below to agree to this, I would greatly appreciate it.

Sincerely,

Greg Appling
900 Granbury Road
Vestavia, AL 35216

Name: Frank & DEMISE SLUPE

Address: 2705 Wedgewood RD

Z0921-26//28-00-30-1-008-001.000
900 Granbury Rd.
Front setback & variance for
location of fence
Gregory Appling

To Whom It May Concern:

Clerk: HENLEYT

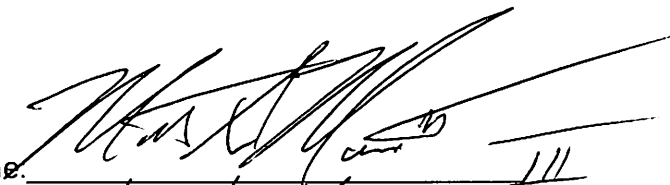
I am writing to inform you I am seeking to build a swimming pool on the side of my yard at 900 Granbury Road. I am seeking to have a variance from the city of Vestavia because my septic is at the lower end. I need your support to do so based on the location of your homes. If you can please sign below to agree to this, I would greatly appreciate it.

Sincerely,



Greg Appling
900 Granbury Road
Vestavia, AL 35216

Name:


MARTIN A. MANERS III

Address:

2222 Wedgewood Rd
Vestavia Hills, AL 35216

Martin A. Maners III

Z0921-26//28-00-30-1-008-001.000
900 Granbury Rd.
Front setback & variance for
location of fence
Gregory Appling

To Whom It May Concern:

I am writing to inform you I am seeking to build a swimming pool on the side of my yard at 900 Granbury Road. I am seeking to have a variance from the city of Vestavia because my septic is at the lower end. I need your support to do so based on the location of your homes. If you can please sign below to agree to this, I would greatly appreciate it.

Sincerely,



Greg Appling
900 Granbury Road
Vestavia, AL 35216

Name: HOWARD NEELY

Address: _____



Z0921-26//28-00-30-1-008-001.000
900 Granbury Rd.
Front setback & variance for
location of fence
Gregory Appling

To Whom It May Concern:

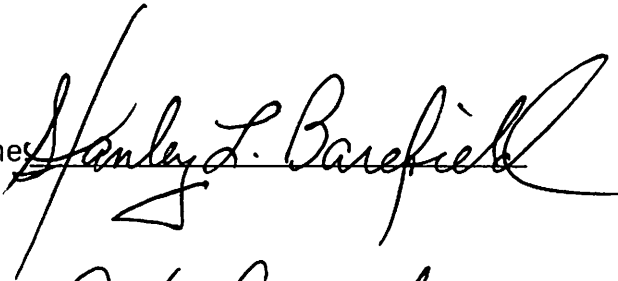
I am writing to inform you I am seeking to build a swimming pool on the side of my yard at 900 Granbury Road. I am seeking to have a variance from the city of Vestavia because my septic is at the lower end. I need your support to do so based on the location of your homes. If you can please sign below to agree to this, I would greatly appreciate it.

Sincerely,

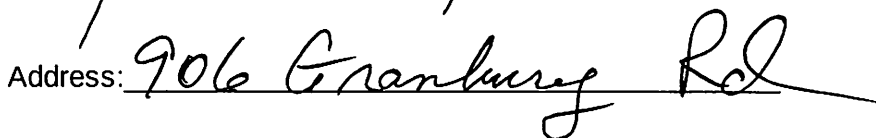


Greg Appling
900 Granbury Road
Vestavia, AL 35216

Name:



Address:



Stanley Barefield

Z0921-26//28-00-30-1-008-001.000
900 Granbury Rd.
Front setback & variance for
location of fence
Gregory Appling



JEFFERSON COUNTY DEPARTMENT OF HEALTH

1400 SIXTH AVENUE, SOUTH • P.O. BOX 2648 • BIRMINGHAM, ALABAMA 35202 • 205/930-1230

Application for On-Site Sewage Disposal Permit

Submit in Triplicate

Date Received	Type of System	Identification Number
'21 JUL 22 AM 9:48	<input type="checkbox"/> Conventional <input type="checkbox"/> Non-conventional <input type="checkbox"/> Alternate <input type="checkbox"/> Commercial	2021-A-079
PERMISSION TO USE		

Part A: Residential To be completed by applicant and/or submitting professional

- Applicant Greg Appling Telephone 205 305 4626
- Mailing address 900 Granbury Road
City Vestavia State Alabama Zip 35216
- Property location Corner lot S ___ T ___ R ___

Comments: Installing Swimming Pool

- Subdivision _____
Lot _____ Block _____ Sector _____ Add _____ Phase _____ Lot size _____
- Date subdivision recorded _____ Date approved _____
- Type residence: _____ New Existing _____ Manufactured home. Number of bedrooms 3
- Garbage grinder? No Basement plumbing? Yes Spa/hot tub? _____ Laundry waste? No

Commercial Floor plans must be a part of application

- Type of business _____ Estimated number of employees _____
- Kitchen facilities? _____ Commercial food service? _____ Bathing facilities? _____
- Estimated water use _____ Gallons per day _____
- Brief project description _____

Water Supply

- Type: Public Private (Well) Distance to Main _____ Size of Main _____
- Name of water supply _____ Individual meter? Yes No
- Distance to Sewer _____ Connection by gravity? Yes No

Applicant Signature Greg Appling Date _____

Part B: Percolation Test Data (attach added sheets as needed)

Percolation Hole #	Uniform Diameter of Hole in Inches	Total Depth of Hole	Date of Saturation	Date of Percolation Test	Stabilized Percolation Rate in Minutes per Inch

Part C: Inspection Pit Data (attach added sheets as needed)

This section to be completed by a registered engineer, land surveyor or soil classifier.

Soil Profile #			Soil Profile #			Soil Profile #		
Organic Strata Depth			Organic Strata Depth			Organic Strata Depth		
Depth	USDA Tex.	Munsell Color	Depth	USDA Tex.	Munsell Color	Depth	USDA Tex.	Munsell Color
1st Strata Inches			1st Strata Inches			1st Strata Inches		
2nd Strata Inches			2nd Strata Inches			2nd Strata Inches		
3rd Strata Inches			3rd Strata Inches			3rd Strata Inches		
4th Strata Inches			4th Strata Inches			4th Strata Inches		
Total Depth of Observation Pit			Total Depth of Observation Pit			Total Depth of Observation Pit		
Max. Seasonal Water Table, Mottling	<input type="checkbox"/> Non Evident	Inches	Max. Seasonal Water Table, Mottling	<input type="checkbox"/> Non Evident	Inches	Max. Seasonal Water Table, Mottling	<input type="checkbox"/> Non Evident	Inches
Impervious Layer Clay, etc.	<input type="checkbox"/> Non Evident	Inches	Impervious Layer Clay, etc.	<input type="checkbox"/> Non Evident	Inches	Impervious Layer Clay, etc.	<input type="checkbox"/> Non Evident	Inches
Bedrock	<input type="checkbox"/> Non-evident	Inches	Bedrock	<input type="checkbox"/> Non-evident	Inches	Bedrock	<input type="checkbox"/> Non-evident	Inches
Type of bedrock			Type of bedrock			Type of bedrock		
Surface Slope %			Surface Slope %			Surface Slope %		

I, _____, a professional engineer professional surveyor professional soil classifier do hereby certify that the soil data stated above and/or attached sheets are true and accurate as presented.

Signature _____ Date _____ Reg. # _____
Address _____ City _____ State _____ Zip _____ Phone _____

Part D: For Use by Health Authority

It is our opinion that the use of an on-site sewage disposal system is suitable is not suitable by reason of the following conditions: APPROVED PLOT PLAN MAY VOID THIS APPROVAL.
It shall be the applicant's/owner's responsibility to see that the building stubout is at an elevation which will allow gravity to flow from the stubout to the septic tank.
Septic tank was cleaned out on 10/10/2017 (It was not inspected at that time). Crossover repair was done on 07/17/2018.

Zoning approval must be secured to use this property for residential or commercial purposes.

Signature 7/20/17 Date 7.30.2017

THIS PERMIT DOES NOT CONSTITUTE APPROVAL FOR USE AND IS VALID FOR A PERIOD OF ONE YEAR.
Septic Tank must be inspected by Environmental Health Services before the tank and field lines have been covered. Approval for use will be based upon compliance with Jefferson County Department of Health Onsite Regulations.

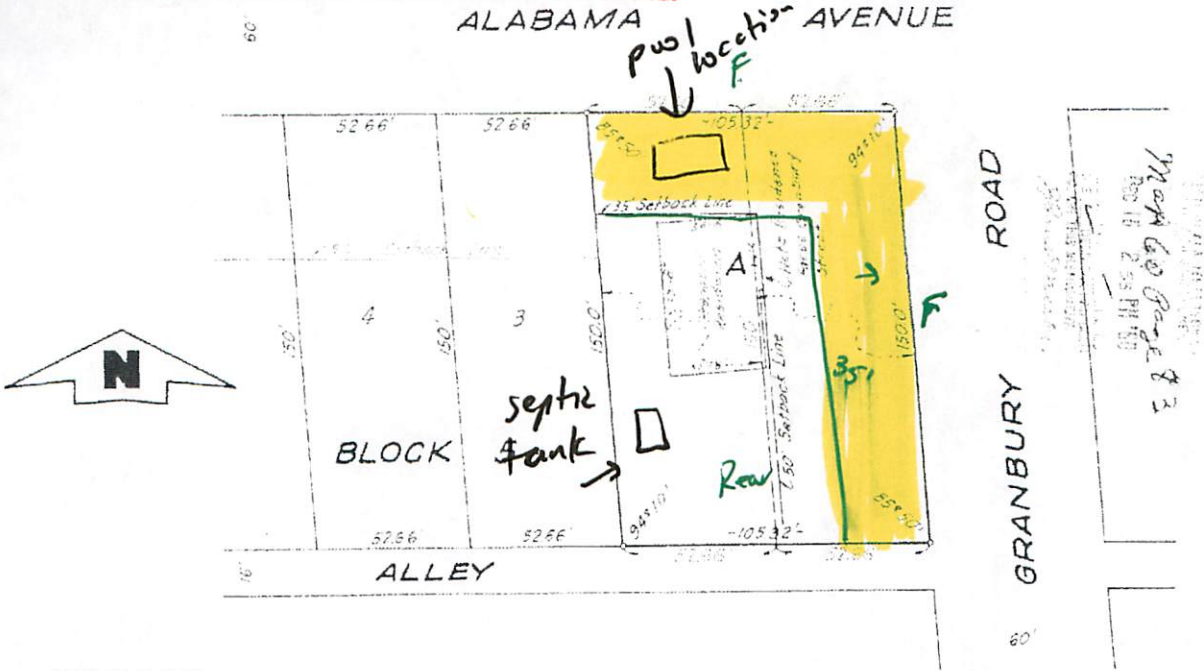
**JEFFERSON COUNTY
DEPARTMENT OF HEALTH
BIRMINGHAM, ALABAMA**

**A RESURVEY
OF
LOTS 1 & 2, BLOCK 5
SOUTH BIRMINGHAM HEIGHTS
(Recorded in Map Book 7, Pg. 41)
Situating in the SW 1/4 of NE 1/4 of Sec 30, TWP 18 S, R 2 W,
Jefferson County, Alabama**
Scale 1"=40'
November, 1960
WALTER SCHOEL ENGINEERING CO.
Graphic Scale

APPROVED Freemantle 10
DATE 7-30-2021



**SEE APPLICATION # 2021A079
FOR CONDITIONS OF THIS APPROVAL.
ANY CHANGE IN HOUSE SIZE AND/OR HOUSE
LOCATION MAY VOID THIS APPROVAL.**



Z0921-26//28-00-30-1-008-001.000
900 Granbury Rd.
Front setback & variance for
location of fence
Gregory Appling

STATE OF ALABAMA
JEFFERSON COUNTY

We, the undersigned, Walter Schoel, Engineer and Surveyor and Frederick Chalmers, Jr., and Anna Louise Chalmers, owners, hereby certify that this is a true and correct plat and survey made by Walter Schoel, Engineer and Surveyor, of the aforesaid property, showing the streets, avenues, alleys and other public ways and giving the name and width of each street and avenue and the dimensions of each lot and showing the relation of the land so platted to the government survey of the SW 1/4 of Section 30, Township 18 South, Range 2 West of the Nashville Principal Meridian in Jefferson County, Alabama.

IN WITNESS WHEREOF, the said Walter Schoel has set his hand and seal, and Frederick Chalmers, Jr., and Anna Louise Chalmers, owners, have caused these presents to be executed in their behalf this the 12th day of December, 1960.

Walter Schoel
Walter Schoel, Reg. No. 311
Civil Engineer and Surveyor

Frederick Chalmers, Jr.
Frederick Chalmers, Jr., Owner

Anna Louise Chalmers
Anna Louise Chalmers, Owner

STATE OF ALABAMA
JEFFERSON COUNTY

I, James W. Sloan, a Notary Public in and for said County and State, hereby certify that Walter Schoel, Civil Engineer and Surveyor and Frederick Chalmers, Jr., and Anna Louise Chalmers, owners, whose names are signed to the foregoing certificate and who are known to me, acknowledged before me on this date, that after having been duly informed of the contents of said certificate, they executed the same voluntarily on the day the same bears date.

Given under my hand and seal this the 12th day of December, 1960.

APPROVED: James W. Sloan
Chairman, Planning & Zoning Commission
Vestavia Hills, Alabama

James W. Sloan
Notary Public

APPROVED: John Grayson
City Engineer

FILED: Henry B. Callins
City Clerk, Vestavia Hills, Alabama

DATE: 12/15/60

BZA

Z0921-26//28-00-30-1-008-001.000

CITY OF VESTAVIA HILLS 900 Granbury Rd.
Department Review of Application Front setback & variance for
(To be completed by City Staff) location of fence
Gregory Appling

The following application and case file has been reviewed and the following comments have been submitted as follows:

Location: 900 Granbury Rd. Case No.: BZA0921-26
Appling

Engineering: Date: 8/10/21 Initials: CB
Comments: no problems

Recommended Not Recommended No Recommendation

Planning/DRB: Date: _____ Initials: _____
Comments: _____

Recommended Not Recommended No Recommendation

GIS/Mapping: Date: _____ Initials: _____
Comments: _____

Recommended Not Recommended No Recommendation

Fire Department: Date: 8/10/21 Initials: FT
Comments: _____

Recommended Not Recommended No Recommendation

Building Department: Date: 8/10/21 Initials: MRay
Comments: _____

Recommended Not Recommended No Recommendation

City Clerk: Date: _____ Initials: _____
Comments: _____

Recommended Not Recommended No Recommendation

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE BOARD OF ZONING ADJUSTMENT

Date: September 16, 2021

- **CASE: BZA-0921-27**
- **REQUESTED ACTION:** 2' Front Setback Variance to reduce the setback to 25' in lieu of the required 27' & a 2' Rear Setback Variance to reduce the setback to 20' in lieu of the required 22'.
- **ADDRESS/LOCATION:** 312 Sunset Drive
- **APPLICANT/OWNER:** Matt Lemen
- **REPRESENTING AGENT:** Mack Braden
- **GENERAL DISCUSSION:** The applicant is seeking front and rear setback variances to build multiple additions. A variance was previously granted to this property, but after a foundation survey it was concluded that the addition extended out a couple extra feet in the front and rear. The applicant contends the hardship is a corner lot. This property is zoned R-1.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** No problems noted.
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted.
 4. **Building Safety Review:** No problems noted.

CITY OF VESTAVIA HILLS BOARD OF ZONING ADJUSTMENT APPLICATION

The owner of the property understands that the Board of Zoning Adjustment only has jurisdiction to grant variances from the Vestavia Hills Zoning Code in cases of undue hardship only. Variances cannot be considered or granted on any kind of private covenants as covenants are restrictions between property owners.

EXAMPLE: If you are asking for a variance from a building setback line and the building setback line is recorded on the plat and matches the Zoning Code, then the Board of Zoning Adjustment would only hear the case based on the Zoning Code requirements, not what is on the recorded plat. The recorded plat is a covenant between property owners of the subdivision. You must have signatures of every property owner on the recorded plat map to change the covenant portion of the setback. The letter of signatures approving the amendment of the covenants must be filed with the Office of the Probate Court. Again, the BZA can only grant a variance based on the Zoning Code and that is the only portion of the building setback changes that the BZA can vote upon. Once a waiver is filed with the Office of the Probate, please include a copy of the recorded amendment with the application to the Office of the City Clerk.

Please note: Only completed applications will be accepted by this office. The applicant is responsible for the Application Fee as well as all postage fees incurred by this request.

I. APPLICANT INFORMATION:**Owner of Property (This Section Must Be Completed)**Name: Matt Lemen Address: 312 Sunset Drive Vestavia Hills, AL 35216 Phone #: 205.767.6408 Other #: E-Mail: matt@lemzarcapital.com

Billing/Responsible PartyName: Address: Phone #: Other #: E-Mail: Z-0921-27//28-00-19-1-013-008.000

312 Sunset DriveFront & Rear Setback for an
addition

Matt Lemen

Representing Attorney/Other Agent

Name: Mack Braden
Address: 5305 12th Avenue South
Birmingham, AL 35222
Phone #: 205.746.3027 Other #: _____
E-Mail: braden.mack1@gmail.com

**This section must be completed in order for a representative to represent the owner.*

II. DESCRIPTION OF SUBJECT PROPERTY:

LOCATION: 312 Sunset Drive, Vestavia Hills, AL 35216
Street Address
Third Addition to Grandview, Lot 5
Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST (PLEASE FILL IN APPLICABLE STATEMENTS):

1. A request to vary:
_____' variance to reduce the lot width to _____' in lieu of the required _____'.
_____' square foot variance to reduce the lot area to _____ square feet in lieu of the required _____ square feet.
Jkw 25 2' front/side/rear (circle one) setback variance to reduce the setback to 25' in lieu of the required ~~50~~ 27'. **On the Chanticleer Lane street frontage.**
Jkw 25 2' front/side/rear (circle one) setback variance to reduce the setback to 20' in lieu of the required ~~30~~ 22'.
_____' front/side/rear (circle one) setback variance to reduce the setback to _____' in lieu of the required _____'.
2. A decision of the Zoning Official which the applicant believes to be contrary to the meaning of the Zoning Ordinance.
3. An application to establish a use which must be approved by the Board of Zoning Adjustment (See Section _____).
4. A request for extension of non-conforming use (See Section _____).
5. Variance for location of a fence.
6. Sign Code Variance (See Section _____).
7. Other - Explain (See Section _____).

312 Sunset Drive

Front & Rear Setback for an addition

Matt Lemen

IV. ZONING

Vestavia Hills Zoning for the subject property is R-2.

V. HARDSHIP

Describe those things which you feel justify the action requested. An Undue Hardship is required in order to seek a variance. List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. *(Use additional space on separate page if necessary).*

The existing home was built prior to the current setbacks and is therefore already beyond the allowable limits. Because the house is on a corner lot, the front setback applied to two sides, makes further addition nearly impossible without significant work to the existing structure. The house was also built at an angle that does not correspond to either of the roads, the property lines, or the setback lines.

