

Join us! In an effort to enhance meetings post COVID-19 emergency orders, the City Council invites you to join and/or participate in a variety of ways: Via computer Zoom meetings (no app is necessary), telephone, email and/or text! See details on page 3.

**Vestavia Hills
City Council Agenda
November 8, 2021
6:00 PM**

1. Call to Order
2. Roll Call
3. Invocation – David Phillips, Vestavia Hills Senior Chaplain
4. Pledge Of Allegiance
5. Approval Of The Agenda
6. Announcements, Candidates and Guest Recognition
 - a. Interview dates/times for Vestavia Hills Parks and Recreation Board and the Vestavia Hills Library Board; November 30, 2021
7. Proclamation – Small Business November – November 2021
8. City Manager’s Report
9. Councilors’ Reports
10. Financial Reports – Melvin Turner, III
11. Community Spaces Update – TCU Consulting
12. Approval Of Minutes – October 25, 2021 (Regular Meeting)

Old Business

New Business

13. Resolution Number 5355 – A Resolution Giving Notice Of A Public Hearing For The Adoption Of Various 2021 International Building And Fire Codes As Well As The 2020 National Electrical Code For The City Of Vestavia Hills
14. Resolution Number 5356 – A Resolution Changing The Date Of The December 27, 2021 Regular Meeting And The Time Of The December 20, 2021 Work Session
15. Resolution Number 5357 – A Resolution Authorizing The City Manager To Execute And Deliver An Agreement With The Alabama Department Of Transportation For The Cooperative Maintenance Of Public Right-Of-Way For Landscaping Work At The Intersection Of Interstate Highway 65 And State Highway 31 (Montgomery Highway) And Authorizing The Installation Of New Landscaping At Said Intersection

New Business (Requesting Unanimous Consent)

First Reading (No Action To Be Taken At This Meeting)

16. Ordinance Number 3056 – Annexation – 90-Day Final – 2429 Altadena Road, Lot 2, Haynies Add to Ridge Forest; Keith and Taylor Cargal, Owners *(public hearing)*
17. Ordinance Number 3057 – Rezoning – 2429 Altadena Road, Lot 2, Haynies Add To Ridge Forest; Rezone From Jefferson County R-1 To Vestavia Hills R-2, Compatible Zoning For Annexation; Keith And Taylor Cargal, Owners *(public hearing)*
18. Ordinance Number 3058 – Annexation – 90-Day Final – 2621 Red Bud Lane; Lot 4a, Gary & Pam West Survey, Less And Except 40’ Strip On Southern Boundary; Jordan Hoffman, Owner *(public hearing)*
19. Ordinance Number 3059 – Annexation – 90-Day Final – 2625 Red Bud Lane; Lot 4B, LB Lloyd Subdivision; Deborah And Jack Standifer, Owners *(public hearing)*
20. Ordinance Number 3060 – Rezoning – 2621 Red Bud Lane And 2625 Red Bud Lane; Rezone From Jefferson County E-1 To Vestavia Hills E-2, Compatible Zoning For Annexation; Jordan Hoffman, Deborah And Jack Standifer, Owners *(public hearing)*
21. Ordinance Number 3061 – Conditional Use Approval – Conditional Use Approval For Operation Of A Veterinarian Clinic With Services To Include Medical, Grooming And Bathing Services Of Dogs By Appointment, Excluding Overnight Boarding; Happy Dog Baths & Grooming, 678 Montgomery Highway, Lot 1, Vestavia Hills City Center North; Mike Mahaffey, Owner *(public hearing)*
22. Citizens Comments
23. Time Of Adjournment

SPECIAL NOTICE CONCERNING CITY COUNCIL MEETINGS

Due to the COVID-19 safety advice given by the ADPH, the City Council work sessions and meetings are available via video-conference and teleconference. If you choose not to attend in person, you may still participate. Following are instructions for three options to participate remotely.