VI. PROJECT:

Describe the scope of the project and/or the reason for requesting this variance.

See attached.

VII. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. I, also, understand that I am asking for a variance based on the Zoning Code only and not on any or all covenants that are on the subject property. ***Note, this application must be signed by the owner of the property before a notary. The original application shall be submitted, no copies shall be accepted***




Owner Signature/Date



Representing Agent (if any)/date

Given under my hand and seal
this 17th day of Aug., 2021.



Notary Public
My commission expires 30th
day of October, 2023.



My Commission Expires
October 30, 2023

In the hearing on June 17th 2021, the board granted variances for the following:

- A 32.5' front setback variance to reduce the setback to 27.5' in lieu of the required 60'
- A 7'-2" rear setback variance to reduce the setback to 22'-10" in lieu of the required 30'

The stated hardship was that the existing home was built prior to the current setbacks and is therefore already beyond the allowable limits. Because the house is on a corner lot, the front setback applied to two sides, makes further addition nearly impossible without significant work to the existing structure. The house was also built at an angle that does not correspond to either of the roads, the property lines, or the setback lines.

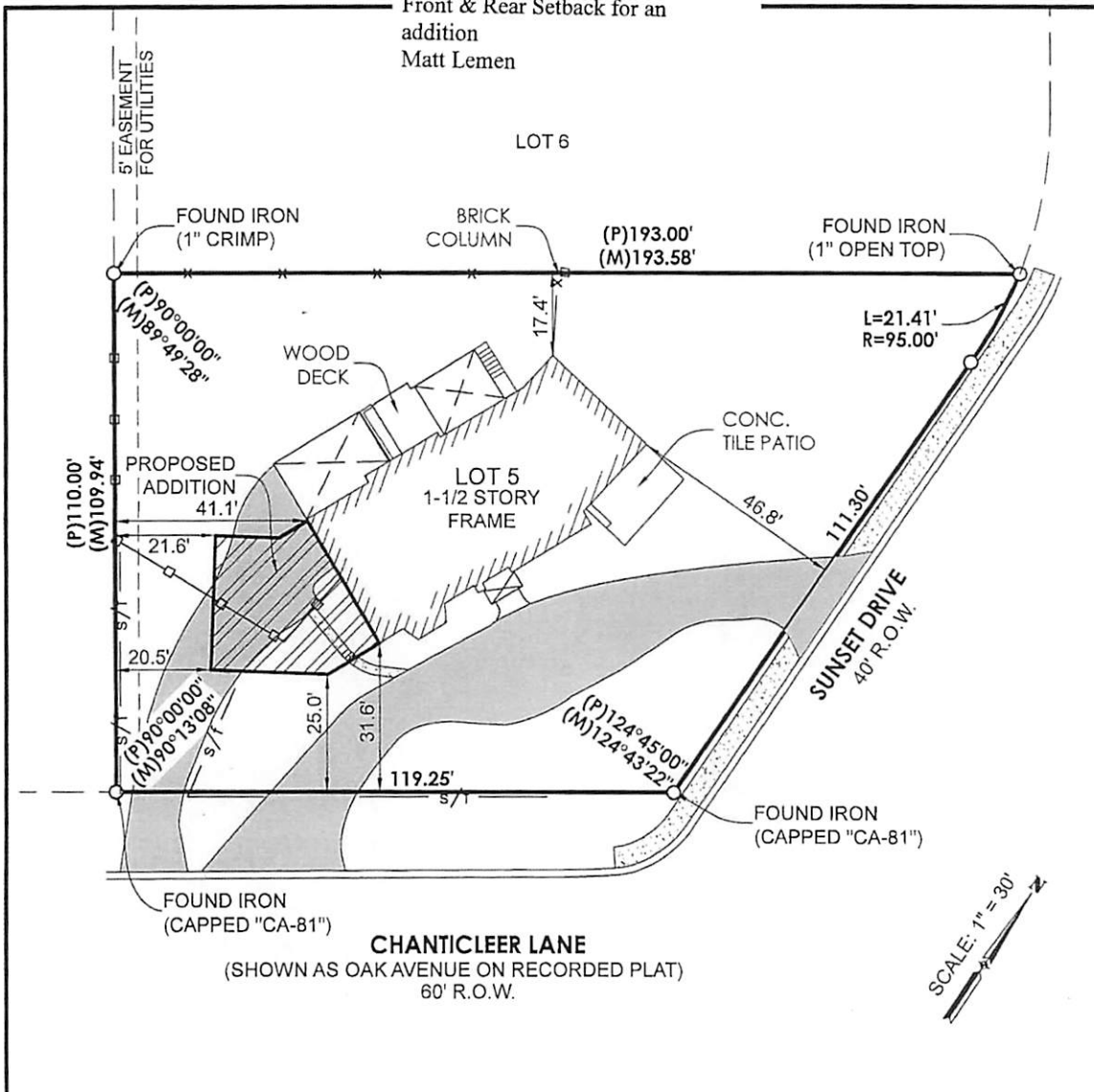
The scope of the proposed project is an addition that contains a garage at the basement level, a guest bedroom, office, and laundry on the main level, and a shared kids bedroom on the upper level. The addition was designed to maintain the plane of the front of the house for a few feet before turning at an angle parallel to Chanticleer Lane. This angle is an effort to minimize the amount of extension into the setback area. The addition extends 6'-8" further than the corner of the house that is already in the setback. This extension allows access to the addition without requiring significant renovation of the existing. Because the addition is adding a garage, access to the existing driveway was necessary. All roof lines, materials, colors, and architectural details of the existing house will be replicated on the addition.

During the permitting process, a resurveying of the property was required. After the new survey was completed, some discrepancies were discovered in the measurements shown on the two different surveys. Because the new survey shows the proposed addition, we need to request slight modifications to the originally granted request. The structure is 2.5' closer to Chanticleer Lane and 2'-4" closer to the rear property line (the property line opposite from the line on Sunset Drive.)

Z-0921-27//28-00-19-1-013-008.000

312 Sunset Drive

Front & Rear Setback for an addition
Matt Lemen



LEGEND			
• DEGREE	N NORTH	E EAST	L ARC LENGTH
• FEET OR MINUTES	S SOUTH	W WEST	R RADIUS
• INCHES OR SECONDS	P.O.B. POINT OF BEGINNING	R.O.W. RIGHT OF WAY	-s/t- SILT FENCE
☒ GAS METER	C/L CENTER LINE	ASPHALT	-x- CHAIN LINK FENCE
			□ WOODEN FENCE
			CONCRETE

- NOTES:
- NO TITLE SEARCH OF THE PUBLIC RECORDS HAS BEEN PERFORMED BY THIS FIRM AND LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS AND/OR RIGHTS-OF-WAYS, RECORDED OR UNRECORDED. THE PARCEL SHOWN HEREON IS SUBJECT TO SETBACKS, EASEMENTS, ZONING AND RESTRICTIONS THAT MAY BE FOUND IN THE PUBLIC RECORDS OF SAID COUNTY.
 - ALL BEARING AND/OR ANGLE, AND DISTANCES ARE DEED AND ACTUAL UNLESS OTHERWISE NOTED: DEED=(D); MEASURED=(M); RECORD MAP/PLAT=(P).
 - UNDERGROUND PORTIONS OF FOUNDATIONS, FOOTINGS, OR OTHER UNDERGROUND STRUCTURES WERE NOT LOCATED UNLESS OTHERWISE NOTED.
 - THIS SURVEY IS VALID ONLY WITH AN ORIGINAL SIGNATURE AND A LEGIBLE SEAL.
 - BEARING REFERENCE IS BASED ON RECORDED PLAT AND SOURCE OF INFORMATION IS RECORDED PLAT AND FIELD EVIDENCE.
 - TYPE OF SURVEY: FINAL SURVEY



STATE OF ALABAMA
JEFFERSON COUNTY

I, Jeff D. Arrington, a registered Land Surveyor, certify that I have surveyed Lot 5, according to the survey of CHAS R. BYRD AND PAUL H. GOODSON'S THID ADDITION TO GRANVIEW, as recorded in Map Volume 33, Page 14, in the office of the Judge of Probate Jefferson County, Alabama; That all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief; That there are no encroachments on said lot except as shown; That improvements are located as shown above. No Flood Zone Determination was requested or performed as part of this survey.

Address: 312 SUNSET DRIVE
Drawing Date: 08/16/2021 By: MA
Date of Survey: 08/12/2021 Party Chief: RG
Order No. 77773
For: LEMEN

Jeff D. Arrington, AL Reg. #18664
Arrington Engineering & Land Surveying, Inc.
2032 Valleydale Road, Birmingham, AL 35244
Phone: (205) 985-9315 (Fax 205-985-9385)

GENERAL NOTES

1. All drawings shall be prepared in accordance with the provisions of the International Building Code, 2012 Edition, unless otherwise noted.
2. All dimensions shall be taken from the centerline of walls unless otherwise noted.
3. All dimensions shall be taken from the centerline of walls unless otherwise noted.
4. All dimensions shall be taken from the centerline of walls unless otherwise noted.
5. All dimensions shall be taken from the centerline of walls unless otherwise noted.
6. All dimensions shall be taken from the centerline of walls unless otherwise noted.
7. All dimensions shall be taken from the centerline of walls unless otherwise noted.
8. All dimensions shall be taken from the centerline of walls unless otherwise noted.
9. All dimensions shall be taken from the centerline of walls unless otherwise noted.
10. All dimensions shall be taken from the centerline of walls unless otherwise noted.

GENERAL PLAN NOTES

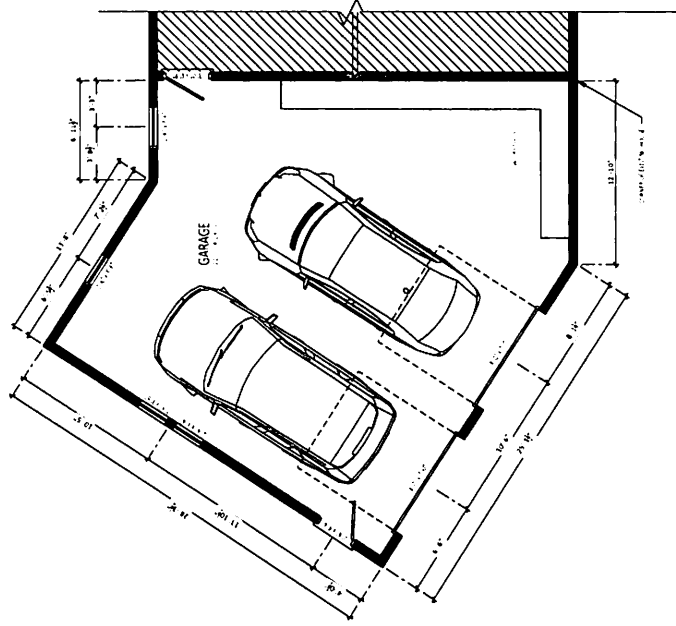
1. Do not use drawings for construction unless they are approved by the local authority having jurisdiction.
2. All dimensions shall be taken from the centerline of walls unless otherwise noted.
3. All dimensions shall be taken from the centerline of walls unless otherwise noted.
4. All dimensions shall be taken from the centerline of walls unless otherwise noted.
5. All dimensions shall be taken from the centerline of walls unless otherwise noted.
6. All dimensions shall be taken from the centerline of walls unless otherwise noted.
7. All dimensions shall be taken from the centerline of walls unless otherwise noted.
8. All dimensions shall be taken from the centerline of walls unless otherwise noted.
9. All dimensions shall be taken from the centerline of walls unless otherwise noted.
10. All dimensions shall be taken from the centerline of walls unless otherwise noted.

Lemen Residence
Westport, AL

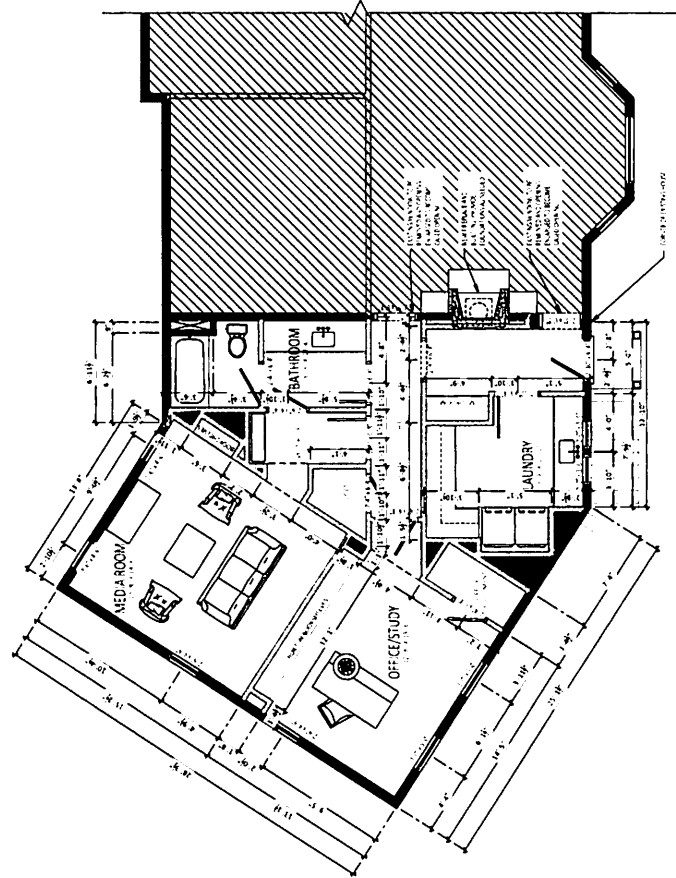
DATE: 07/20/2011
DRAWN BY: MB
CHECKED BY: [Signature]
SCALE: 1/8" = 1'-0"

PLANS

A2.1



01 | Basement
SCALE: 1/8" = 1'-0"



02 | Main Floor
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. All work shall be in accordance with the approved plans and specifications.
2. The contractor shall be responsible for obtaining all necessary permits and licenses.
3. The contractor shall be responsible for the safety of all workers and the public.
4. The contractor shall be responsible for the protection of all existing utilities.
5. The contractor shall be responsible for the removal and disposal of all debris.
6. The contractor shall be responsible for the cleanup of the work area.
7. The contractor shall be responsible for the final inspection and approval of the work.
8. The contractor shall be responsible for the completion of the work within the specified time frame.
9. The contractor shall be responsible for the payment of all bills and invoices.
10. The contractor shall be responsible for the maintenance of all records and documents.

GENERAL PLAN NOTES

1. Do not alter drawings. Any changes shall be made by a licensed engineer.
2. All dimensions are in feet and inches.
3. All dimensions are to the center of the wall unless otherwise noted.
4. All dimensions are to the finished surface unless otherwise noted.
5. All dimensions are to the center of the door unless otherwise noted.
6. All dimensions are to the center of the window unless otherwise noted.
7. All dimensions are to the center of the staircase unless otherwise noted.
8. All dimensions are to the center of the balcony unless otherwise noted.
9. All dimensions are to the center of the terrace unless otherwise noted.
10. All dimensions are to the center of the driveway unless otherwise noted.

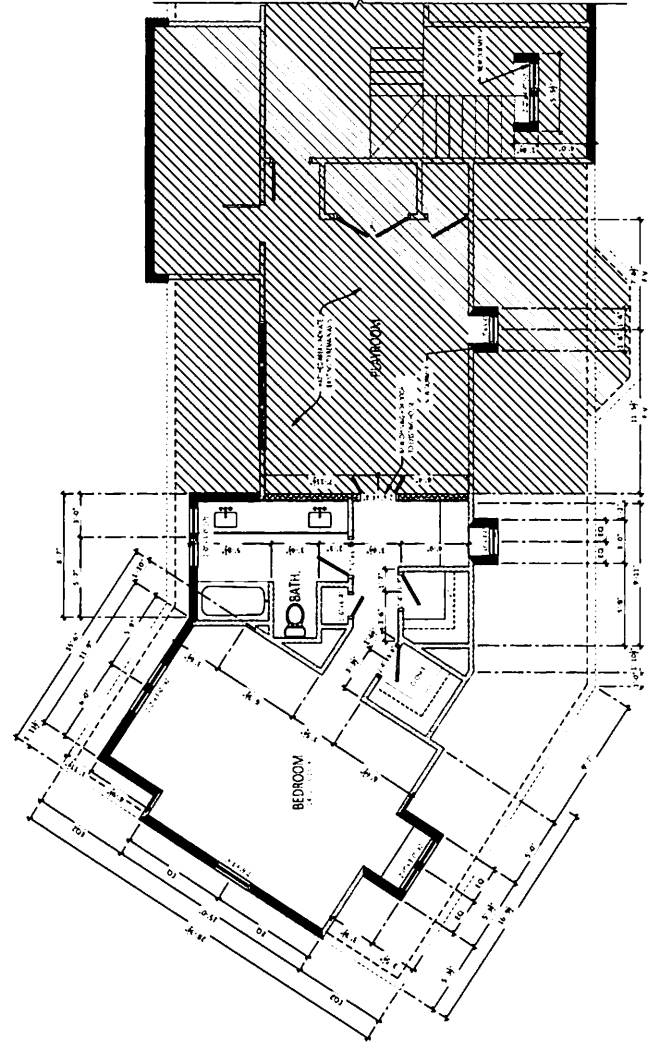
**Lemen
Residence**
Vestavia, AL

DATE: 07/20/2021
BY: [Signature]
CHECKED BY: [Signature]
SCALE: AS SHOWN

PLANS

A2.2

01 | Second Floor
SCALE: 1/8" = 1'-0"

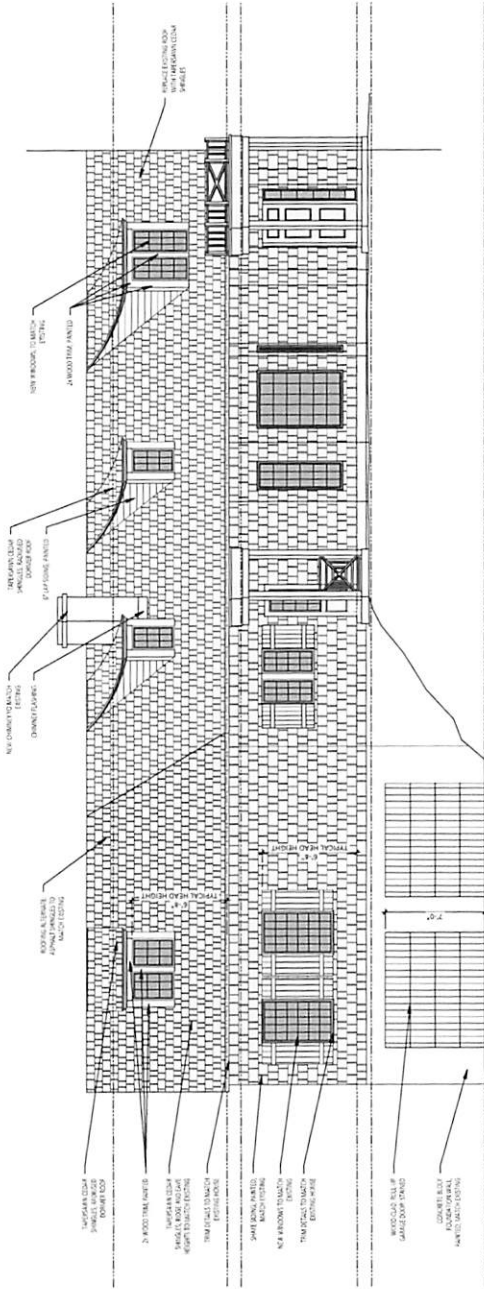


GENERAL NOTES

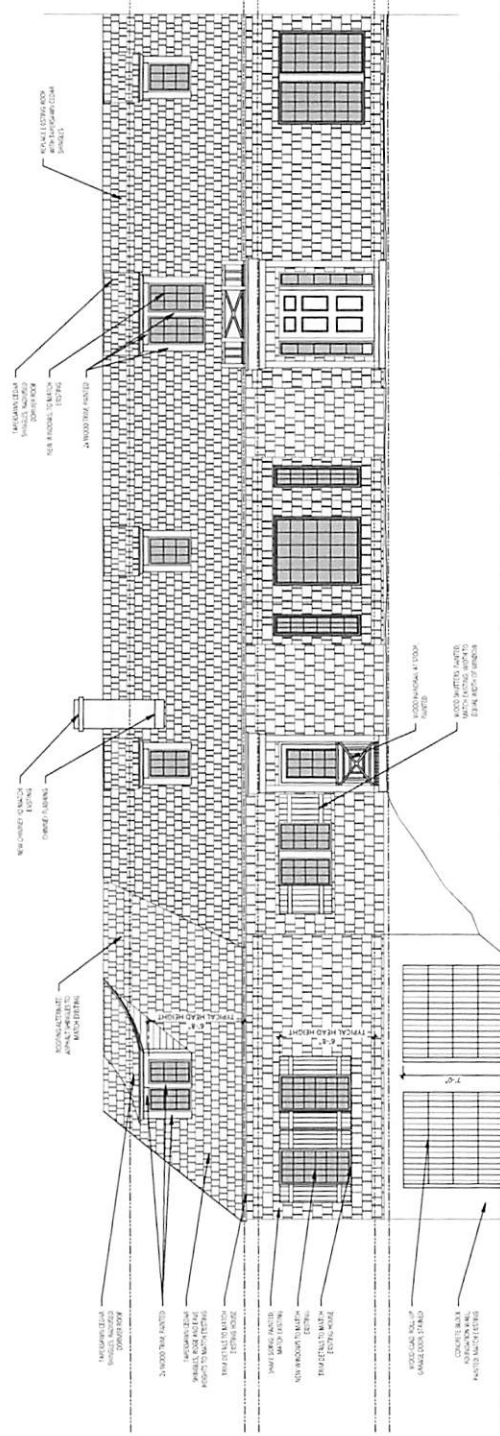
1. All drawings in this set represent design intent only. It is the contractor's responsibility to verify all dimensions and materials with the actual construction. Any representation of structural elements is for information only and does not constitute a design. All structural drawings and design should be checked by a structural engineer.

GENERAL PLAN NOTES

1. Do not scale drawings. Any dimensions shown on drawings should be brought to the design team's attention. Dimensions are indicated in feet and inches.
2. Dimensions are indicated in feet and inches.
3. EXTERIOR WALLS, Outside Face of Wall
4. EXTERIOR WALLS, Center of Wall
5. EXTERIOR WALLS, Inside Face of Wall
6. EXTERIOR WALLS, Center of Wall
7. EXTERIOR WALLS, Outside Face of Wall
8. EXTERIOR WALLS, Center of Wall
9. EXTERIOR WALLS, Inside Face of Wall
10. EXTERIOR WALLS, Center of Wall
11. EXTERIOR WALLS, Outside Face of Wall
12. EXTERIOR WALLS, Center of Wall
13. EXTERIOR WALLS, Inside Face of Wall
14. EXTERIOR WALLS, Center of Wall
15. EXTERIOR WALLS, Outside Face of Wall
16. EXTERIOR WALLS, Center of Wall
17. EXTERIOR WALLS, Inside Face of Wall
18. EXTERIOR WALLS, Center of Wall
19. EXTERIOR WALLS, Outside Face of Wall
20. EXTERIOR WALLS, Center of Wall
21. EXTERIOR WALLS, Inside Face of Wall
22. EXTERIOR WALLS, Center of Wall
23. EXTERIOR WALLS, Outside Face of Wall
24. EXTERIOR WALLS, Center of Wall
25. EXTERIOR WALLS, Inside Face of Wall
26. EXTERIOR WALLS, Center of Wall
27. EXTERIOR WALLS, Outside Face of Wall
28. EXTERIOR WALLS, Center of Wall
29. EXTERIOR WALLS, Inside Face of Wall
30. EXTERIOR WALLS, Center of Wall
31. EXTERIOR WALLS, Outside Face of Wall
32. EXTERIOR WALLS, Center of Wall
33. EXTERIOR WALLS, Inside Face of Wall
34. EXTERIOR WALLS, Center of Wall
35. EXTERIOR WALLS, Outside Face of Wall
36. EXTERIOR WALLS, Center of Wall
37. EXTERIOR WALLS, Inside Face of Wall
38. EXTERIOR WALLS, Center of Wall
39. EXTERIOR WALLS, Outside Face of Wall
40. EXTERIOR WALLS, Center of Wall
41. EXTERIOR WALLS, Inside Face of Wall
42. EXTERIOR WALLS, Center of Wall
43. EXTERIOR WALLS, Outside Face of Wall
44. EXTERIOR WALLS, Center of Wall
45. EXTERIOR WALLS, Inside Face of Wall
46. EXTERIOR WALLS, Center of Wall
47. EXTERIOR WALLS, Outside Face of Wall
48. EXTERIOR WALLS, Center of Wall
49. EXTERIOR WALLS, Inside Face of Wall
50. EXTERIOR WALLS, Center of Wall
51. EXTERIOR WALLS, Outside Face of Wall
52. EXTERIOR WALLS, Center of Wall
53. EXTERIOR WALLS, Inside Face of Wall
54. EXTERIOR WALLS, Center of Wall
55. EXTERIOR WALLS, Outside Face of Wall
56. EXTERIOR WALLS, Center of Wall
57. EXTERIOR WALLS, Inside Face of Wall
58. EXTERIOR WALLS, Center of Wall
59. EXTERIOR WALLS, Outside Face of Wall
60. EXTERIOR WALLS, Center of Wall
61. EXTERIOR WALLS, Inside Face of Wall
62. EXTERIOR WALLS, Center of Wall
63. EXTERIOR WALLS, Outside Face of Wall
64. EXTERIOR WALLS, Center of Wall
65. EXTERIOR WALLS, Inside Face of Wall
66. EXTERIOR WALLS, Center of Wall
67. EXTERIOR WALLS, Outside Face of Wall
68. EXTERIOR WALLS, Center of Wall
69. EXTERIOR WALLS, Inside Face of Wall
70. EXTERIOR WALLS, Center of Wall
71. EXTERIOR WALLS, Outside Face of Wall
72. EXTERIOR WALLS, Center of Wall
73. EXTERIOR WALLS, Inside Face of Wall
74. EXTERIOR WALLS, Center of Wall
75. EXTERIOR WALLS, Outside Face of Wall
76. EXTERIOR WALLS, Center of Wall
77. EXTERIOR WALLS, Inside Face of Wall
78. EXTERIOR WALLS, Center of Wall
79. EXTERIOR WALLS, Outside Face of Wall
80. EXTERIOR WALLS, Center of Wall
81. EXTERIOR WALLS, Inside Face of Wall
82. EXTERIOR WALLS, Center of Wall
83. EXTERIOR WALLS, Outside Face of Wall
84. EXTERIOR WALLS, Center of Wall
85. EXTERIOR WALLS, Inside Face of Wall
86. EXTERIOR WALLS, Center of Wall
87. EXTERIOR WALLS, Outside Face of Wall
88. EXTERIOR WALLS, Center of Wall
89. EXTERIOR WALLS, Inside Face of Wall
90. EXTERIOR WALLS, Center of Wall
91. EXTERIOR WALLS, Outside Face of Wall
92. EXTERIOR WALLS, Center of Wall
93. EXTERIOR WALLS, Inside Face of Wall
94. EXTERIOR WALLS, Center of Wall
95. EXTERIOR WALLS, Outside Face of Wall
96. EXTERIOR WALLS, Center of Wall
97. EXTERIOR WALLS, Inside Face of Wall
98. EXTERIOR WALLS, Center of Wall
99. EXTERIOR WALLS, Outside Face of Wall
100. EXTERIOR WALLS, Center of Wall



02 | Front Elevation
SCALE: 1/4"=1'-0"



01 | Front Elevation
SCALE: 1/4"=1'-0"

Lemen
Residence
Vestavia, AL

DATE: 07/20/2021
MS
PROJECT: LEMEN RESIDENCE
SHEET NO: 01
ELEVATIONS

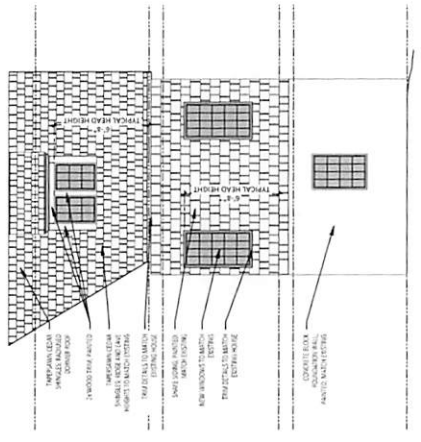
A3.1

GENERAL NOTES

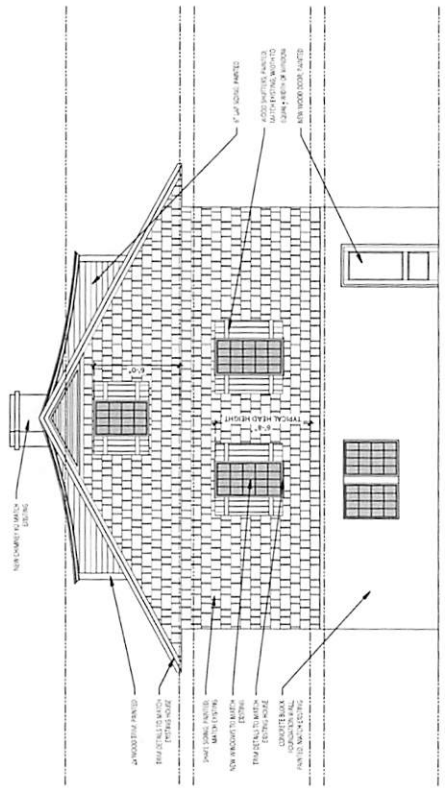
1. Represent design intent only. Conditions on site may vary from what is shown. Do not be held to any conditions on site.
2. All measurements to be taken from the finished floor and design shall be done by a licensed engineer.

GENERAL PLAN NOTES

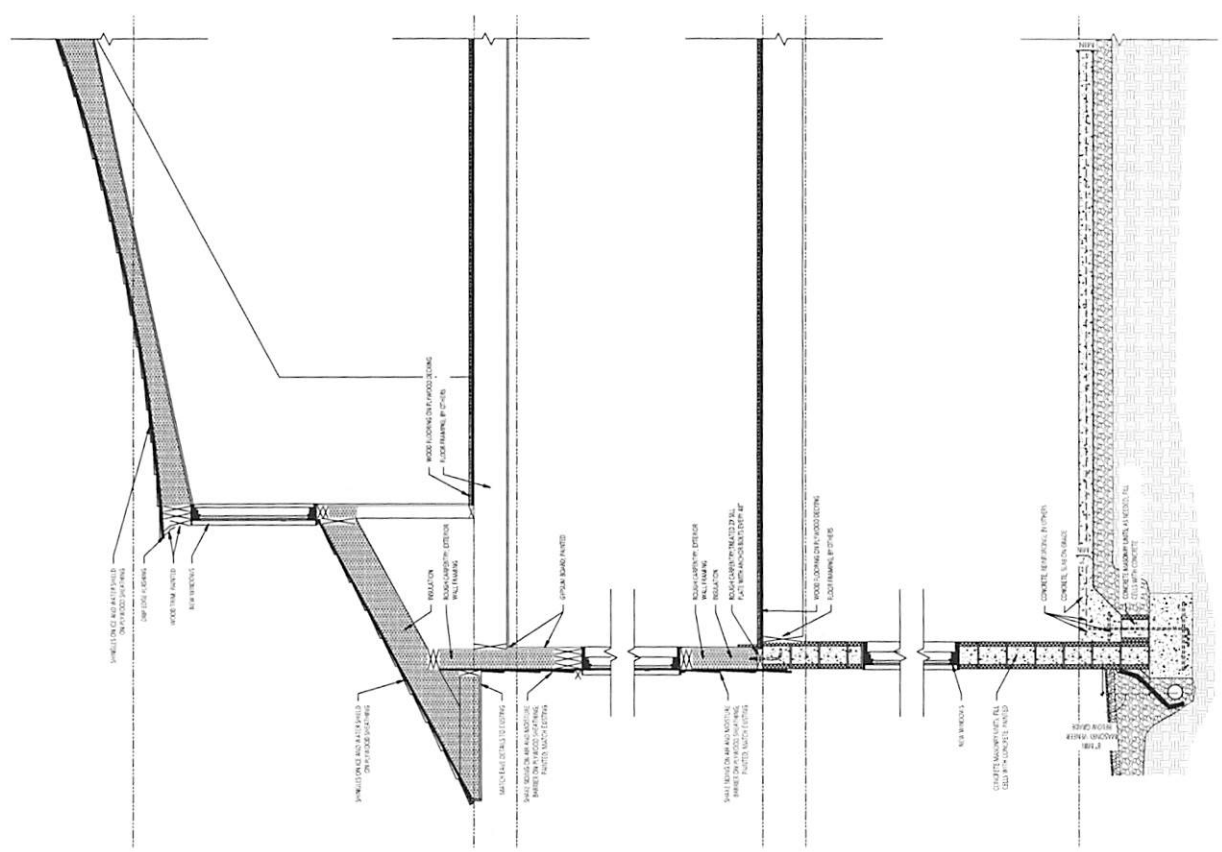
1. Do not scale drawings. Any dimensions shall be brought to the design team by a licensed engineer.
2. Dimensions for materials shall be taken from the manufacturer's literature.
3. All wall finishes shall be as shown.
4. All door and window finishes shall be as shown.
5. All window and door hardware shall be as shown.
6. All window and door hardware shall be as shown.
7. All window and door hardware shall be as shown.
8. All window and door hardware shall be as shown.
9. All window and door hardware shall be as shown.



02 | Rear Elevation
SCALE: 1/8"=1'-0"



01 | Side Elevation
SCALE: 1/8"=1'-0"



01 | Side Elevation
SCALE: 1/8"=1'-0"

BZA

Z-0921-27//28-00-19-1-013-008.000

CITY OF VESTAVIA HI
Department Review of Appli
(To be completed by City S

312 Sunset Drive
Front & Rear Setback for an
addition
Matt Lemen

The following application and case file has been reviewed and the following comments have been submitted as follows:

Location: 312 Sunset Drive Case No: BZA0921-27
Lemen

Engineering: Date: 8/24/21 Initials: CB
Comments: no problems noted
 Recommended Not Recommended No Recommendation

Planning/DRB: Date: _____ Initials: _____
Comments: _____
 Recommended Not Recommended No Recommendation

GIS/Mapping: Date: _____ Initials: _____
Comments: _____
 Recommended Not Recommended No Recommendation

Fire Department: Date: 8/24/21 Initials: EF
Comments: _____
 Recommended Not Recommended No Recommendation

Building Department: Date: _____ Initials: _____
Comments: _____
 Recommended Not Recommended No Recommendation

City Clerk: Date: 8/24/2021 Initials: Re
Comments: _____
 Recommended Not Recommended No Recommendation

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE BOARD OF ZONING ADJUSTMENT

Date: September 16, 2021

- **CASE: BZA-0921-28**
- **REQUESTED ACTION:** 4,922 Square Footage Variance to reduce the Lot Area to 10,078 square feet in lieu of the required 15,000 square feet, & a 38' Variance to reduce the Lot Width to 62' in lieu of the required 100', & a 1.8' Side Setback Variance to reduce the setback to 7.5' in lieu of the required 9.3'.
- **ADDRESS/LOCATION:** 909 Chestnut Street
- **APPLICANT/OWNER:** Kadco Homes
- **REPRESENTING AGENT:** NA
- **GENERAL DISCUSSION:** The applicant is seeking lot area and lot width variances, and a side setback variance to build a house. The current lot is undersized, but a portion of the alley next to this lot was vacated and made part of the lot. Although, that change was not a part of the recorded plat. To make this a legal lot of record the lot area and width variances are needed. The lot currently has a 7.5' side setback as is. These are old 50' wide lots and are allowed a side setback that is 15% the lot width. With the incorporation of the vacated alley, this lot has a 9.3' side setback requirement. The applicant is seeking a side setback variance to allow building up to the original 7.5'. The applicant's property is zoned Vestavia Hills R-3.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** No problems noted.
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted.
 4. **Building Safety Review:** No problems noted.

CITY OF VESTAVIA HILLS BOARD OF ZONING ADJUSTMENT APPLICATION

The owner of the property understands that the Board of Zoning Adjustment only has jurisdiction to grant variances from the Vestavia Hills Zoning Code in cases of undue hardship only. Variances cannot be considered or granted on any kind of private covenants as covenants are restrictions between property owners.

EXAMPLE: If you are asking for a variance from a building setback line and the building setback line is recorded on the plat and matches the Zoning Code, then the Board of Zoning Adjustment would only hear the case based on the Zoning Code requirements, not what is on the recorded plat. The recorded plat is a covenant between property owners of the subdivision. You must have signatures of every property owner on the recorded plat map to change the covenant portion of the setback. The letter of signatures approving the amendment of the covenants must be filed with the Office of the Probate Court. Again, the BZA can only grant a variance based on the Zoning Code and that is the only portion of the building setback changes that the BZA can vote upon. Once a waiver is filed with the Office of the Probate, please include a copy of the recorded amendment with the application to the Office of the City Clerk.

Please note: Only completed applications will be accepted by this office. The applicant is responsible for the Application Fee as well as all postage fees incurred by this request.

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: KADCO Homes, LLC

Address: 3505 Bent River Rd.