COMPUTER PARTICIPATION (view/participate in real time)

To participate in by videoconference, click <https://us02web.zoom.us/j/5539517181>. When the Zoom.us window opens in your browser, click “Allow” so that the page may open to a waiting room. The host will open the meeting and bring all into the meeting room at that time. All participants will be automatically muted upon entrance to the meeting. If you wish to speak during time(s) identified for public input, activate the “Raise Hand” feature and unmute yourself by toggling the mute button. When the Mayor recognizes you and gives you the floor, state your name and address for the record and then you may address the Council.

Using the icons on the Zoom screen, you can:

- Mute/unmute your microphone (far left)
- Turn on/off camera (“Start/Stop Video”)
- View Participants – opens a pop-out screen that includes the “Raise Hand” icon that you may use to raise a virtual hand
- Change your screen name displayed in the participant list and video window
- Toggle between “speaker” and “gallery” views – “Speaker view” shows the active speaker; “Gallery view” tiles all of the meeting participants

TELEPHONE PARTICIPATION (view/participate in real time)

To participate by telephone, dial 312.626.6799 and enter the meeting ID: 455 534 3275. All participants will be automatically muted upon entrance to the meeting. If you wish to speak during time(s) identified for public input, press *6 on your phone keypad to unmute yourself. Then state your name and wait for the Mayor to recognize you. When the Mayor recognizes you and gives you the floor, state your name and address for the record and then address the Council.

TEXT AND/OR EMAIL (prior to the meeting or in real time)

If you do not wish to join the meeting but would like to ask a question or make a statement regarding an item on the agenda, you may email the City Council directly at City.Council@vhal.org. You may also text your question/statement to City Council at 205.517.1370. Both of these options are available prior to and during each work session and meeting. Be sure to provide your name and address for the record and your comments will be recited to the City Council as the corresponding item is being addressed. Note: As a matter of record, your name and address are required. If identification is not provided, your comment/question will not be presented.

WHEREAS, the government of Vestavia Hills, Alabama celebrates our local small businesses and the contributions they make to our local economy and community; and

WHEREAS, according to the United States Small Business Administration there are currently 31.7 million small businesses in the United States and they represent 99.9% of all businesses with employees in the United States and are responsible for 64% of the net new jobs created from 2000 to 2018; and

WHEREAS, small businesses employ 47.1% of the employees in the private sector in the United States; and

WHEREAS, 96% of consumers who are aware of Small Business Saturday said the day encourages them to Shop Small all year long; and

WHEREAS, in 2019, consumers spent a record high of an estimated \$19.6 billion at independent retailers and restaurants on Small Business Saturday; and

WHEREAS, the most reported reason for consumers aware of the day to shop and dine at small independently-owned businesses was to support their community; and

WHEREAS, advocacy groups, as well as public and private organizations, in Alabama have endorsed the Saturday before Thanksgiving as Small Business Saturday.

NOW, THEREFORE, I, Ashley C. Curry, by virtue of the authority vested in me as Mayor of the City of Vestavia Hills in the State of Alabama, do hereby proclaim the month of November 2021 as

SMALL BUSINESS NOVEMBER

and urge the residents of Vestavia Hills to Shop, Dine, Play in Vestavia Hills and to support small businesses and merchants this month and throughout the year.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the Seal of the City of Vestavia Hills to be affixed this the 8th day of November 2021.

Ashley C. Curry
Mayor

CITY OF VESTAVIA HILLS

CITY COUNCIL

MINUTES

OCTOBER 25, 2021

The City Council of Vestavia Hills met in regular session on this date at 6:00 PM, following publication and posting pursuant to Alabama law. A number of staff and general public/audience members also attended virtually, via Zoom.com, following publication pursuant to Alabama law. The Mayor called the meeting to order. The City Clerk called the roll with the following:

MEMBERS PRESENT:

Mayor Ashley C. Curry
Rusty Weaver, Mayor Pro-Tem
Kimberly Cook, Councilor
George Pierce, Councilor

MEMBERS ABSENT:

Paul Head, Councilor

OTHER OFFICIALS PRESENT:

Jeff Downes, City Manager
David Weaver, Alabama State Representative
Rebecca Leavings, City Clerk
Dan Rary, Police Chief
Marvin Green, Fire Chief
Melvin Turner, Finance Director
George Sawaya, Asst. Finance Director
**present via Zoom or telephone*

Tom Bell, a Vestavia Hills City Chaplain, led the invocation which was followed by the Pledge of Allegiance.