Prichard, AL 35216

Phone #: 205-369-5187 Other #: _____

E-Mail: JKessler@kadm.com

Billing/Responsible Party

Name: Same as above ↑

Address: _____

Phone #: _____ Other #: _____

E-Mail: Z0921-28//28-00-30-2-011-005.000

909 Chestnut Street

Side Setback & Variance to reduce

lot width

Kadco Homes

Representing Attorney/Other Agent

Name: _____

Address: _____

Phone #: _____ Other #: _____

E-Mail: _____

**This section must be completed in order for a representative to represent the owner.*

II. DESCRIPTION OF SUBJECT PROPERTY:

LOCATION: 909 Chestnut Street Verstovia 35216
Street Address
Lot 18 Block 11
Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST (PLEASE FILL IN APPLICABLE STATEMENTS):

1. A request to vary:
38 ' variance to reduce the lot width to 62 ' in lieu of the required 100 ' .
4,922 square foot variance to reduce the lot area to 10,078 square feet in lieu of the required 15,000 square feet.
1.8 ' front/side/rear (circle one) setback variance to reduce the setback to 7.5 ' in lieu of the required 9.3 ' .
_____ ' front/side/rear (circle one) setback variance to reduce the setback to _____ ' in lieu of the required _____ ' .
_____ ' front/side/rear (circle one) setback variance to reduce the setback to _____ ' in lieu of the required _____ ' .
2. A decision of the Zoning Official which the applicant believes to be contrary to the meaning of the Zoning Ordinance.
3. An application to establish a use which must be approved by the Board of Zoning Adjustment (See Section _____).
4. A request for extension of non-conforming use (See Section _____).
5. Variance for location of a fence.
6. Sign Code Variance (See Section _____).
7. Other - Explain (See Section _____).

_____ **Z0921-28//28-00-30-2-011-005.000** _____
_____ **909 Chestnut Street** _____
Side Setback & Variance to reduce
lot width
Kadco Homes

IV. ZONING

Vestavia Hills Zoning for the subject property is R3.

V. HARDSHIP

Describe those things which you feel justify the action requested. An Undue Hardship is required in order to seek a variance. List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. (Use additional space on separate page if necessary).

A portion of an unopened alley was vacated and made part of the subject property. However, it is not part of the recorded lot which renders it useless. We aim to make it part of the platted lot so that it may be used to create a better, more useable piece of land.

VI. PROJECT:

Describe the scope of the project and/or the reason for requesting this variance.

This lot already enjoys 7.5' side setbacks according to the zoning. The lot is buildable under R3 at its current width and lot area. However, many other lots in the area have 7.5' side setbacks and we would like to keep ours at that standard while incorporating the vacated alley to "clean up" an administrative situation. It will not be an encroachment upon anyone and will allow for a better, not as narrow, home.

VII. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. I, also, understand that I am asking for a variance based on the Zoning Code only and not on any or all covenants that are on the subject property. ***Note, this application must be signed by the owner of the property before a notary. The original application shall be submitted, no copies shall be accepted***

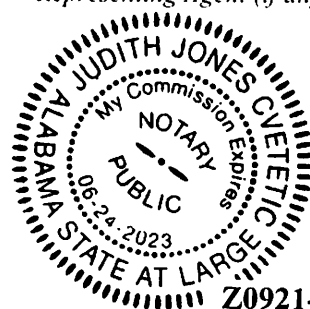
Juell 8/16/21
Owner Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this 16 day of August, 2021.

J. Tuttle
Notary Public

My commission expires June
day of 24th, 2023.



Z0921-28//28-00-30-2-011-005.000
909 Chestnut Street
Side Setback & Variance to reduce
lot width
Kadco Homes

EDG
 ENGINEERING DESIGN GROUP, LLC
 CIVIL ENGINEERING & LAND SURVEYING
 (205) 403-9158

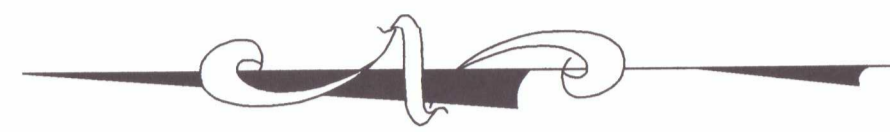
120 BISHOP CIRCLE, SUITE 300
 PELHAM, AL 35124
 TEL - (205) 403-9158
 FAX - (205) 403-9175

PROJECT: LOT 18 CHESTNUT STREET
 VESTAVIA HILLS, ALABAMA
 TITLE: LOT 18 PLAT EXHIBIT

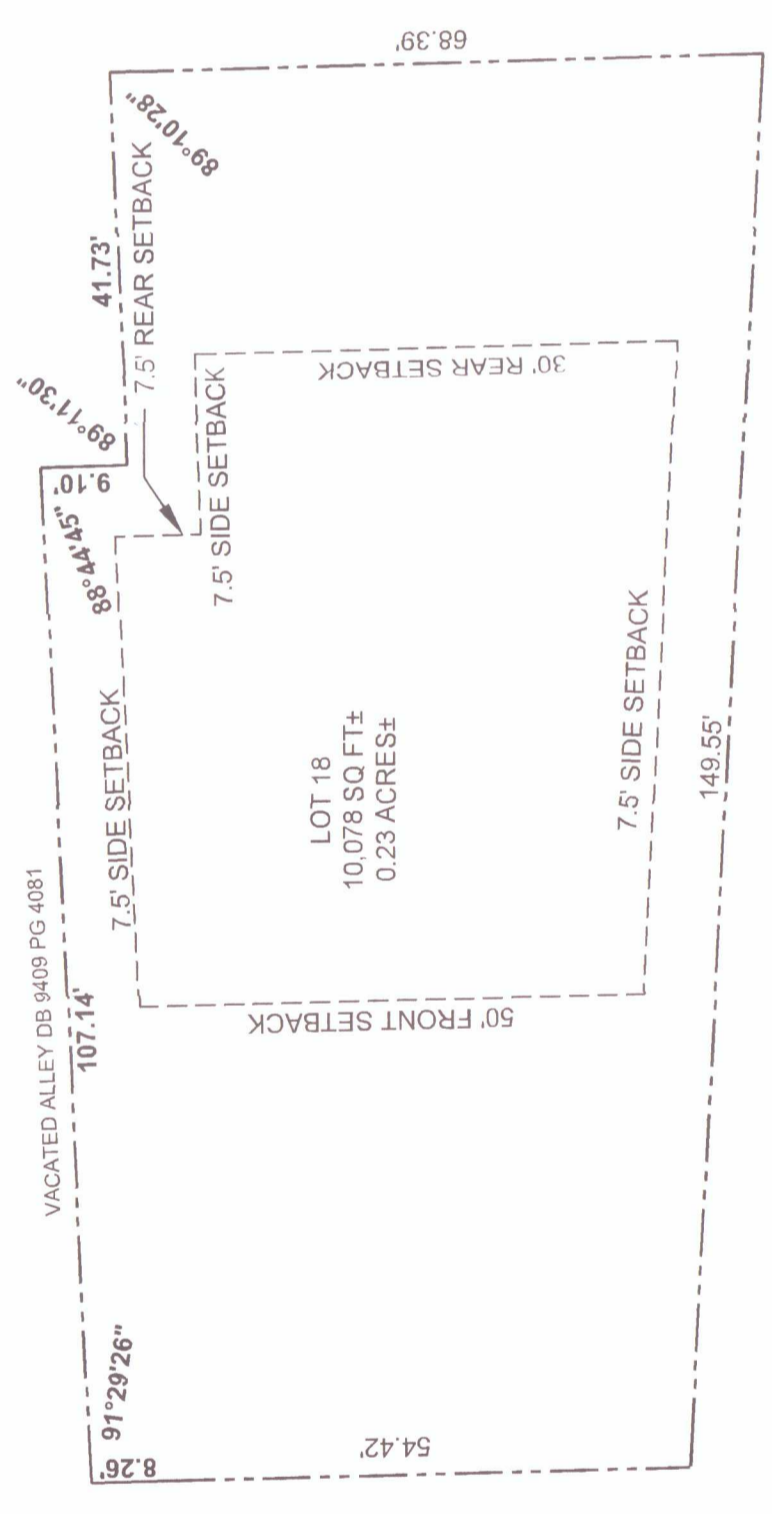
DATE: AUGUST 16, 2021
 CAD FILE: DRAWING.DWG
 PROJECT NO.: KESS0102
 CHECKED BY: WHL
 DRAWN BY: CLG

REVISIONS

PRELIMINARY
 NOT FOR CONSTRUCTION



MAGNOLIA STREET
 60' ROW



CHESTNUT STREET
 60' ROW

BZA

Z0921-28//28-00-30-2-011-005.000

CITY OF VESTAVIA HILL 909 Chestnut Street
Department Review of Application Side Setback & Variance to reduce
(To be completed by City Staff) lot width
Kadco Homes

The following application and case file has been reviewed and the following submitted as follows:

Location: 909 Chestnut St. Case No.: BZA0921-28
Kadco Homes

Engineering: Date: 8/17/21 Initials: EB
Comments: no problems
 Recommended Not Recommended No Recommendation

Planning/DRB: Date: _____ Initials: _____
Comments: _____
 Recommended Not Recommended No Recommendation

GIS/Mapping: Date: _____ Initials: _____
Comments: _____
 Recommended Not Recommended No Recommendation

Fire Department: Date: 8/17/21 Initials: JF
Comments: _____
 Recommended Not Recommended No Recommendation

Building Department: Date: 8/17/21 Initials: KB
Comments: _____
 Recommended Not Recommended No Recommendation

City Clerk: Date: 8/17/2021 Initials: AK
Comments: AH
 Recommended Not Recommended No Recommendation

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE BOARD OF ZONING ADJUSTMENT

Date: September 16, 2021

- **CASE: BZA-0921-29**
- **REQUESTED ACTION:** Landscaping Variance
- **ADDRESS/LOCATION:** 3952 Crosshaven Drive
- **APPLICANT/OWNER:** Jones C, LLC
- **REPRESENTING AGENT:** David Teague
- **GENERAL DISCUSSION:** The applicant is requesting a variance from the landscaping buffer between two commercial properties. The lot will be utilized as tire engineer's facility and must have the required parking to operate. A portion of the frontage of the lot is being taken as a part of the Crosshaven Drive Project. Part of the land that would be used for parking cannot be used. Originally the applicant needed a 5' rear setback variance to help accommodate the parking. That has since been changed and the setback variance will not be needed. Although the landscaping buffer will need to be waived to allow for that extra space. The applicants also contend that the buffer isn't necessary, as it is just an extension of the neighboring lot and is owned by the same entity. The applicant's property is zoned Vestavia Hills B-2.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** No problems noted.
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted.
 4. **Building Safety Review:** No problems noted.

CITY OF VESTAVIA HILLS BOARD OF ZONING ADJUSTMENT APPLICATION

The owner of the property understands that the Board of Zoning Adjustment only has jurisdiction to grant variances from the Vestavia Hills Zoning Code in cases of undue hardship only. Variances cannot be considered or granted on any kind of private covenants as covenants are restrictions between property owners.

EXAMPLE: If you are asking for a variance from a building setback line and the building setback line is recorded on the plat and matches the Zoning Code, then the Board of Zoning Adjustment would only hear the case based on the Zoning Code requirements, not what is on the recorded plat. The recorded plat is a covenant between property owners of the subdivision. You must have signatures of every property owner on the recorded plat map to change the covenant portion of the setback. The letter of signatures approving the amendment of the covenants must be filed with the Office of the Probate Court. Again, the BZA can only grant a variance based on the Zoning Code and that is the only portion of the building setback changes that the BZA can vote upon. Once a waiver is filed with the Office of the Probate, please include a copy of the recorded amendment with the application to the Office of the City Clerk.

Please note: Only completed applications will be accepted by this office. The applicant is responsible for the Application Fee as well as all postage fees incurred by this request.

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: Barbara W Jones
Address: 1398 Bristol Manor
Bham AL 35242
Phone #: 205-913-7723 Other #: 205-240-0939
E-Mail: _____

Billing/Responsible Party

Name: John Davis
Address: 1880 Southpark Drive, Birmingham, AL 35244
Phone #: 205-397-1164 Other #: _____
E-Mail: jdavis@expressoil.com
Z-0921-29//28-00-15-4-014-008.000
3952 Crosshaven Drive
Rear Setback & waive 5' landscape
buffer
Barbara Jones

Representing Attorney/Other Agent

Name: John Davis
Address: 1880 Southpark Drive, Birmingham, AL 35244
Phone #: 205-397-1164 Other #: _____
E-Mail: jdavis@expressoil.com

**This section must be completed in order for a representative to represent the owner.*

II. DESCRIPTION OF SUBJECT PROPERTY:

LOCATION: 3952 Crosshaven Drive, Vestavia Hills
Street Address
Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST (PLEASE FILL IN APPLICABLE STATEMENTS):

1. A request to vary:
_____ ' variance to reduce the lot width to _____ ' in lieu of the required _____ ' .
_____ square foot variance to reduce the lot area to _____ square feet in lieu of the required _____ square feet.
5' ' front/side/rear (circle one) setback variance to reduce the setback to 25' ' in lieu of the required 30' ' .
_____ ' front/side/rear (circle one) setback variance to reduce the setback to _____ ' in lieu of the required _____ ' .
_____ ' front/side/rear (circle one) setback variance to reduce the setback to _____ ' in lieu of the required _____ ' .
2. A decision of the Zoning Official which the applicant believes to be contrary to the meaning of the Zoning Ordinance.
3. An application to establish a use which must be approved by the Board of Zoning Adjustment (See Section _____).
4. A request for extension of non-conforming use (See Section _____).
5. Variance for location of a fence.
6. Sign Code Variance (See Section _____).
7. Other - Explain (See Section below).

Variance to waive the 5' landscape buffer requirement along both sides of the lot line between Lot 5 and Lot 6

Z-0921-29//28-00-15-4-014-008.000
3952 Crosshaven Drive
Rear Setback & waive 5' landscape
buffer
Barbara Jones

IV. ZONING

Vestavia Hills Zoning for the subject property is B2.

V. HARDSHIP

Describe those things which you feel justify the action requested. An Undue Hardship is required in order to seek a variance. List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. *(Use additional space on separate page if necessary).*

see attached page

VI. PROJECT:

Describe the scope of the project and/or the reason for requesting this variance.

The project will add a Tire Engineers operation to the existing Express Oil Change facility. The Tire Engineers facility fill occupy the neighboring lot and will be administered from an office within the existing Express Oil Change facility.

VII. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. I, also, understand that I am asking for a variance based on the Zoning Code only and not on any or all covenants that are on the subject property. ***Note, this application must be signed by the owner of the property before a notary. The original application shall be submitted, no copies shall be accepted***

Barbara W. Jones
Owner Signature/Date

[Signature] 8/13/21
Representing Agent (if any)/date

Given under my hand and seal
this 13th day of August, 2021.

Brenna Cleckley
Notary Public

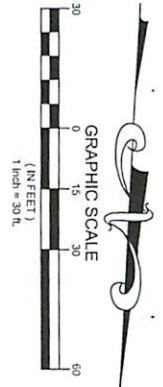
My commission expires May 3, 2025
day of _____, 20_____.



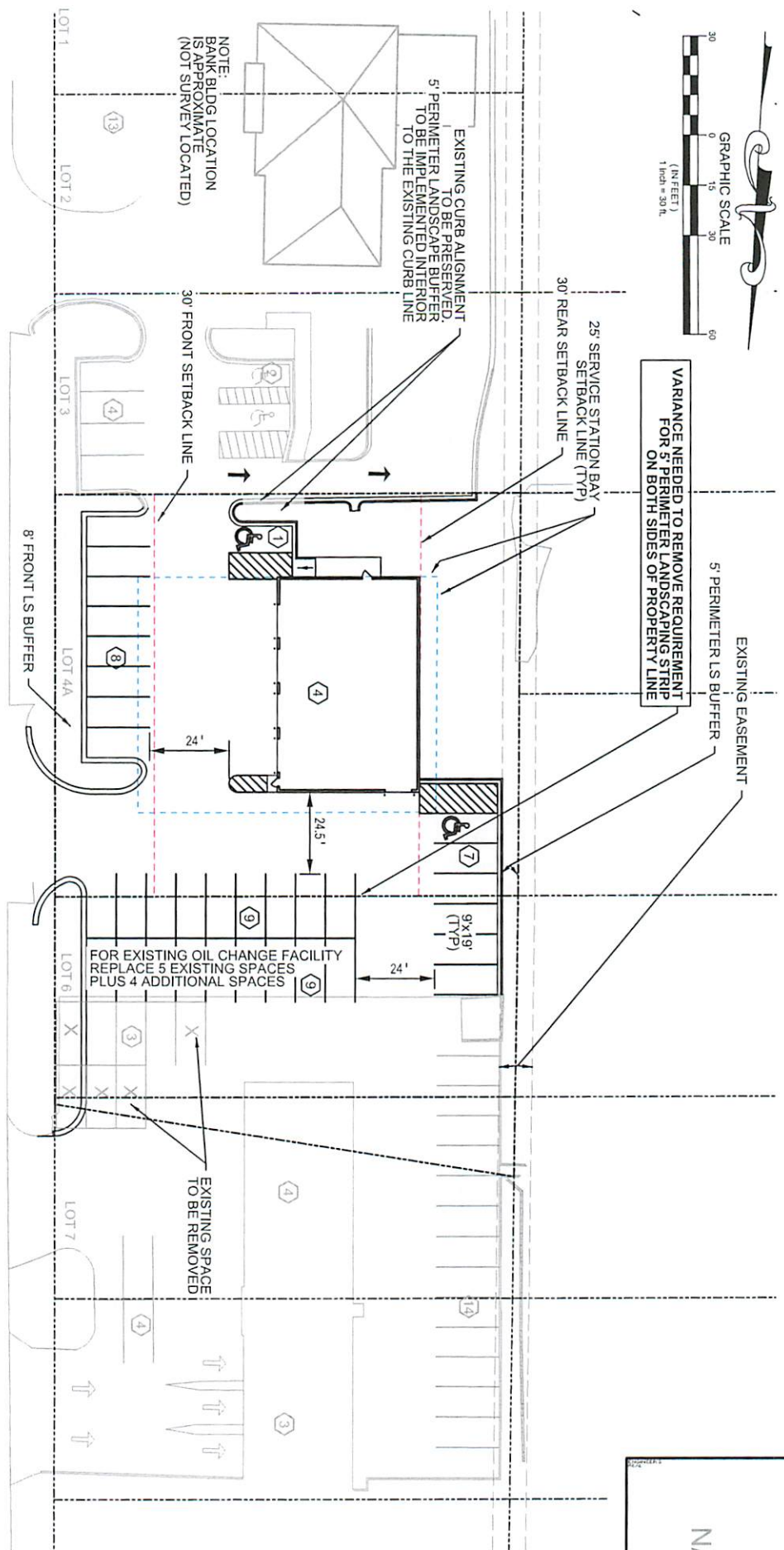
Z-0921-29//28-00-15-4-014-008.000
3952 Crosshaven Drive
Rear Setback & waive 5' landscape
buffer
Barbara Jones

- The 5 ft rear setback variance is required in order to provide additional parking spaces for the project. The additional parking will help to alleviate parking issues at the existing oil change facility next door which is losing parking due to the widening of Crosshaven drive. Please note that the existing neighboring buildings to the east and west of the Express Oil Change / Tire Engineers site also do not meet the 30 ft rear setback. Reducing the 30 ft setback to 25 ft will still give the tire facility a greater rear setback than its neighbors.

- 5 ft landscape buffers along the interior property line between the existing oil change and new tire facilities are not necessary since the new facility is an extension of the existing one. This scenario is repeated in existing properties all around the parcels in question. The two subject parcels are owned by the same entity and will be leased together.