APPROVAL OF THE AGENDA

The Mayor opened the floor for a motion of approval of the agenda as presented.

MOTION Motion to approve the agenda as presented was by Mr. Weaver seconded by Mr. Pierce. Roll call vote was, as follows:

Mrs. Cook – yes	Mr. Pierce – yes
Mr. Weaver – yes	Mayor Curry – yes

motion carried.

ANNOUNCEMENTS, CANDIDATES, GUEST RECOGNITION

- Mr. Pierce welcomed Linda Parker and Rachel Patterson, representing the Vestavia Hills Chamber of Commerce Board.
- Mr. Pierce announced that Viva Thursday will be held this year at Hollywood Pool and Spa on October 28th beginning at 6:30 PM. The event is called “Eat Drink and Be Scary” and will be a great event. He stated that tickets are still available and more information can be found on the Chamber of Commerce website.
- The Mayor announced an upcoming vacancy on the Vestavia Hills Parks and Recreation and the Vestavia Hills Library Board. Deadline for application is Monday, November 8, 2021. Individual interviews will be conducted with the applicants and appointment of the new member will be on Monday, December 13, 2021.

PROCLAMATION

The Mayor presented a Proclamation designating October 2021 as “Domestic Violence Awareness Month.” Mr. Downes read the Proclamation aloud and the Mayor presented it to Johnny and Liz Montgomery; Captain Shane Ware, VHPD; Allie Nanni, Al Vance, and Allison Dearing, One Place Metro Family Justice Center; and Maya Witherspoon and Elizabeth Conner, YCWA.

The Mayor stated that he has been very familiar with domestic violence over the years in his career. He indicated that the number one cause of violence toward police officers were from domestic violence situation and he is happy that they can support this.

Ms. Nanni stated that this is just a snapshot of individuals working to eradicate domestic violence and she’s so happy there are many directors here to receive this Proclamation. She stated they stand in solidarity with victims and survivors.

Johnny Montgomery stated that he lost his daughter, Meghan Montgomery, to domestic violence. He stated that it’s so difficult to have to bury a child. He’s been coping with the help of his church, friends and becoming involved in bringing awareness for domestic violence. He stated it’s so fulfilling to hear personal stories of women who have escaped domestic violence situations following the efforts of him and his wife to bring awareness to the issue.

Mrs. Montgomery that the Meghan Montgomery Memorial Fund is to help the prevention of domestic violence. She stated that they like to get out and take trained people to go to the schools, colleges, etc., to educate people to recognize the signs of domestic violence and bring awareness to hopefully prevent future occurrences.

Mrs. Cook stated that she had asked the Montgomery’s to come tonight. She stated many do not realize how prevalent this problem is and it hits close to home for many families. When she was reading this week about the testimony from a recent trial of one of our Police Officers, it brought to mind that people of all ages need to know where to go to seek help.

PROCLAMATION

The Mayor presented a Proclamation designating November 2021 as “Hospice and Palliative Care Month.” Mr. Downes read the Proclamation aloud and the Mayor presented it to Janey Thorn and Ginny Sirles, Affinity Hospice.

Ms. Thorn, Affinity Hospice, thanked the Mayor and Council for this and explained their services to the residents of this community who need this care.

CITY MANAGER’S REPORT

- None.

COUNCILOR REPORTS

- Mr. Pierce stated he attended Chamber of Commerce Board meeting which continued planning for Viva Vestavia. He stated they also discussed the move into the Community Center and the search for a new President upon the announcement of retirement of Karen Odle.

APPROVAL OF MINUTES

The Mayor opened the floor for approval of the following minutes: October 11, 2021 (Regular Meeting).

MOTION Motion to approve the minutes of October 11, 2021 (Regular Meeting) was by Mrs. Cook and seconded by Mr. Weaver. Roll call vote as follows:

Mrs. Cook – yes

Mr. Pierce – yes

Mr. Weaver – yes

Mayor Curry – yes

motion carried.