VARIANCE NEEDED TO REMOVE REQUIREMENT FOR 5' PERIMETER LANDSCAPING STRIP ON BOTH SIDES OF PROPERTY LINE



- PARKING SUMMARY:**
- PARKING REQUIRED (5 SPACES PER BAY)
 - EXISTING FACILITY = 35 SPACES
 - PROPOSED ADDITION = 20 SPACES
 - COMBINED = 55 SPACES
- PARKING PROVIDED**
- COMBINED = 65 SPACES

SUNVIEW DR.

CROSSHAVEN DRIVE

BEARDEN CT

N/A

EDG
ENGINEERING DESIGN GROUP, LLC
CIVIL ENGINEERING • LAND SURVEYING
EST. 1982

120 BISHOP CIR, STE 300
PELHAM, AL 35124
TEL - (205) 403-9158
FAX - (205) 403-9175

TIRE ENGINEERS
CROSSHAVEN DRIVE
VESTAVIA HILLS, ALABAMA
VARIANCE REQUEST
EXHIBIT (revision-1)

RD
WHL
EXOC0011
09/10/2021
1" = 30'

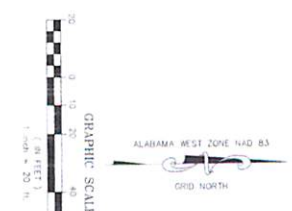
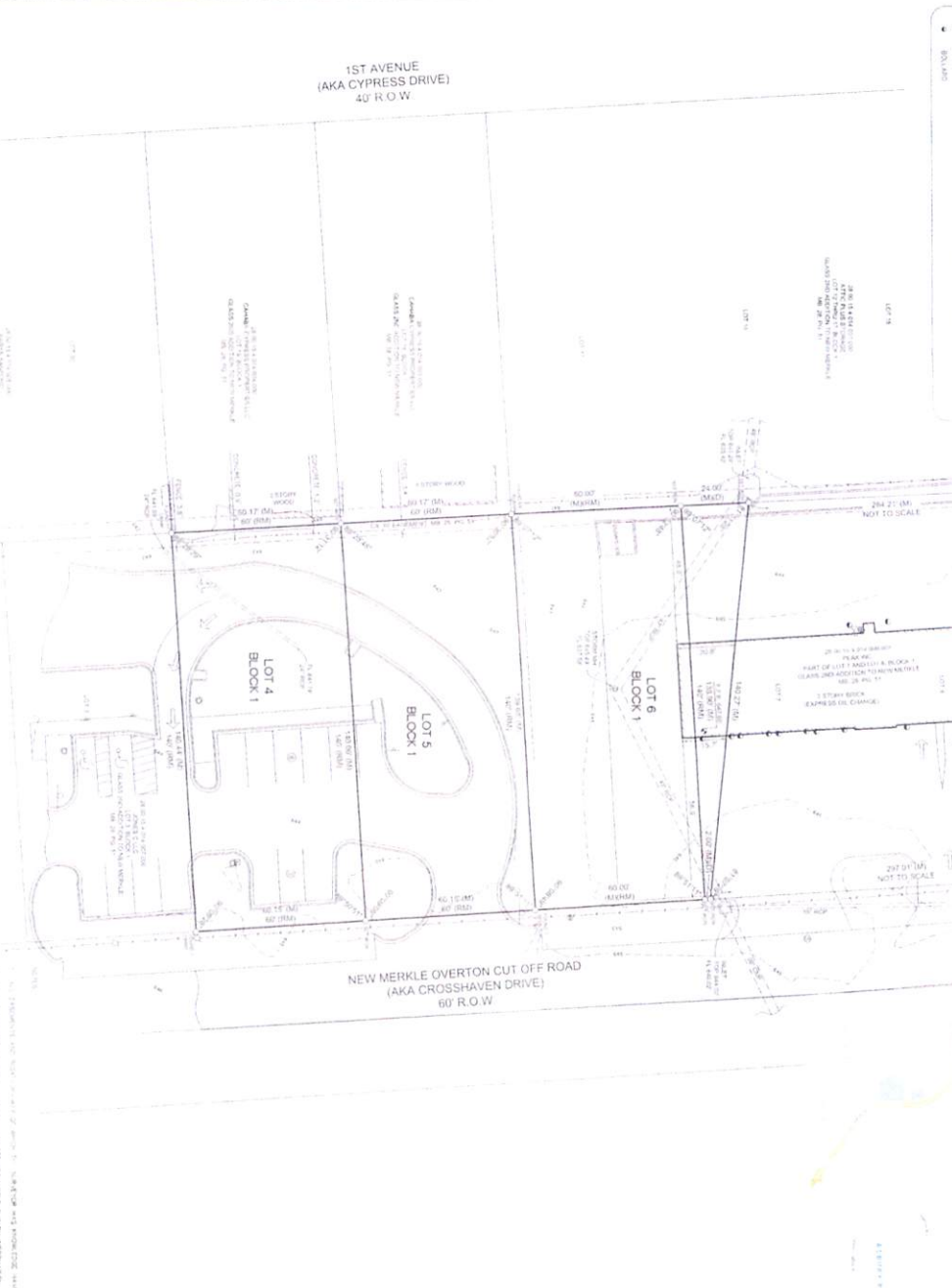
EXBT

ALTA/NSPS LAND TITLE SURVEY OF 3944 AND 3952 CROSSHAVEN DRIVE, VESTAVIA, ALABAMA

SITUATED IN SECTION 15,
TOWNSHIP 8 SOUTH, RANGE 2 WEST,
JEFFERSON COUNTY, ALABAMA

LEGEND

1	20' WIDE	1	TRANSFER EASEMENT
2	30' WIDE	2	FLOORLINE
3	40' WIDE	3	RENDERING
4	50' WIDE	4	CONCRETE
5	60' WIDE	5	ASPHALT
6	70' WIDE	6	GRAVEL
7	80' WIDE	7	GRAVEL
8	90' WIDE	8	GRAVEL
9	100' WIDE	9	GRAVEL
10	110' WIDE	10	GRAVEL
11	120' WIDE	11	GRAVEL
12	130' WIDE	12	GRAVEL
13	140' WIDE	13	GRAVEL
14	150' WIDE	14	GRAVEL
15	160' WIDE	15	GRAVEL
16	170' WIDE	16	GRAVEL
17	180' WIDE	17	GRAVEL
18	190' WIDE	18	GRAVEL
19	200' WIDE	19	GRAVEL
20	210' WIDE	20	GRAVEL
21	220' WIDE	21	GRAVEL
22	230' WIDE	22	GRAVEL
23	240' WIDE	23	GRAVEL
24	250' WIDE	24	GRAVEL
25	260' WIDE	25	GRAVEL
26	270' WIDE	26	GRAVEL
27	280' WIDE	27	GRAVEL
28	290' WIDE	28	GRAVEL
29	300' WIDE	29	GRAVEL
30	310' WIDE	30	GRAVEL
31	320' WIDE	31	GRAVEL
32	330' WIDE	32	GRAVEL
33	340' WIDE	33	GRAVEL
34	350' WIDE	34	GRAVEL
35	360' WIDE	35	GRAVEL
36	370' WIDE	36	GRAVEL
37	380' WIDE	37	GRAVEL
38	390' WIDE	38	GRAVEL
39	400' WIDE	39	GRAVEL
40	410' WIDE	40	GRAVEL
41	420' WIDE	41	GRAVEL
42	430' WIDE	42	GRAVEL
43	440' WIDE	43	GRAVEL
44	450' WIDE	44	GRAVEL
45	460' WIDE	45	GRAVEL
46	470' WIDE	46	GRAVEL
47	480' WIDE	47	GRAVEL
48	490' WIDE	48	GRAVEL
49	500' WIDE	49	GRAVEL
50	510' WIDE	50	GRAVEL
51	520' WIDE	51	GRAVEL
52	530' WIDE	52	GRAVEL
53	540' WIDE	53	GRAVEL
54	550' WIDE	54	GRAVEL
55	560' WIDE	55	GRAVEL
56	570' WIDE	56	GRAVEL
57	580' WIDE	57	GRAVEL
58	590' WIDE	58	GRAVEL
59	600' WIDE	59	GRAVEL
60	610' WIDE	60	GRAVEL
61	620' WIDE	61	GRAVEL
62	630' WIDE	62	GRAVEL
63	640' WIDE	63	GRAVEL
64	650' WIDE	64	GRAVEL
65	660' WIDE	65	GRAVEL
66	670' WIDE	66	GRAVEL
67	680' WIDE	67	GRAVEL
68	690' WIDE	68	GRAVEL
69	700' WIDE	69	GRAVEL
70	710' WIDE	70	GRAVEL
71	720' WIDE	71	GRAVEL
72	730' WIDE	72	GRAVEL
73	740' WIDE	73	GRAVEL
74	750' WIDE	74	GRAVEL
75	760' WIDE	75	GRAVEL
76	770' WIDE	76	GRAVEL
77	780' WIDE	77	GRAVEL
78	790' WIDE	78	GRAVEL
79	800' WIDE	79	GRAVEL
80	810' WIDE	80	GRAVEL
81	820' WIDE	81	GRAVEL
82	830' WIDE	82	GRAVEL
83	840' WIDE	83	GRAVEL
84	850' WIDE	84	GRAVEL
85	860' WIDE	85	GRAVEL
86	870' WIDE	86	GRAVEL
87	880' WIDE	87	GRAVEL
88	890' WIDE	88	GRAVEL
89	900' WIDE	89	GRAVEL
90	910' WIDE	90	GRAVEL
91	920' WIDE	91	GRAVEL
92	930' WIDE	92	GRAVEL
93	940' WIDE	93	GRAVEL
94	950' WIDE	94	GRAVEL
95	960' WIDE	95	GRAVEL
96	970' WIDE	96	GRAVEL
97	980' WIDE	97	GRAVEL
98	990' WIDE	98	GRAVEL
99	1000' WIDE	99	GRAVEL
100	1010' WIDE	100	GRAVEL



THE LARGE EASEMENTS, PAR NUMBER 1200271

Parcel 1, Block 1, bounded by the State of Georgia's Grand Avenue to New Avenue as recorded in Map Book 26, Page 51 in the Public Office of Jefferson County, Alabama.

Parcel 2

Parcel 2, Block 1, bounded by the State of Georgia's Grand Avenue to New Avenue as recorded in Map Book 26, Page 51 in the Public Office of Jefferson County, Alabama.

Parcel 3

Parcel 3, Block 1, bounded by the State of Georgia's Grand Avenue to New Avenue as recorded in Map Book 26, Page 51 in the Public Office of Jefferson County, Alabama.

EXCEPTIONS FILE NO. 4259-21-DATED August 11, 2011 8:00 A.M.

1. Any title, right, claim or interest that is not shown by the Public Record Surveyor has no knowledge of any title, right, claim or interest that is not shown by the Public Record Surveyor.

2. Easements, liens, encumbrances, or claims that are not shown by the Public Record Surveyor have no knowledge of any easements, liens, encumbrances, or claims that are not shown by the Public Record Surveyor.

3. Any encumbrance, easement, or claim that is not shown by the Public Record Surveyor has no knowledge of any encumbrance, easement, or claim that is not shown by the Public Record Surveyor.

4. Any person, partnership, corporation, partnership, or other entity that is not shown by the Public Record Surveyor has no knowledge of any person, partnership, corporation, partnership, or other entity that is not shown by the Public Record Surveyor.

5. Each item of title is shown in accordance with the Public Record Surveyor's knowledge of the Public Record.

6. Easements are shown by reference to the Public Record.

7. Rights of way are shown by reference to the Public Record.

8. Easements are shown by reference to the Public Record.

9. Easements are shown by reference to the Public Record.

10. Easements are shown by reference to the Public Record.

11. Easements are shown by reference to the Public Record.

12. Easements are shown by reference to the Public Record.

13. Easements are shown by reference to the Public Record.

14. Easements are shown by reference to the Public Record.

15. Easements are shown by reference to the Public Record.

16. Easements are shown by reference to the Public Record.

17. Easements are shown by reference to the Public Record.

18. Easements are shown by reference to the Public Record.

19. Easements are shown by reference to the Public Record.

20. Easements are shown by reference to the Public Record.

21. Easements are shown by reference to the Public Record.

22. Easements are shown by reference to the Public Record.

23. Easements are shown by reference to the Public Record.

24. Easements are shown by reference to the Public Record.

25. Easements are shown by reference to the Public Record.

26. Easements are shown by reference to the Public Record.

27. Easements are shown by reference to the Public Record.

28. Easements are shown by reference to the Public Record.

29. Easements are shown by reference to the Public Record.

30. Easements are shown by reference to the Public Record.

31. Easements are shown by reference to the Public Record.

32. Easements are shown by reference to the Public Record.

33. Easements are shown by reference to the Public Record.

34. Easements are shown by reference to the Public Record.

35. Easements are shown by reference to the Public Record.

36. Easements are shown by reference to the Public Record.

37. Easements are shown by reference to the Public Record.

38. Easements are shown by reference to the Public Record.

39. Easements are shown by reference to the Public Record.

40. Easements are shown by reference to the Public Record.

41. Easements are shown by reference to the Public Record.

42. Easements are shown by reference to the Public Record.

43. Easements are shown by reference to the Public Record.

44. Easements are shown by reference to the Public Record.

45. Easements are shown by reference to the Public Record.

46. Easements are shown by reference to the Public Record.

47. Easements are shown by reference to the Public Record.

48. Easements are shown by reference to the Public Record.

49. Easements are shown by reference to the Public Record.

50. Easements are shown by reference to the Public Record.

51. Easements are shown by reference to the Public Record.

52. Easements are shown by reference to the Public Record.

53. Easements are shown by reference to the Public Record.

54. Easements are shown by reference to the Public Record.

55. Easements are shown by reference to the Public Record.

56. Easements are shown by reference to the Public Record.

57. Easements are shown by reference to the Public Record.

58. Easements are shown by reference to the Public Record.

59. Easements are shown by reference to the Public Record.

60. Easements are shown by reference to the Public Record.

61. Easements are shown by reference to the Public Record.

62. Easements are shown by reference to the Public Record.

63. Easements are shown by reference to the Public Record.

64. Easements are shown by reference to the Public Record.

65. Easements are shown by reference to the Public Record.

66. Easements are shown by reference to the Public Record.

67. Easements are shown by reference to the Public Record.

68. Easements are shown by reference to the Public Record.

69. Easements are shown by reference to the Public Record.

70. Easements are shown by reference to the Public Record.

71. Easements are shown by reference to the Public Record.

72. Easements are shown by reference to the Public Record.

73. Easements are shown by reference to the Public Record.

74. Easements are shown by reference to the Public Record.

75. Easements are shown by reference to the Public Record.

76. Easements are shown by reference to the Public Record.

77. Easements are shown by reference to the Public Record.

78. Easements are shown by reference to the Public Record.

79. Easements are shown by reference to the Public Record.

80. Easements are shown by reference to the Public Record.

81. Easements are shown by reference to the Public Record.

82. Easements are shown by reference to the Public Record.

83. Easements are shown by reference to the Public Record.

84. Easements are shown by reference to the Public Record.

85. Easements are shown by reference to the Public Record.

86. Easements are shown by reference to the Public Record.

87. Easements are shown by reference to the Public Record.

88. Easements are shown by reference to the Public Record.

89. Easements are shown by reference to the Public Record.

90. Easements are shown by reference to the Public Record.

91. Easements are shown by reference to the Public Record.

92. Easements are shown by reference to the Public Record.

93. Easements are shown by reference to the Public Record.

94. Easements are shown by reference to the Public Record.

95. Easements are shown by reference to the Public Record.

96. Easements are shown by reference to the Public Record.

97. Easements are shown by reference to the Public Record.

98. Easements are shown by reference to the Public Record.

99. Easements are shown by reference to the Public Record.

100. Easements are shown by reference to the Public Record.

Surveyor
JAMES C. LEE, L.L.C.
120 BISHOP CIRCLE, SUITE 300
PELHAM, AL 35124
TEL: (205) 403-9158
FAX: (205) 403-9175

Client
3944 AND 3952 CROSSHAVEN DRIVE, VESTAVIA, ALABAMA

Date
August 17, 2011

Scale
1" = 20'

Project
3944 AND 3952 CROSSHAVEN DRIVE, VESTAVIA, ALABAMA

Title
ALTA/NSPS LAND TITLE SURVEY

Drawn by
MBA

Checked by
RVC

Project No.
EXDC0011

Date
August 17, 2011

Scale
1" = 20'

Revisions

1	2011-08-17	Initial Survey
2	2011-08-17	Final Survey

Date
August 17, 2011



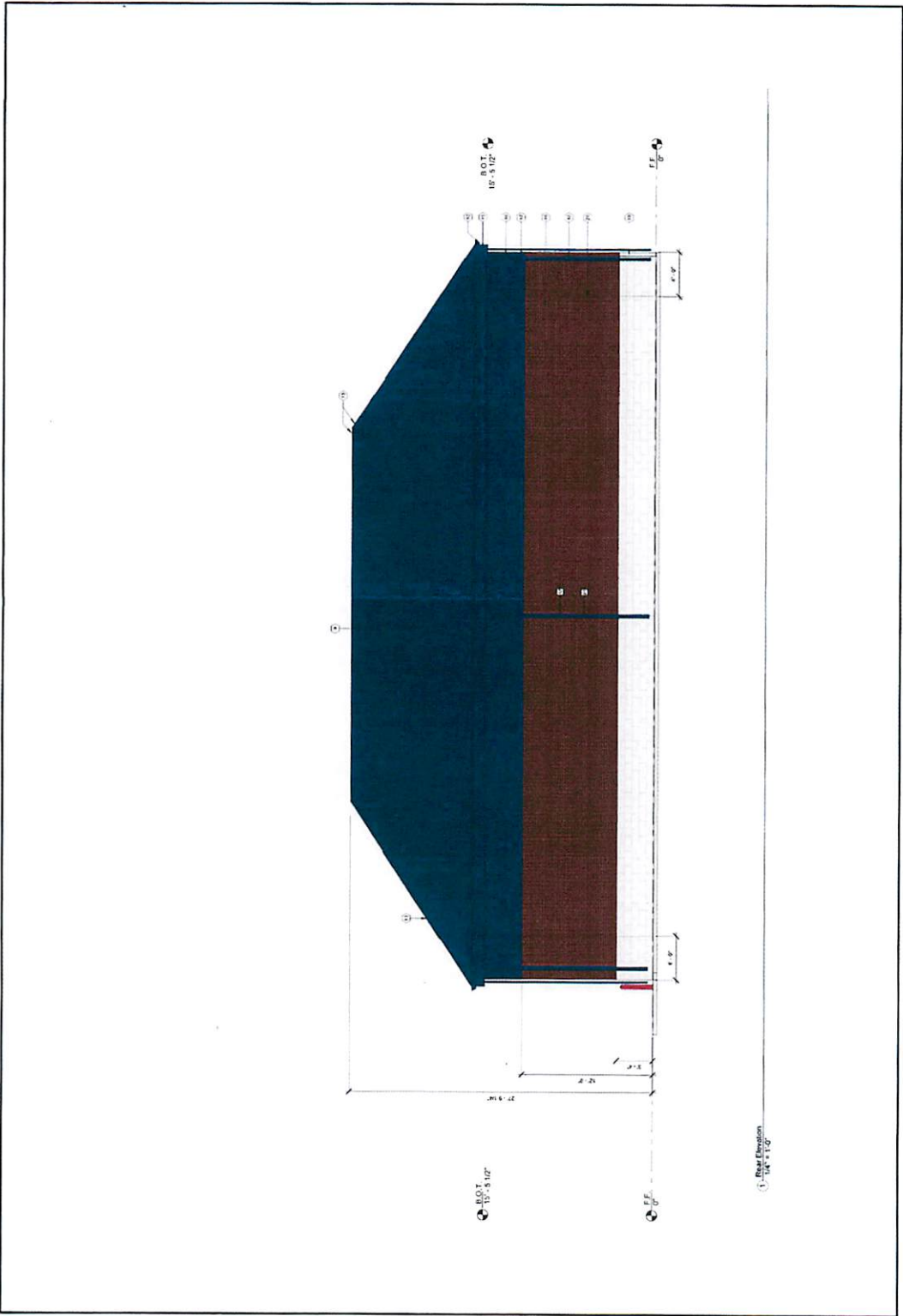
Express Oil Change & Tire Engineers
 Service Building
 1222 Briarwood Road SW
 Decatur, Alabama 35601