OLD BUSINESS

RESOLUTION NUMBER 5349

Resolution Number 5349 – A Resolution Authorizing The City Manager To Execute And Deliver And Easement Agreement With Celco Partnership D/B/A Verizon Wireless To Grant An Easement On The Property Located At 509 Montgomery Highway, Aka Vestavia Hills Bill F. Towers Fire Station No. 1 (public hearing)

MOTION Motion to approve Resolution Number 5349 was by Mr. Weaver and seconded by Mr. Pierce.

Mr. Downes stated that there is an existing monopole behind the fire station and this will allow Verizon to run fiber to collocate on the tower.

Lannie Green, Verizon Wireless, was present remotely in regard to this request.

The Mayor opened the floor for a public hearing. There being no one to address the Council, the Mayor closed the public hearing and called for the question. Roll call vote was as follows:

Mrs. Cook – yes	Mr. Pierce – yes
Mr. Weaver – yes	Mayor Curry – yes
	motion carried.

NEW BUSINESS

RESOLUTION NUMBER 5353

Resolution Number 5353 – A Resolution Declaring Certain Personal Property As Surplus And Directing The City Manager To Sell/Dispose Of Said Equipment

MOTION Motion to approve Resolution Number 5353 was by Mr. Weaver and seconded by Mr. Pierce

Mr. Downes explained that this Resolution is to surplus a police vehicle that's far past its point of usage.

There being no one to address the Council, the Mayor called for the question. Roll call vote was as follows:

Mrs. Cook – yes	Mr. Pierce – yes
Mr. Weaver – yes	Mayor Curry – yes
	motion carried.

RESOLUTION NUMBER 5354

Resolution Number 5354 – A Resolution Authorizing A Special Economic Development Agreement By The City Of Vestavia Hills, Alabama And Red B, LLC

MOTION Motion to approve Resolution Number 5354 was by Mr. Weaver and seconded by Mrs. Cook.

Mr. Downes explained that this Resolution is an incentive agreement for The Fig Tree expansion and a business called Miss Astrid. The owner, Richard Edge, is attending remotely. Heyward Hosch, Maynard Cooper and Gale, is present in regard to the parameters of the proposed incentive resolution. The agreement is a share of future sales taxes whereby a share of sales taxes generated would be returned to him for the next 6 years. In return, he's agreed to construct an entertainment venue, improve stormwater on his site and grant a public parking arrangement for his property to capitalize a multi-property development in the area which include, among other things, a sidewalk pathway for connection.

Mr. Edge stated that they are anxious to get started and hope to see a great venue and a more walkable community.

Mr. Hosch stated that the Council has done this with other businesses and this is the same format. He explained the development and stated that this is Amendment 772 compliant.

Mrs. Cook asked about the expiration of 6 years. Mr. Hosch stated that the time begins upon the issuance of certificate of occupancy.

Mr. Pierce asked if the Fig Tree will see improvements. Mr. Edge stated they would like to install a handicap access and the development of the venue.

Mr. Downes explained the location and the proposed development and walkway.

Discussion ensued as to when the Council grants this type of agreement. Mr. Downes explained that this helps to create pedestrian connectivity and the owner will bring a venue by taking a risk in the "back of house" to bring something special to the table.

There being no one to address the Council, the Mayor called for the question. Roll call vote was as follows:

Mrs. Cook – yes

Mr. Pierce – yes

Mr. Weaver – yes

Mayor Curry – yes

motion carried.

ORDINANCE NUMBER 3041

Ordinance Number 3041 – An Ordinance Accepting A Bid For Renovations To Vestavia Hills Bill F. Towers Fire Station No. 1 And Authorizing The Execution And Deliver Of The Construction Contract Documents By And Between The City Of Vestavia Hills Alabama As "Owner" And Jared Building Company As "Contractor"

MOTION Motion to approve Ordinance Number 3041 was by Mr. Weaver and seconded by Mr. Pierce.