No.	Description	Date

© 2018 WHD Architects, LLC
 All Rights Reserved

Exterior Elevation -
 Rear

Project No: 17203
 Date: 11/02/18
 Drawn by: JMC
 Checked by: TAA
SV-A201
 Scale: 1/4" = 1'-0"





Express Oil Change & Tire Engineers
 Service Building
 1222 Bailey Road SW
 Decatur, Alabama 35601

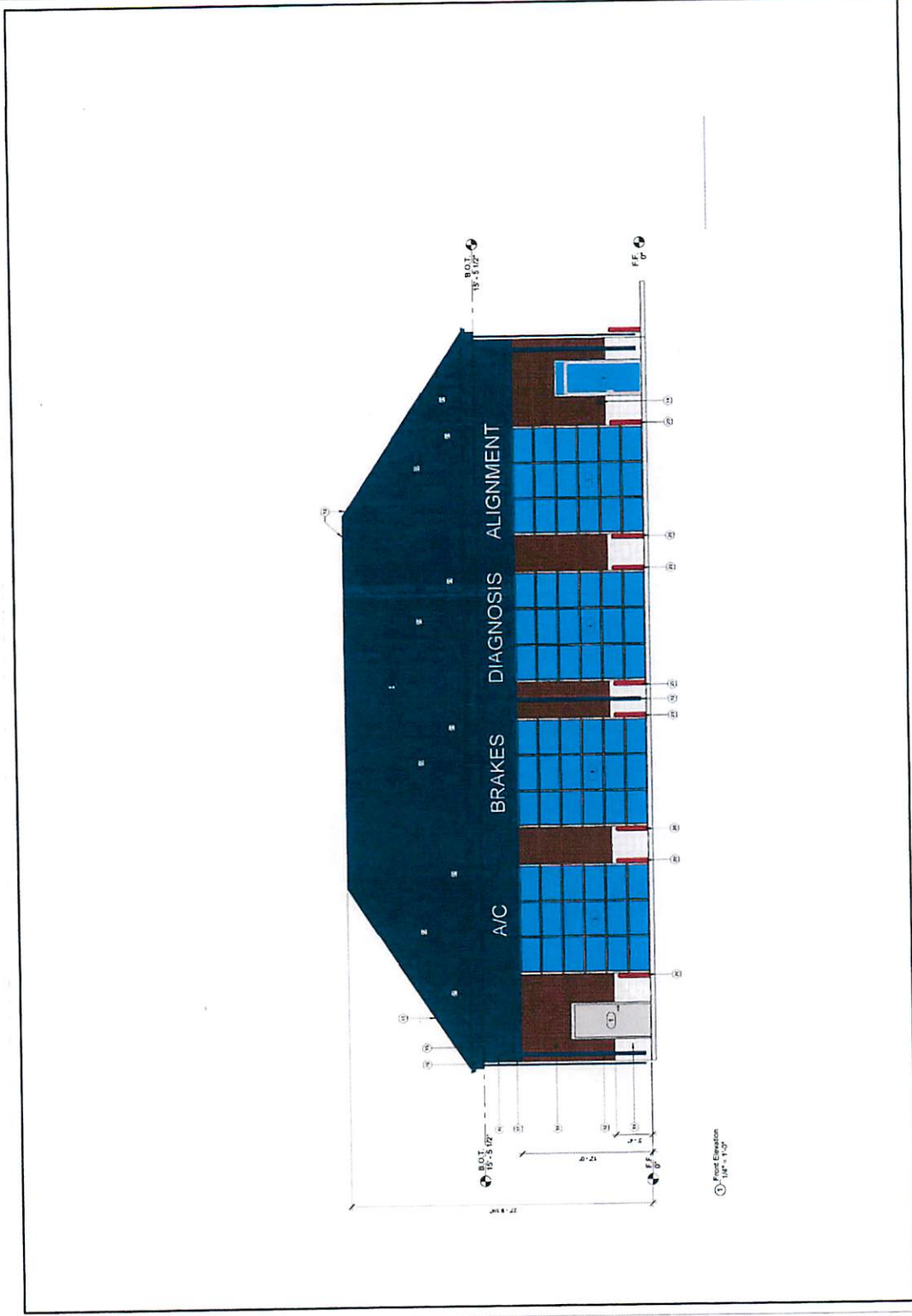
NO.	DESCRIPTION	DATE

© 2015 A&D ARCHITECTS, LLC.
 All Rights Reserved

Exterior Elevation -
 Front

Project Number: 17030
 Date: 11/16/2015
 Drawn by: JASC
 Checked by: JDA

SV-A200
 Date: 11/17/15



① Front Elevation
 1/4" = 1'-0"

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE BOARD OF ZONING ADJUSTMENT

Date: September 16, 2021

- **CASE: BZA-0921-30**
- **REQUESTED ACTION:** 10' Side Setback Variance to reduce the setback to 5' in lieu of the required 15'.
- **ADDRESS/LOCATION:** 2212 Garland Drive
- **APPLICANT/OWNER:** Amory Booher
- **REPRESENTING AGENT:** NA
- **GENERAL DISCUSSION:** The applicant is seeking a side setback variance to build a yurt in the rear corner of the lot. The applicant contends the topography of the lot causes a hardship. The grade is steep on most of the lot, making this the only buildable area. The applicant's property is zoned Vestavia Hills R-2.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** No problems noted.
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted.
 4. **Building Safety Review:** No problems noted.

CITY OF VESTAVIA HILLS BOARD OF ZONING ADJUSTMENT APPLICATION

The owner of the property understands that the Board of Zoning Adjustment only has jurisdiction to grant variances from the Vestavia Hills Zoning Code in cases of undue hardship only. Variances cannot be considered or granted on any kind of private covenants as covenants are restrictions between property owners.

EXAMPLE: If you are asking for a variance from a building setback line and the building setback line is recorded on the plat and matches the Zoning Code, then the Board of Zoning Adjustment would only hear the case based on the Zoning Code requirements, not what is on the recorded plat. The recorded plat is a covenant between property owners of the subdivision. You must have signatures of every property owner on the recorded plat map to change the covenant portion of the setback. The letter of signatures approving the amendment of the covenants must be filed with the Office of the Probate Court. Again, the BZA can only grant a variance based on the Zoning Code and that is the only portion of the building setback changes that the BZA can vote upon. Once a waiver is filed with the Office of the Probate, please include a copy of the recorded amendment with the application to the Office of the City Clerk.

Please note: Only completed applications will be accepted by this office. The applicant is responsible for the Application Fee as well as all postage fees incurred by this request.

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: Amory Booher

Address: 2212 Garland Dr.

Phone #: 352-688-2325 Other #: _____

E-Mail: Amory.Booher@gmail.com

Billing/Responsible Party

Name: See Above

Address: _____

Phone #: _____ Other #: _____

E-Mail: _____

Z-0921-30//28-00-30-4-009-028.000
2212 Garland Drive
Side setback to locate a Yurt
Amory Booher

Representing Attorney/Other Agent

Name: NA

Address: _____

Phone #: _____ Other #: _____

E-Mail: _____

**This section must be completed in order for a representative to represent the owner.*

II. DESCRIPTION OF SUBJECT PROPERTY:

LOCATION: 2212 Garland Dr, 35214
Street Address

Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST (PLEASE FILL IN APPLICABLE STATEMENTS):

1. A request to vary:
_____ ' variance to reduce the lot width to _____ ' in lieu of the required _____ ' .
_____ square foot variance to reduce the lot area to _____ square feet in lieu of the required _____ square feet.
10 ' front side rear (circle one) setback variance to reduce the setback to 5 ' in lieu of the required 15 ' .
_____ ' front/side/rear (circle one) setback variance to reduce the setback to _____ ' in lieu of the required _____ ' .
_____ ' front/side/rear (circle one) setback variance to reduce the setback to _____ ' in lieu of the required _____ ' .
2. A decision of the Zoning Official which the applicant believes to be contrary to the meaning of the Zoning Ordinance.
3. An application to establish a use which must be approved by the Board of Zoning Adjustment (See Section _____).
4. A request for extension of non-conforming use (See Section _____).
5. Variance for location of a fence.
6. Sign Code Variance (See Section _____).
7. Other - Explain (See Section _____).

Z-0921-30//28-00-30-4-009-028.000
2212 Garland Drive
Side setback to locate a Yurt
Amory Booher

IV. ZONING

Vestavia Hills Zoning for the subject property is R-2.

V. HARDSHIP

Describe those things which you feel justify the action requested. An Undue Hardship is required in order to seek a variance. List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. (Use additional space on separate page if necessary).

Topo issues

VI. PROJECT:

Describe the scope of the project and/or the reason for requesting this variance.

Building A low deck + A temporary Geodesic dome that can be removed.

VII. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. I, also, understand that I am asking for a variance based on the Zoning Code only and not on any or all covenants that are on the subject property. ***Note, this application must be signed by the owner of the property before a notary. The original application shall be submitted, no copies shall be accepted***



Owner/Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this 12 day of August, 2021.

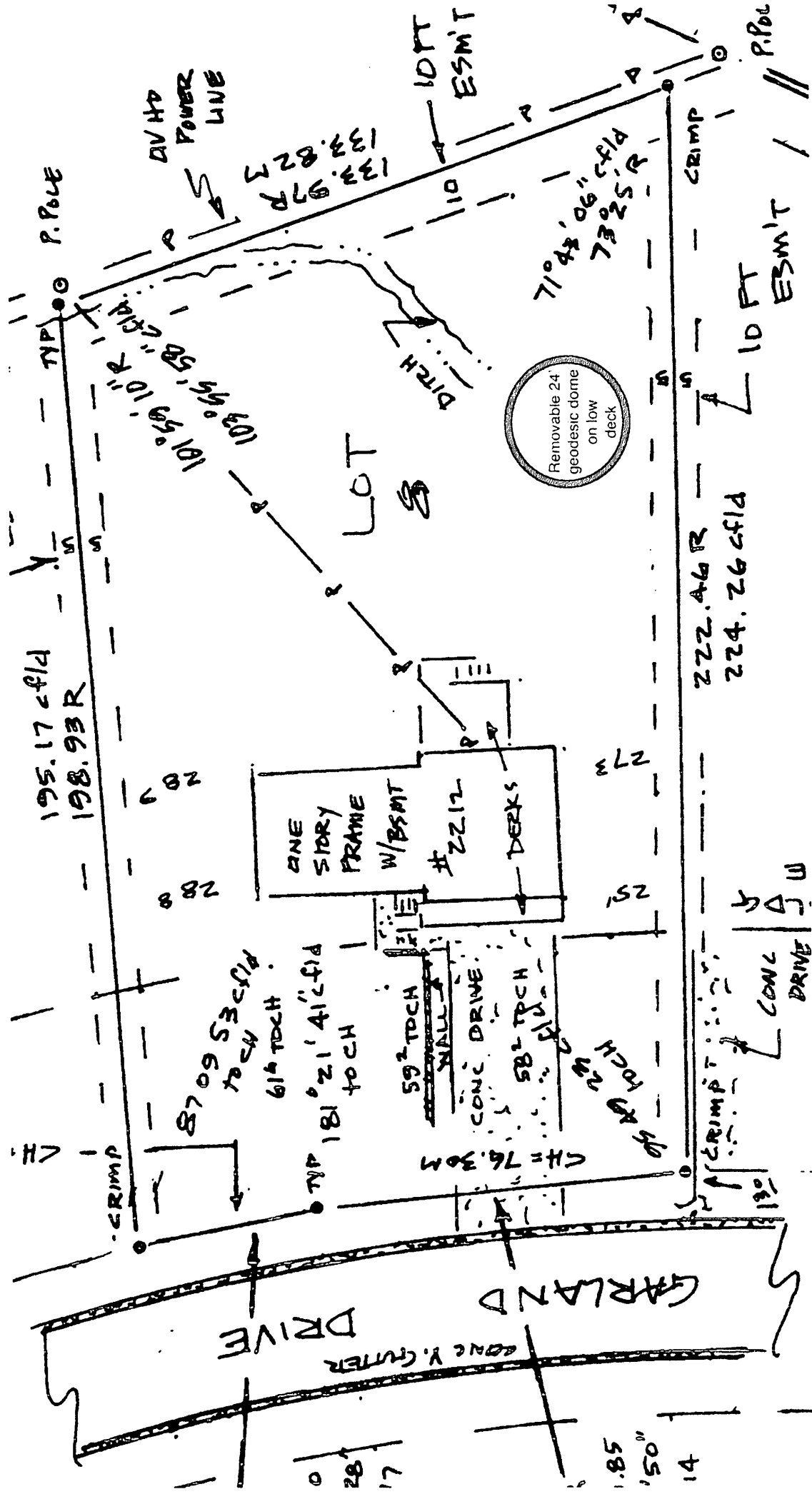


Notary/Public

My commission expires 30th
day of October, 2023.

My Commission Expires
October 30, 2023

Z-0921-30//28-00-30-4-009-028.000
2212 Garland Drive
Side setback to locate a Yurt
Amory Booher

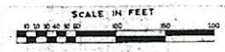


**FOURTH ADDITION
TO
VESTHAVEN FIFTH SECTOR
IN SE 1/4 OF SE 1/4 SEC 36 TOWNSHIP 18 SOUTH RANGE 2 WEST
JEFFERSON COUNTY ALABAMA**

SCALE: 1" = 60'

BYWARD WINNERS ENGINEERS

OCTOBER 1960



BEFORE ME, the undersigned authority, on this 26th day of October, 1960, personally appeared the undersigned, Edward A. Winners, registered land surveyor, and Lewis E. Cloud, owner, and the B. Toombs Contracting Company, Inc., its duly authorized officer, J. M. Toombs, Jr., president, who being sworn to the contents of this plat, as being a true and correct plat of said subdivision, showing the same and dimensions, and survey of the 1/4 of the 1/4 of section 36, Township 18 South, Range 2 West in Jefferson County, Alabama, and that I, the undersigned, did at each corner of all lots.

IN WITNESS WHEREOF we hereunto set our hands this 26th day of October, 1960.

Edward A. Winners
Land Surveyor - State No. 2564

Emmett W. Cloud
Owner

J. M. Toombs, Jr.
President
J. Toombs
Agent

Margaret Suggs
Notary Public

Margaret Suggs, a Notary Public in and for said County and State, hereby certifies that aplat as shown on this plat, and that the same was signed by the foregoing contracting company, Lewis E. Cloud and J. M. Toombs, Jr., president, who being sworn to the contents of this plat, as being a true and correct plat of said subdivision, and was signed before me on this day, the 26th day of October, 1960, and that I, the undersigned, did at each corner of all lots.

Margaret Suggs
Notary Public

James W. Sloan
Surveyor

Henry B. Pullman
Surveyor

J. H. Clayton
Surveyor

Harold G. Brown
County Engineer

RECORDED
OCT 27 1960
11:45 AM

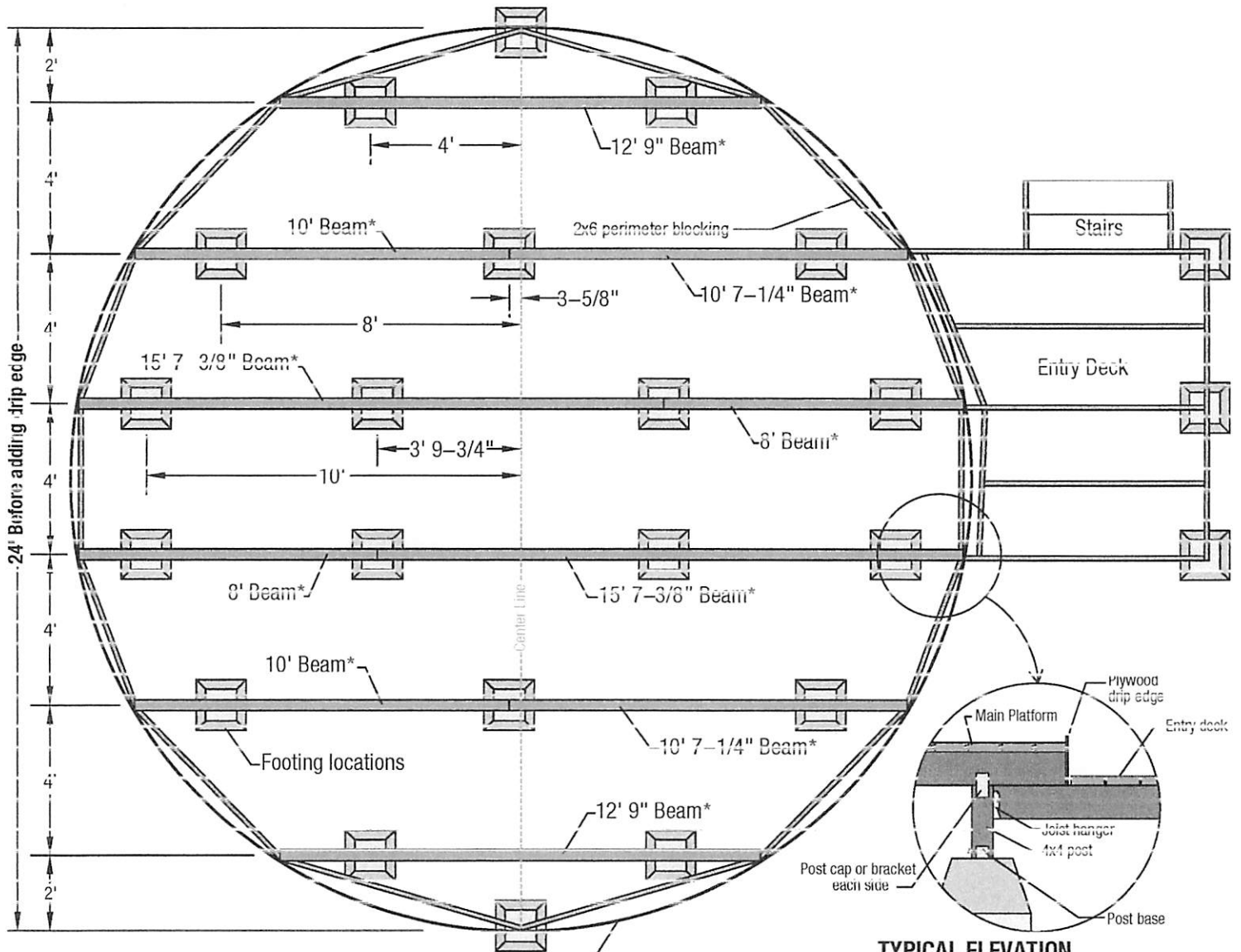




PACIFIC DOMES™
541-488-7737

24' Dome with white base screen

Typical 24' Platform Framing Plan



3/8" exterior plywood drip edge attached to edge of platform. Top of drip edge to be 1" above floor level.

TYPICAL ELEVATION
Entry deck should be below the floor level of the yurt platform so as not to interfere with drip edge.

*4"x6" or 4"x8" beams may be appropriate, depending on use and conditions.

Notes:

- 1.) Platform construction and footings should reflect conditions of each individual site and local building requirements.
- 2.) 2x6 T&G or 1-1/8" plywood flooring to be laid perpendicular to beams and trimmed to the same diameter as that of the yurt.
- 3.) 24' diameter measurement does not include the drip edge.
- 4.) Site and soil conditions and local building requirements will dictate footing size and depth below grade.

Structural Requirements of Geodesic Domes

Glamping Dome Store

Two types of snow loading were considered: Balanced and unbalanced snow. The snow load parameters were summarized in Table 4.

Parameter	Value	Description
Risk Category	II	Risk Category of structures
I_s	1	Snow importance factor
Roughness	C	Surface Roughness
Roof Exposure	Fully	Exposure of Roof
C_e	0.9	Exposure Factor
C_t	1	Thermal factor

For the elevated timber decks, the drift snow loads and slip snow effects were considered for deck design. Unbalanced snow load was combined with the wind load in accordance with design load combinations. Figure 3 shows the applied wind and snow forces in software models. Also, for a load combination the internal forces of frames are shown in figure 4.

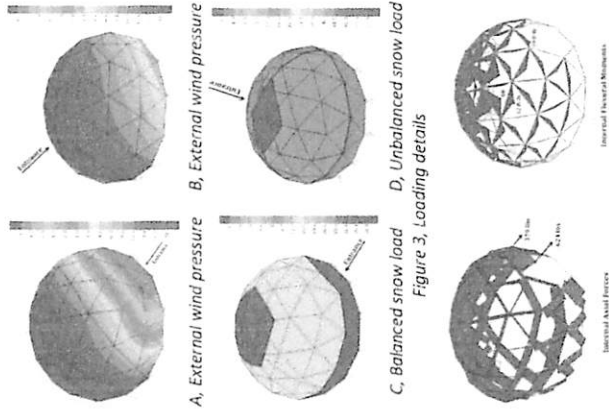


Figure 4, Internal forces under a load combination

6. Domes Capacity

The maximum wind speed and ground snow load which domes can carry safely are shown in Tables 5 and 6.

Object / Type	5m	6m	7m
Frames	Pipe 26x1.5 mm		
Wind Speed	246 km/h	190 km/h	170 km/h
Ground Snow	4.31 kPa	2.15 kPa	1.44 kPa
Coincident	246 km/h	190 km/h	170 km/h
W & S	3.83 kPa	1.72 kPa	1.15 kPa

Object / Type	5m	6m	7m
Frames	Pipe 26x1.5 mm		
Wind Speed	153 mph	118 mph	106 mph
Ground Snow	90 psf	45 psf	30 psf
Coincident	153 mph	118 mph	106 mph
W & S	80 psf	36 psf	24 psf

For the domes will be located on the elevations above Sea Level, the modification factors shall be multiplied to the wind speeds accordance Table 7.

Sea Level	Increase Factor of Max. Wind Speed
≤ 0	1
305 m (1000 ft)	1.0206
914 m (3000 ft)	1.0541
1829 m (6000 ft)	1.1180

The connection between frames is conducted using screw bolts as shown in figure 5 and Table 8.

Dome Type	Required Bolt Size	Material
5m	M10	8.8 (A325)
6m		
7m		



Figure 5, frames connections

Structural Requirements of Geodesic Domes

Glamping Dome Store

7. Ground Supports

There are four different cases for the floor of the domes.

- Placing the dome on a concrete deck
- Placing the dome on the ground directly
- Placing the dome on the elevated timber deck
- Placing the dome on an existing deck or structure

For the last type, specific calculations should be made to investigate the requirements.

7.1 Placing on a Concrete Deck

The concrete deck requirements are shown in Table 9. The schematic concrete deck is shown in Figure 6.

Dome Type	Dimensions (WxLxH)
5m	7m x 7m x 0.15 m (23' x 23' x 6")
6m	8m x 8m x 0.15 m (26' x 26' x 6")
7m	9m x 9m x 0.15 m (29' x 29' x 6")

The concrete material is 2500psi and the required reinforcements are two layers of mesh $\phi 8 @ 300m$ ($\# 3 @ 12"$) for all dome types.

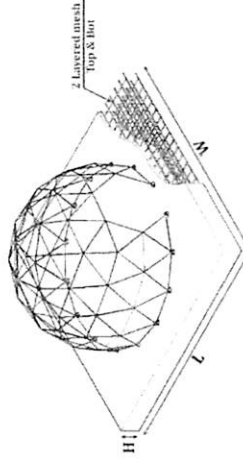


Figure 6, Required Concrete Deck

If the small cracks on deck's surface is concerned, the spacing between rebars should be decreased in top layer of mesh ($\phi 8 @ 100m$ or $\# 3 @ 4"$).

7.1.1 Base Plates

Base plates are used to connect the dome to the concrete deck. The details are shown in Figure 7. Four anchors are required for each base plate.

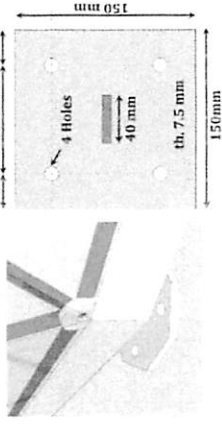


Figure 7, Base Plates for Concrete decks

7.1.2 Anchor Bolts

The details of anchor bolts are shown in Table 10.

Type	Post-Installed Fastener
5m	Simpson Epoxy-Tie
6m	Grade 5.8, Rod 10mm
7m	

7.2 Placing on Ground Directly

If no pavement is required accordance the order specification, the dome can be placed on the ground directly and the base plates and anchors should be performed below each joint.

7.2.1 Base Plates

Base plates are used to connect the dome to the ground. The details are shown in Figure 8. Four anchors are required for each base plate.

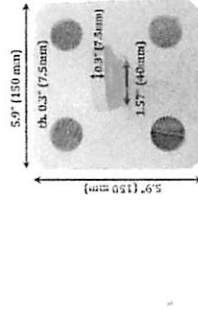


Figure 8, Base Plates for On-Ground Domes

7.2.2 Anchorage

Anchorage are performed using Duckbill anchors. To know more about Duckbill anchors view Link,

Specifications: 24 ft / 7m

Size & Weight

Floor Area: 426 sq.ft. (40 sq. meters)

Ceiling Center Height: 14.25 ft. (4.3 meters)

Approx. Dome Weight: 1,125 lbs. (510 kg.)

Frame Package: 66" x 28" x 20" (1.7 x .7 x .5 meters)

Cover Package: 40" x 40" x 35" (1 x 1 x .9 meters)

Bay Window: 8ft. 6in. h x 20ft. w (2.6x6 meters)

Engineering

No. of Struts: 165

Frequency: 3

Max Wind w/ No Snow: 150mph

Max Snow w/ Wind Load: 20lbs @130mph

Assembly

Assembly Time: 4 to 12 hours with crew of 3 or 4

Required Equipment: 8' A-Frame Ladder, 12' Material Lift

Gallery

24ft Dome Home Gallery → [Click here](#)

Dome Home Package Includes

Frame: Standard .92" galvanized steel frame with hardware

Cover: Shelter cover with bay window

Doors: Weather-tight door or pre-hung door opening

Windows: 6 round removable windows (2ft. / .6 meter diameter)

Ventilation: 2 ventilation roll-up with zipper

Anchoring: Hardware for any type of surface

Instructions: Dome care & assembly manual

Energetic Qualities → [Click here](#)

24ft Dome Home Brochure → [Click here](#)

Buy Online → [Click here](#)

Custom Options

- Removable Roof: Zip-off
- Round Windows: 2ft. (.6 meter) diameter
- Extra Doors
- Round doors & placement choices
- Prehung doors & placement choices
- Heating & cooling
- Connecting 2 or more domes

BZA

Z-0921-30//28-00-30-4-009-028.000

CITY OF VESTAVIA HILL 2212 Garland Drive
Department Review of Application Side setback to locate a Yurt
(To be completed by City Staff) Amory Booher

The following application and case file has been reviewed and the following comments submitted as follows:

Location: 2212 Garland Drive Case No.: BZA0921-30
Booher

Engineering: Date: 8/17/21 Initials: CB
Comments: drainage pipe may require assessment.
 Recommended Not Recommended No Recommendation

Planning/DRB: Date: _____ Initials: _____
Comments: _____
 Recommended Not Recommended No Recommendation

GIS/Mapping: Date: _____ Initials: _____
Comments: _____
 Recommended Not Recommended No Recommendation

Fire Department: Date: 8/17/21 Initials: ZF
Comments: _____
 Recommended Not Recommended No Recommendation

Building Department: Date: 8/17/21 Initials: KB
Comments: _____
 Recommended Not Recommended No Recommendation

City Clerk: Date: _____ Initials: _____
Comments: _____
 Recommended Not Recommended No Recommendation

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE BOARD OF ZONING ADJUSTMENT

Date: September 16, 2021

- **CASE: BZA-0921-31**
- **REQUESTED ACTION:** Wall Sign Square Footage Variance & Variance for Location of a Wall Sign on Side of Building.
- **ADDRESS/LOCATION:** 3900 Crosshaven Drive
- **APPLICANT/OWNER:** RDM3, LLC
- **REPRESENTING AGENT:** Meighan Ellis
- **GENERAL DISCUSSION:** The applicant is requesting two wall signage variances. There are three signs proposed to be erected on this building. Signs A and C are already allowed. Sign B must have its location approved and its square footage approved. With Wall Sign A, the maximum square footage is not exceeded. Adding Wall Sign B will exceed the maximum required for the aggregate of the signs. The applicant contends the building adjacent to the subject property hinders the visibility of the site. The applicant's property is zoned Vestavia Hills B-2.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** No problems noted.
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted.
 4. **Building Safety Review:** No problems noted.

CITY OF VESTAVIA HILLS BOARD OF ZONING ADJUSTMENT APPLICATION

The owner of the property understands that the Board of Zoning Adjustment only has jurisdiction to grant variances from the Vestavia Hills Zoning Code in cases of undue hardship only. Variances cannot be considered or granted on any kind of private covenants as covenants are restrictions between property owners.

EXAMPLE: If you are asking for a variance from a building setback line and the building setback line is recorded on the plat and matches the Zoning Code, then the Board of Zoning Adjustment would only hear the case based on the Zoning Code requirements, not what is on the recorded plat. The recorded plat is a covenant between property owners of the subdivision. You must have signatures of every property owner on the recorded plat map to change the covenant portion of the setback. The letter of signatures approving the amendment of the covenants must be filed with the Office of the Probate Court. Again, the BZA can only grant a variance based on the Zoning Code and that is the only portion of the building setback changes that the BZA can vote upon. Once a waiver is filed with the Office of the Probate, please include a copy of the recorded amendment with the application to the Office of the City Clerk.

Please note: Only completed applications will be accepted by this office. The applicant is responsible for the Application Fee as well as all postage fees incurred by this request.

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: RDM3, LLC
Address: 1420 N. Lamar Blvd.
Oxford, MS 38655
Phone #: 662/801-0168 Other #: _____
E-Mail: mdc@capstone.dev

Billing/Responsible Party

Name: Meighan Ellis - Office Manager - Advance Sign & Lighting
Address: 3170 Decatur Hwy Gardendale
Phone #: (205) 631-5207 Other #: _____
E-Mail: ME@advsignuc.com

Z-0921-31//28-00-15-4-009-030.000
3900 Crosshaven Drive
Sign Code Variance that varies from
11.5.3
Sherwin-Williams

Representing Attorney/Other Agent

Name: Meighan Ellis - Office Manager - Advance Sign & Lightning
Address: 3170 Decatur Hwy
Gardendale AL 35071
Phone #: (205) 631-5207 Other #: _____
E-Mail: ME@advsignllc.com

**This section must be completed in order for a representative to represent the owner.*

II. DESCRIPTION OF SUBJECT PROPERTY:

LOCATION: Sherwin Williams - 3900 Crosshaven Drive
Street Address

Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST (PLEASE FILL IN APPLICABLE STATEMENTS):

1. A request to vary:
_____ ' variance to reduce the lot width to _____ ' in lieu of the required _____ ' .
_____ square foot variance to reduce the lot area to _____ square feet in lieu of the required _____ square feet.
_____ ' front/side/rear (circle one) setback variance to reduce the setback to _____ ' in lieu of the required _____ ' .
_____ ' front/side/rear (circle one) setback variance to reduce the setback to _____ ' in lieu of the required _____ ' .
_____ ' front/side/rear (circle one) setback variance to reduce the setback to _____ ' in lieu of the required _____ ' .
2. A decision of the Zoning Official which the applicant believes to be contrary to the meaning of the Zoning Ordinance.
3. An application to establish a use which must be approved by the Board of Zoning Adjustment (See Section _____).
4. A request for extension of non-conforming use (See Section _____).
5. Variance for location of a fence.
6. Sign Code Variance (See Section 11.5.3). **+ VARIANCE FOR LOCATION OF SIGN ON SIDE OF BUILDING**
7. Other - Explain (See Section _____).

AREA REQUIRED: 84 sq. ft

AREA REQUESTED: 90.92 sq. ft.

Z-0921-31//28-00-15-4-009-030.000
3900 Crosshaven Drive
Sign Code Variance that varies from
11.5.3
Sherwin-Williams

IV. ZONING

Vestavia Hills Zoning for the subject property is _____

V. HARDSHIP

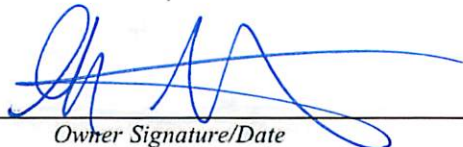
Describe those things which you feel justify the action requested. An Undue Hardship is required in order to seek a variance. List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. (Use additional space on separate page if necessary). front & side elevations both are difficult to see from road. side elevation faces parking lot of Sherwin Williams. Side elevation sign would provide more visibility & therefore more business & revenue for Sherwin Williams.

VI. PROJECT:

Describe the scope of the project and/or the reason for requesting this variance. Front elevation of building & freestanding monument signs have already been approved. We are proposing a side elevation sign that would match the front elevation sign.

VII. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. I, also, understand that I am asking for a variance based on the Zoning Code only and not on any or all covenants that are on the subject property. ***Note, this application must be signed by the owner of the property before a notary. The original application shall be submitted, no copies shall be accepted***



Owner Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this 5th day of August, 2021.

Kathryn Blalock

Notary Public
My commission expires 31st
day of October, 2021.



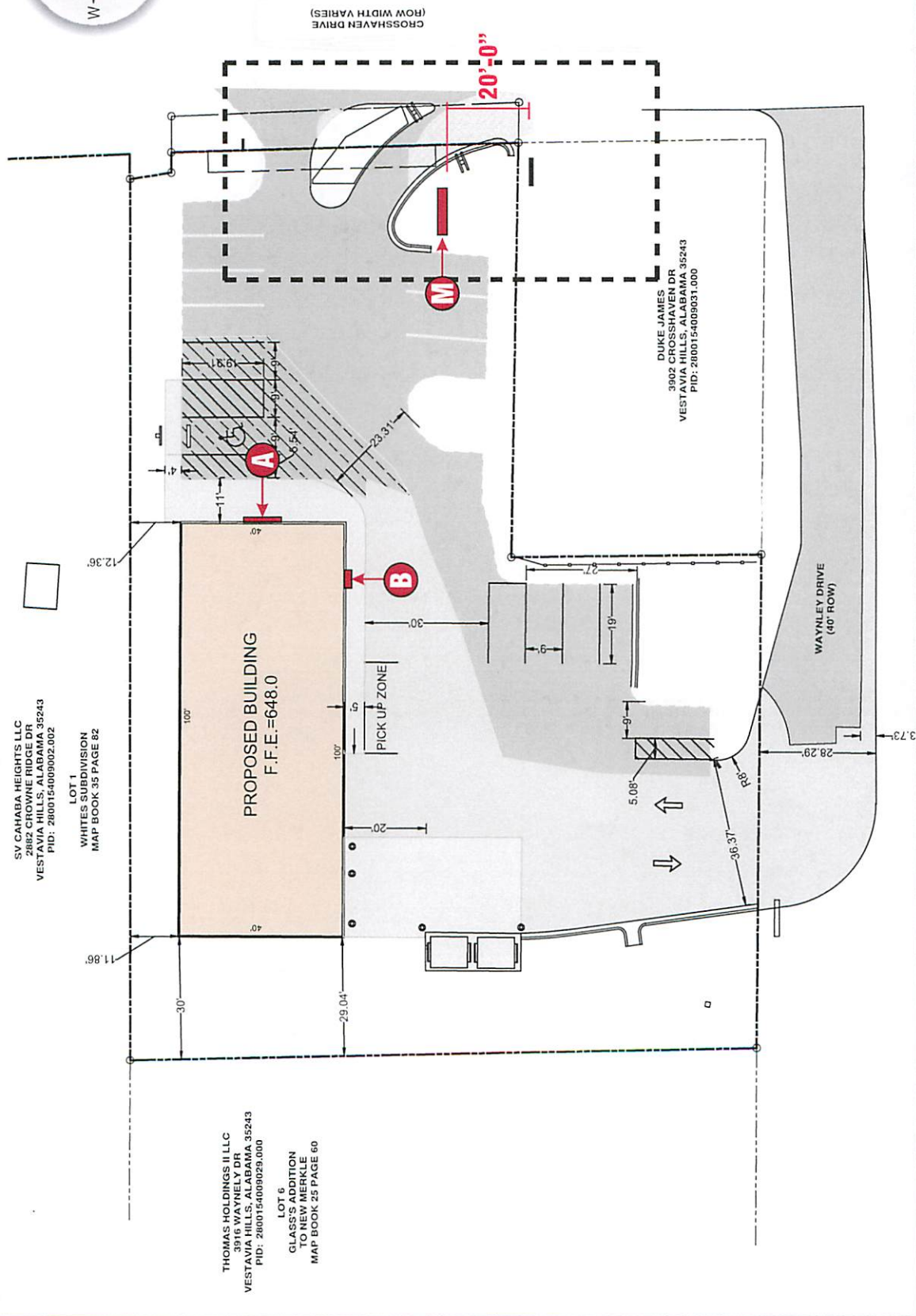
Table 11.5.3 Attached Sign Area				
For attached signage placed less than 250 feet from the nearest thoroughfare				
GFA of building or tenant space	2,000 sq. ft. or less	2,001-5,000 sq. ft.	5,001-10,000 sq. ft.	10,001 sq. ft. or greater
1. max. copy area per sign	32 sq. ft.	50 sq. ft.	70 sq. ft.	100 sq. ft.
2. max. aggregate copy area (per no. of permitted sign locations)	28 sq. ft.	40 sq. ft.	55 sq. ft.	70 sq. ft.
For wall signs placed 250 feet or more from the nearest thoroughfare				
3. adjusted max. copy area	48 sq. ft.	60 sq. ft.	80 sq. ft.	120 sq. ft.
4. adjusted max. aggregate copy area (per no. of permitted sign locations)	42 sq. ft.	48 sq. ft.	60 sq. ft.	84 sq. ft.