Mr. Downes explained that this Ordinance accepts a bid of renovations for the Vestavia Hills Bill F. Towers Fire Station No. 1. He indicated that funding was budgeted for these renovations and that the project was bid with one bid returned due to the volatility of the construction market.

Mr. Pierce asked about TCU's involvement.

Mr. Downes indicated he had requested TCU to assist with this project.

There being no one to address the Council, the Mayor called for the question. Roll call vote was as follows:

Mrs. Cook – yes	Mr. Pierce – yes
Mr. Weaver – yes	Mayor Curry – yes
	motion carried.

ORDINANCE NUMBER 3042

Ordinance Number 3042 – An Ordinance Accepting A Bid For Wald Park Field Conversions And Authorizing The Execution And Delivery Of The Construction Contract Documents By And Between The City Of Vestavia Hills, Alabama As Owner And Specialty Turf Supply Inc., As Contractor

MOTION Motion to approve Ordinance Number 3042 was by Mr. Weaver and seconded by Mrs. Cook.

Mr. Downes explained that this Ordinance accepts a bid of the Wald Park Field Conversions. He explained that multiple bidders appeared at the pre-bid meeting, however, only one bidder submitted a bid. He indicated that the bid was within budget and the City has had experience with this bidder who completed the Cahaba Heights fields. He added that this bid also includes the shade structures that have been discussed over the past few months.

Mrs. Cook asked about the reasons for the conversion.

Mr. Weaver stated that there are so many problems with natural turf that cannot be overcome along with the Cahaba Heights fields show better wear, more games and more efficiency. He stated as these projects developed, it became clear that this was the best direction to go and he feels it is the right decision. This is a chance to make all the fields better.

Mr. Pierce asked about the schedule. Mr. Downes stated it would be finished before the season starts but the turf is becoming scarce and the work needs to be started now.

There being no one to address the Council, the Mayor called for the question. Roll call vote was as follows:

Mrs. Cook – yes	Mr. Pierce – yes
Mr. Weaver – yes	Mayor Curry – yes

motion carried.

ORDINANCE NUMBER 3044

Ordinance Number 3044 – An Ordinance Authorizing The Mayor And City Manager To Execute And Deliver An Agreement With The Birmingham Water Works Board For Maintenance Of Meters In Sidewalks Along Mountainview Drive

MOTION Motion to approve Ordinance Number 3044 was by Mrs. Cook and seconded by Mr. Weaver.

Mr. Downes explained that this Ordinance authorizes an agreement between the City and the Birmingham Water Works to allow certain meters to be located in the newly constructed sidewalks along Mountainview Drive. Future projects will require that all water meters be relocated outside of the sidewalk.

Mr. Pierce asked about the completion. Mr. Brady indicated the contractor would initialize and hopefully finish by Christmas.

There being no one to address the Council, the Mayor and called for the question. Roll call vote was as follows:

Mrs. Cook – yes	Mr. Pierce – yes
Mr. Weaver – yes	Mayor Curry – yes

motion carried.

ORDINANCE NUMBER 3043

Ordinance Number 3043 – An Ordinance Authorizing The Settlement Of The Case Of Catherine Brooks V. City Of Vestavia Hills, Alabama, Et Al, Bearing Civil Action Number 01-CV-2020-901202.00 Presently Pending In The Circuit Court For Jefferson County, Alabama; Authorizing And Directing The Mayor And City Manager To Pay The Funds Described Herein And To Take Any Action And Execute And Deliver Any And All Documents Necessary To Effectuate Said Settlement

Mr. Downes explained that this Ordinance authorizes the settlement of litigation between the City and an individual who was injured while riding a bike.

Bent Owens, legal counsel for the City, was present in regard to this Resolution. He explained that this settlement came following mediation concerning injuries received by Catherine Brooks from a bicycle accident. He stated he feels it is in the City's best interest to settle this along with the BWWB.

Mr. Pierce asked if the residents of Mountainview have been notified of the arrangements with BWWB. Mr. Downes stated that Mr. Visintainer is the contact for the neighborhood and he was notified that this was on the agenda. The intent was that everyone knew about tonight's meeting.

Discussion ensued regarding whether or not the City needs to install signage prohibiting bicycles on the sidewalks.

MOTION Motion to approve Ordinance Number 3043 was by Mrs. Cook and seconded by Mr. Weaver.

There being no one to address the Council, the Mayor and called for the question. Roll call vote was as follows:

Mrs. Cook – yes	Mr. Pierce – yes
Mr. Weaver – yes	Mayor Curry – yes

motion carried.

NEW BUSINESS (UNANIMOUS CONSENT REQUESTED)

FIRST READING (NO ACTION TO BE TAKEN AT THIS MEETING)

CITIZEN COMMENTS

None.

At 6:48 PM, Mr. Pierce made a motion to adjourn. The meeting adjourned at 6:37 PM.

Ashley C. Curry
Mayor

ATTESTED BY:

Rebecca Leavings
City Clerk

RESOLUTION NUMBER 5355

A RESOLUTION GIVING NOTICE OF A PUBLIC HEARING FOR THE ADOPTION OF VARIOUS 2021 INTERNATIONAL BUILDING AND FIRE CODES AS WELL AS THE 2020 NATIONAL ELECTRICAL CODE FOR THE CITY OF VESTAVIA HILLS

WHEREAS, Section 11-45-8, Code of Alabama, 1975, states that prior to adoption of a technical code the City shall provide a minimum of 15 days-notice of the time, place and purpose of such hearing by publishing/posting as required with not less than three copies of the proposed codes will be open for use and examination by the public in the Office of the City Clerk; and

WHEREAS, the Mayor and City Council feel it is in the best public interest to adopt the following codes: 2021 International Building, 2021 International Plumbing Code, 2021 International Mechanical Code, 2021 International Flue Gas Code, 2021 International Existing Building Code, 2021 International Energy Conservation Code, 2021 International Swimming Pool and Spa Code, 2021 International Residential Code, 2020 National Electrical Code; and the 2021 International Fire Code; and

WHEREAS, the Vestavia Hills Building Safety and Inspections Department has recommended adoption of said Codes, as amended, in the proposed Ordinance Numbers 3046, 3047, 3048, 3049, 3050, 3051, 3052, 3053, 3054 and 3055; and

BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF VESTAVIA HILLS, ALABAMA, AS FOLLOWS:

1. Notice is hereby given that proposed Ordinance Numbers 3046, 3047, 3048, 3049, 3050, 3051, 3052, 3053, 3054 and 3055 will be presented by the Vestavia Hills City Council for a public hearing at the regularly scheduled meeting of December 20, 2021 beginning at 6:00 PM in the City Council Chamber, City

of Vestavia Hills City Hall, 1032 Montgomery Highway, Vestavia Hills, Alabama 35216; and

2. Not less than three copies of the proposed Codes with amendments/exceptions will be open for use and examination by the public in the Office of the City Clerk, City of Vestavia Hills, 1032 Montgomery Highway, Vestavia Hills, Alabama not less than 15 days prior to the holding of the public hearing; and
3. Said Resolution Number 5355 shall become effective immediately upon adoption and approval by the City of Vestavia Hills.

ADOPTED and APPROVED this the 8th day of November, 2021.

Ashley C. Curry
Mayor

ATTESTED BY:

Rebecca Leavings
City Clerk

RESOLUTION NUMBER 5356

**A RESOLUTION RESCHEDULING REGULAR MEETINGS AND/OR
WORK SESSIONS OF THE VESTAVIA HILLS CITY COUNCIL**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF VESTAVIA
HILLS, ALABAMA, AS FOLLOWS:**

1. The regularly scheduled meeting of the Vestavia Hills City Council scheduled for December 27, 2021 is hereby rescheduled for Monday, December 20, 2021 beginning at 6 PM on observance of the Christmas holidays; and
2. The regularly scheduled work session of the Vestavia Hills City Council scheduled for December 20, 2021 beginning at 6 PM has been rescheduled to begin at 5 PM; and
3. This Resolution Number 5356 shall become effective immediately upon adoption and approval.

ADOPTED and APPROVED this the 8th day of November, 2021.