4. Projecting Signs. Where permitted, projecting signs may be either illuminated or non-illuminated, provided no other signs for such establishment are located on the same building wall. Additionally:
- a. Such sign(s) shall not project outward more than thirty-six (36) inches from the face of the building and shall have a minimum clearance of ten (10) feet above the ground level or sidewalk to the lowest point on the sign.

Z-0921-31//28-00-15-4-009-030.000
 3900 Crosshaven Drive
 Sign Code Variance that varies from
 11.5.3
 Sherwin-Williams



SITE PLAN



SV CAMABA HEIGHTS LLC
 2845 CROVANE RIDGE DR
 VESTAVIA HILLS, ALABAMA 35243
 PID: 2800154009002.002

LOT 1
 WHITES SUBDIVISION
 MAP BOOK 35 PAGE 82

THOMAS HOLDINGS II LLC
 3916 WAYNLEY DR
 VESTAVIA HILLS, ALABAMA 35243
 PID: 28001540090029.000

LOT 6
 GLASS'S ADDITION
 TO NEW MERKLE
 MAP BOOK 25 PAGE 60

DUKE JAMES
 3902 CROSSHAVEN DR
 VESTAVIA HILLS, ALABAMA 35243
 PID: 2800154009031.000

THIS DRAWING IS FOR CONCEPTUAL PURPOSES ONLY. DUE TO CONSTRUCTION CONSTRAINTS, SIZES AND OR LAYOUTS MAY CHANGE SLIGHTLY.

<p>ID ASSOCIATES BRINGING THE WORLD'S BRANDS TO LIFE 1771 INDUSTRIAL ROAD - DOTHAN, ALABAMA - 36303 PH (888) 309-5534 - FAX (334) 836-1401 www.idassocatesinc.com</p>	CLIENT	SHERWIN WILLIAMS	DATE	R1 05/05/21 JAS	REV	
	PROJECT	VESTAVIA HILLS, AL.	DATE	11/23/20	REV	
	DESIGNER	L. MAYHEW	DATE	R2 05/06/21 JAS	REV	
	DRAWN BY	SW_AL_VESTAVIA HILLS-SIGN EXHIBIT	DATE	R3 06/14/21 JAS	REV	
					EXHIBIT APPROVED BY	
						<p>Underwriters Laboratories Inc.®</p>

Sherwin Williams - Vestavia Hills Az



Panoramic view from front door



Panoramic view from side door

Z-0921-31//28-00-15-4-009-030.000
3900 Crosshaven Drive
Sign Code Variance that varies from
11.5.3
Sherwin-Williams

2735
2733
741
739
737

2869
2867

2879
2877
2875

2889
2887
2885
2883

2897
2895
2893
2891

2901

3894
3898

3916

3921

3905

WAYNELY DR

CROSSHAVEN DR

GREENDALE RD

GREENDALE PI

3906

3103
3099
3101
3097

3906

3908

3906

Sherwin Williams: Vestavia Hills, AL



Side view of SW building ↗



Front/side view of building ↗

Sherwin Williams - Vestavia Hills, AL



Side elevation of SW building from Crosshaven Dr. ↗



Sherwin Williams: Vestavia Hills, AL

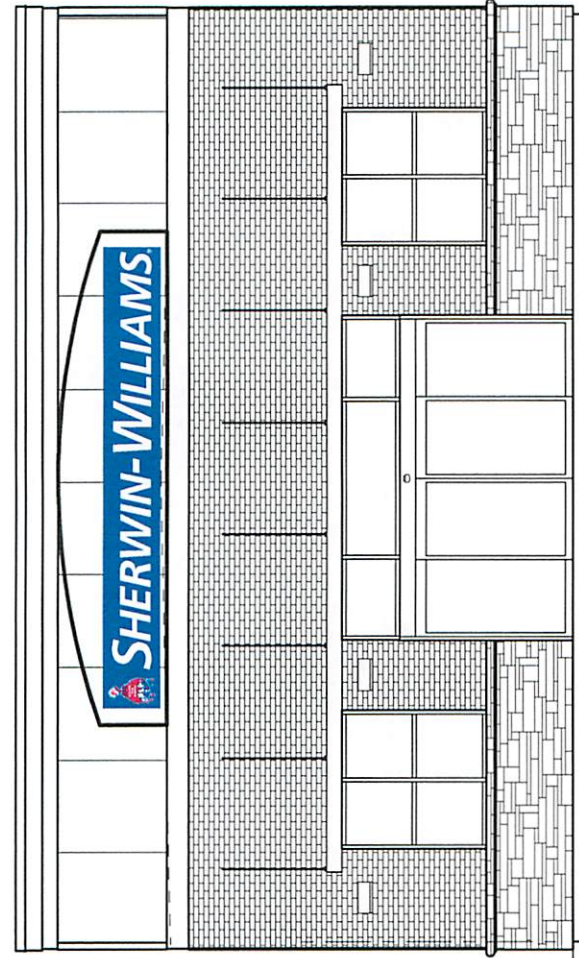


SW Parking lot on side of building ↗



View of SW from Winn-Dixie entrance/Exit

~40'-7"



HIGH PARAPET
24'-0"

LOW PARAPET
21'-0"

BEARING HEIGHT
14'-4 1/2"

FINISH FLOOR
0"

STOREFRONT ELEVATION

Scale: 1/8" = 1'-0"

18'-2 3/16"

17'-8 3/16"

A

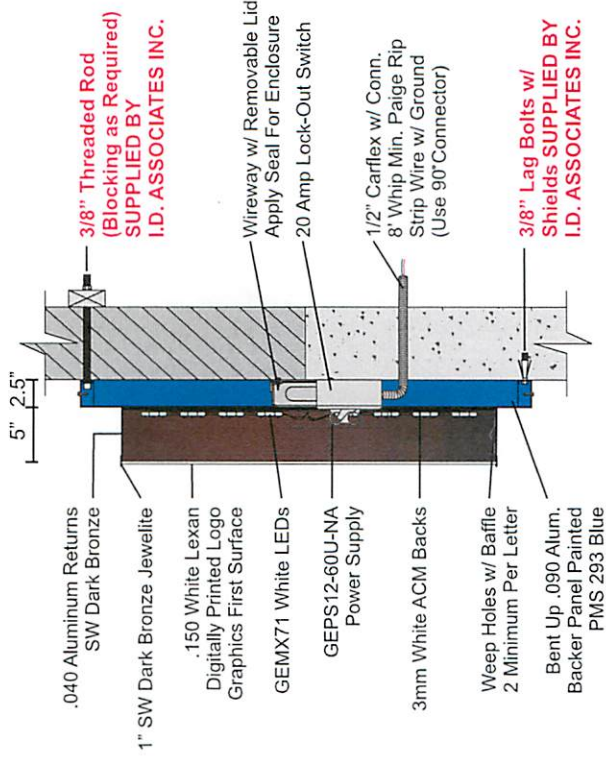
2'-6"
2'-0"
1'-9"



45.46 SQ FT

COLORS:

3M 3630-143 PMS 032	WHITE LEXAN	3M 3630-8168 PMS 293	SW DARK BRONZE
------------------------	-------------	-------------------------	-------------------



.040 Aluminum Returns
SW Dark Bronze

1" SW Dark Bronze Jewelle

.150 White Lexan
Digitally Printed Logo
Graphics First Surface

GEMX71 White LEDs

GEPS12-60U-NA
Power Supply

3mm White ACM Backs

Weep Holes w/ Baffle
2 Minimum Per Letter

Bent Up .090 Alum.
Backer Panel Painted
PMS 293 Blue

3/8" Threaded Rod
(Blocking as Required)
SUPPLIED BY
I.D. ASSOCIATES INC.

Wireway w/ Removable Lid
Apply Seal For Enclosure
20 Amp Lock-Out Switch

1/2" Carflex w/ Conn.
8' Whip Min. Paige Rip
Strip Wire w/ Ground
(Use 90° Connector)

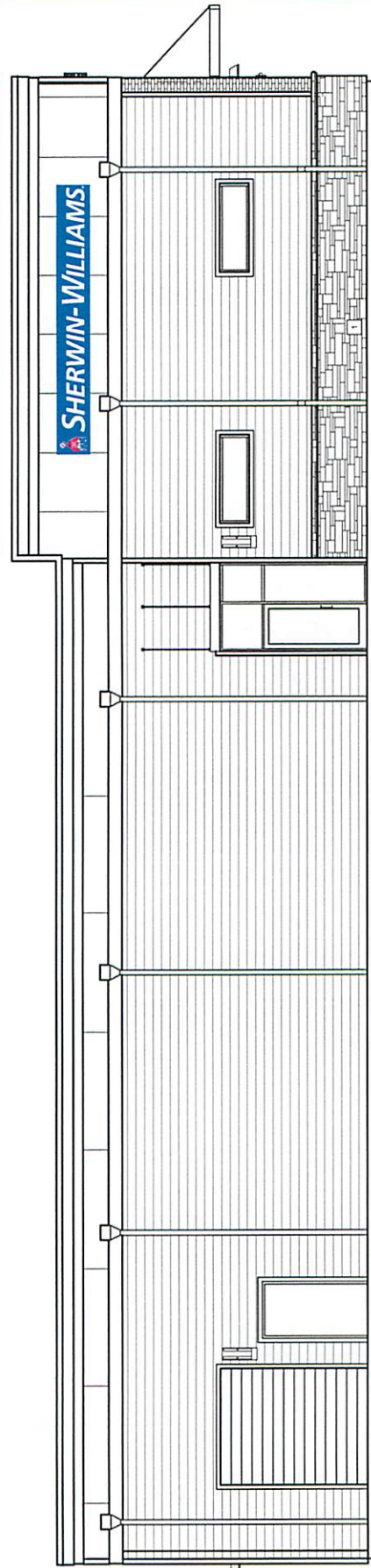
3/8" Lag Bolts w/
Shields SUPPLIED BY
I.D. ASSOCIATES INC.

THIS DRAWING IS FOR CONCEPTUAL PURPOSES ONLY. DUE TO CONSTRUCTION CONSTRAINTS, SIZES AND OR LAYOUTS MAY CHANGE SLIGHTLY.

 ID ASSOCIATES BRINGING THE WORLD'S BRANDS TO LIFE 1771 INDUSTRIAL ROAD - DOTHAN, ALABAMA - 36303 PH (888) 303-5534 - FAX (334) 836-1401 www.idassocbrsinc.com	SHELF SHERWIN WILLIAMS	STORE NO. NEW	DATE R1 05/05/21 JAS	REV. 1	EXHIBIT APPROVED BY:	Underwriters Laboratories Inc.
	SHELF VESTAVIA HILLS, AL.	DATE 11/23/20	SHELF R2 05/06/21 JAS	REV. 1		
	SHELF L. MAYHEW	SHELF DMS	SHELF R3 06/14/21 JAS	REV. 1		
	SHELF SW_AL_VESTAVIA HILLS-SIGN EXHIBIT			REV. 1		

~100'-6"

32'-0"



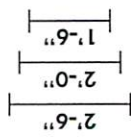
LEFT ELEVATION

Scale: NTS

- HIGH PARAPET 24'-0"
- LOW PARAPET 21'-0"
- BEARING HEIGHT 14'-4 1/2"
- FINISH E.O.D.R.

18'-2 3/16"

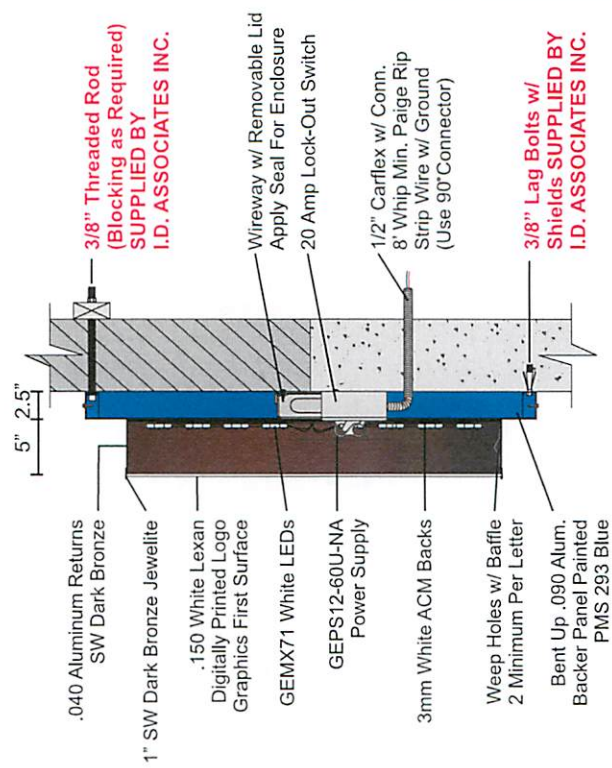
17'-8 3/16"



45.46 SQ FT

COLORS:

- 3M 3630-143 PMS 032
- WHITE LEXAN
- 3M 3630-8168 PMS 293
- SW DARK BRONZE



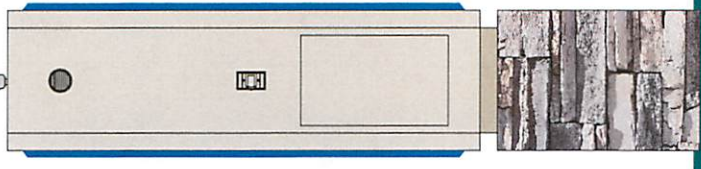
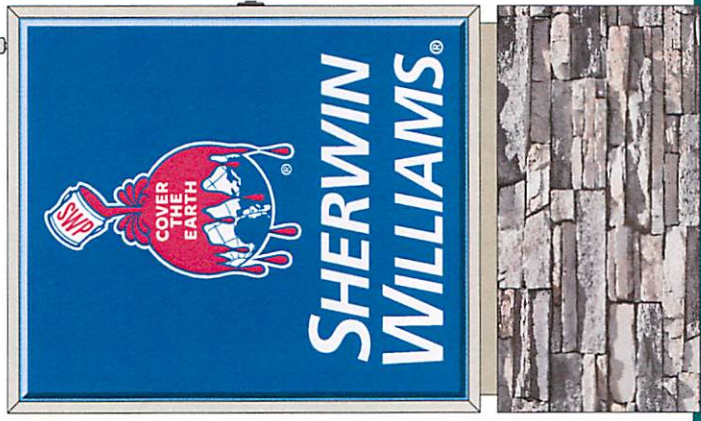
- 5" 2.5"
- .040 Aluminum Returns SW Dark Bronze
- 1" SW Dark Bronze Jewelite
- .150 White Lexan Digitally Printed Logo Graphics First Surface
- GEMX71 White LEDs
- GEPS12-60U-NA Power Supply
- 3mm White ACM Backs
- Weep Holes w/ Baffle 2 Minimum Per Letter
- Bent Up .090 Alum. Backer Panel Painted PMS 293 Blue
- 3/8" Threaded Rod (Blocking as Required) SUPPLIED BY I.D. ASSOCIATES INC.
- Wireway w/ Removable Lid Apply Seal For Enclosure
- 20 Amp Lock-Out Switch
- 1/2" Carflex w/ Conn. 8' Whip Min. Paige Rip Strip Wire w/ Ground (Use 90° Connector)
- 3/8" Lag Bolts w/ Shields SUPPLIED BY I.D. ASSOCIATES INC.

THIS DRAWING IS FOR CONCEPTUAL PURPOSES ONLY. DUE TO CONSTRUCTION CONSTRAINTS, SIZES AND OR LAYOUTS MAY CHANGE SLIGHTLY.

CLIENT	SHERWIN WILLIAMS	DATE	R1 05/05/21 JAS
LOCATION	VESTAVIA HILLS, AL.	DATE	R2 05/06/21 JAS
ACCOUNT MGR	L. MAYHEW	DATE	R3 06/14/21 JAS
DESIGNER	SW_AL_VESTAVIA HILLS-SIGN EXHIBIT	DATE	
1771 INDUSTRIAL ROAD - DOTHAN, ALABAMA, 36503 PH (888) 303-5534 - FAX (334) 836-1401 www.idassociatesinc.com		EXHIBIT APPROVED BY:	

5'- 10"

2'- 0"



6'- 10"

3"

2'- 11"

10'- 0"
OVERALL
HEIGHT

COLORS:



EXACT STONE
BASE T.B.D.
40 SQ FT

CABINET: .050 Fabricated Aluminum Filler With Internal Tube Steel Frame. Interior Painted With White Light Enhancing Paint.

RETAINERS: 2" (Face Side) x 3" (Return Side) x .050 Fabricated Aluminum.

SIGN FACES: Panned Clear Lexan With Vinyl/Processed Graphics Second Surface. 3M 3630-143 Red Vinyl, 3M 3630-8168 Blue Vinyl, & Digitally Printed Logo.

COLORS: Cabinet & Retainers Textcoated & Painted- SW 6141 Softer Tan. Reveal is Textcoated & Painted SW 6143- Basket Beige.

Steel Size & Concrete Foundations Vary Per Location & Are Determined By Wind Speed.

ILLUMINATION: Samsung White LEDs Mounted on .063 Aluminum Bent Channel 12" Apart. OptoDriver PLN-60-12 Power Supplies (.98 Amps Each).

INTERNAL MOUNTING STEEL: Determined By Wind Speed.

ELECTRICAL NOTES: 120 Volts, 20 Amp Disconnect Switch, Photocell. General-Contractor And/Or Electrician To Coordinate With Sign Contractor The Exact Location Before Sign Placement. Final Connection To Primary Power By Sign Contractor.

THIS DRAWING IS FOR CONCEPTUAL PURPOSES ONLY. DUE TO CONSTRUCTION CONSTRAINTS, SIZES AND OR LAYOUTS MAY CHANGE SLIGHTLY.

<p>ID ASSOCIATES BRINGING THE WORLD'S BEARDS TO LIFE 1771 INDUSTRIAL ROAD - DOTHAN, ALABAMA - 36503 PH (888) 303-5534 - FAX (334) 826-1401 www.idassocbeardinc.com</p>	CLIENT	SHERWIN WILLIAMS	DATE	R1 05/05/21 JAS	REV	
	LOCATION	VESTAVIA HILLS, AL.	DATE	R2 05/06/21 JAS	REV	
	ACCOUNT REPR	L. MAYHEW	DATE	R3 06/14/21 JAS	REV	
	CREATED BY	SW_AL_VESTAVIA HILLS-SIGN EXHIBIT			REV	
					EXHIBIT APPROVED BY:	
						Underwriters Laboratories Inc.