Ashley C. Curry
Mayor

ATTESTED BY:

Rebecca Leavings
City Clerk

RESOLUTION NUMBER 5357

A RESOLUTION AUTHORIZING THE CITY MANAGER TO EXECUTE AND DELIVER AN AGREEMENT WITH THE ALABAMA DEPARTMENT OF TRANSPORTATION FOR THE COOPERATIVE MAINTENANCE OF PUBLIC RIGHT-OF-WAY FOR LANDSCAPING WORK AT THE INTERSECTION IF INTERSTATE HIGHWAY 65 AND STATE HIGHWAY 31 (MONTGOMERY HIGHWAY) AND AUTHORIZING THE INSTALLATION OF NEW LANDSCAPING AT SAID INTERSECTION

BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF VESTAVIA HILLS, ALABAMA, AS FOLLOWS:

1. The City Manager is hereby authorized to execute and deliver an MB-06A agreement with the Alabama Department of Transportation (ALDOT) for the cooperative maintenance of public right-of-way; and
2. Said agreement is marked as Exhibit A, attached to and incorporated into this Resolution Number 5357 as if written fully therein; and
3. The City Manager is hereby authorized to proceed with new landscaping at said intersection with plans attached, marked as Exhibit B; and
4. Any expenses associated with the landscaping and improvements for said intersection shall be funded by Lamar Advertising; and
5. This Resolution Number 5357 shall become effective immediately upon adoption and approval.

ADOPTED and APPROVED this the 8th day of November, 2021.

Ashley C. Curry
Mayor

ATTESTED BY:

Rebecca Leavings
City Clerk

Form MB-06A
Revised May 2017

**ALABAMA DEPARTMENT OF TRANSPORTATION
AGREEMENT FOR THE COOPERATIVE MAINTENANCE
OF PUBLIC RIGHT OF WAY**

County Jefferson

Route Number US 31 & I-65

Milepost 266.26 (US 31) 251.92 (I-65)

Resolution Number 4612

FOR OFFICIAL USE ONLY

DATE RECEIVED FROM APPLICANT: ___/___/___

PERMIT NUMBER: _____

Associated Permits and/or Documents CIVIL SHEET C1.0 DATED 8/06/21

LANDSCAPE SHEETS L1.0 DATED 4/14/21, L2.0 DATED 7/20/21

THIS AGREEMENT, entered into this the 26th day of October, 2021, by and between the Alabama Department of Transportation acting by and through its Transportation Director hereinafter referred to as ALDOT and City of Vestavia Hills, in an effort to provide maintenance within the city limits of Vestavia along Route US 31, the City of Vestavia Hills agrees to maintain the mowing and pruning of this
landscape area. Mowing operations shall be conducted when the height of the vegetation cover reaches
10 inches and rescheduled in accordance with the planned frequency. Trimming around plant material
shall be done in conjunction with mowing to obtain a clean and attractive appearance. Clippings and other
debris will be removed from site. Pruning shall be done to prevent over-hang of the travel way. Dead and
damaged plants will be removed as occur. in the ALDOT right-of-way from milepost 266.2 to 266.3. All maintenance shall conform to standards and specifications of ALDOT and the ALDOT approved version of the national Manual on Uniform Traffic Control Devices. Any future proposed work not described in this agreement or any associated agreements shall be requested by permit and is subject to approval by ALDOT. It is furthermore understood by the parties that the map attached hereto describes the current situation. The parties understand that this agreement and the plans attached hereto may be amended by the mutual agreement of the parties.

In accepting the above, ALDOT and APPLICANT agree to do the following:

1. Adequate sight distances must be maintained for maximum public safety; otherwise ALDOT reserves the right to remedy this situation in the most expedient manner.
2. ALDOT is not responsible for the safety of the individual involved or taking part in this work during maintenance operations.
3. If ALDOT construction (repair of drainage and traffic structures, crossovers and other minor construction) is done in the subject area, it will be the responsibility of ALDOT to establish a stand of vegetative cover if deemed necessary by ALDOT and then the APPLICANT'S responsibility to maintain the vegetative cover as stipulated herein. In the event of major construction in the subject area, this Agreement shall be voided at a time designated by ALDOT.

4. Any proposed work, whether being performed or accomplished, that is described within or with any associated proposal is subject to the inspection and approval of ALDOT. Should the APPLICANT fail to conform to the provisions of the Agreement, such failure shall be grounds for termination and shall be cause for ALDOT to assume the maintenance at the APPLICANT's expense and/or remove the work and restore the right-of-way to ALDOT's discretion at the expense of the APPLICANT. The APPLICANT agrees to pay ALDOT all such costs as a result. ALDOT shall provide thirty (30) days notice, in writing, or any termination.

5. A copy of this Agreement must be kept by all parties that sign the Agreement. The State of Alabama does not grant APPLICANT any right, title, or claim on any highway right-of-way.

6. The APPLICANT agrees to store no equipment, materials, or debris of any kind on the shoulders of pavement and in the case of multi-lane highways, in the median strips. The pavement will be kept free from waste and equipment.

7. This Agreement is executed with the understanding that it is not valid until the APPLICANT has complied with all existing ordinances, laws and zoning boards that have jurisdiction in the county, city, or municipality.

8. The APPLICANT may perform any herbicide treatments necessary to maintain the appearance of the roadside with written permission from ALDOT. This includes but is not limited to concrete islands, median barriers, curbs, and other structures. Herbicide treatments shall conform to the guidelines found in the current edition of *Chapter IV: ALDOT Herbicide Treatment Recommendations*. Treatments shall be applied by an individual in possession of a current Commercial Applicator Permit (ROW category) issued by the Alabama Department of Agriculture & Industries. Daily application reports shall be made available for review by ALDOT upon request.

9. Indemnification Provisions. Please check the appropriate type of applicant:

By entering into this agreement, the APPLICANT is not an agent of the State, its officers, employees, agents or assigns. The APPLICANT is an independent entity from the State and nothing in this agreement creates an agency relationship between the parties.



If the applicant is an incorporated municipality or gas district then:

Subject to the limitations on damages applicable to municipal corporations under Ala. Code § 11-47-190 (1975), the APPLICANT shall defend, indemnify, and hold harmless the State of Alabama, ALDOT, its officers, officials, agents, servants, and employees, in both their official and individual capacities, from and against (1) claims, damages, losses, and expenses, including but not limited to attorneys' fees arising out of, connected with, resulting from or related to the work performed by the APPLICANT, or its officers, employees, contracts, agents or assigns (2) the provision of any services or expenditure of funds required, authorized, or undertaken by the APPLICANT pursuant to the terms of this Agreement, or (3) any damage, loss, expense, bodily injury, or death, or injury or destruction of tangible property (other than the work itself), including loss of use therefrom, and including but not limited to attorneys' fees, caused by the negligent, careless or unskillful acts of the APPLICANT its agents, servants, representatives or employees, or the misuse, misappropriation, misapplication, or misexpenditure of any source of funding, compensation or reimbursement by the APPLICANT, its agents, servants, representatives or employees, or anyone for whose acts the APPLICANT may be liable.

If the applicant is county government then:

The APPLICANT shall be responsible at all times for all of the work performed under this agreement and, as provided in Ala. Code § 11-93-2 (1975), the APPLICANT shall protect, defend, indemnify and hold harmless the State of Alabama, The Alabama Department of Transportation, its officials, officers, servants, and employees, in their official capacities, and their agents and/or assigns.

For all claims not subject to Ala. Code § 11-93-2 (1975), the APPLICANT shall indemnify and hold harmless the State of Alabama, the Alabama Department of Transportation, the officials, officers, servants, and employees, in both their official and individual capacities, and their agents and/or assigns from and against any and all action, damages, claims, loss, liabilities, attorney's fees or expense whatsoever or any amount paid in compromise thereof arising out of, connected with, or related to the (1) work performed under this Agreement, (2) the provision of any services or expenditure of funds required, authorized, or undertaken by the APPLICANT pursuant to the terms of this agreement, or (3) misuse, misappropriation, misapplication, or misexpenditure of any source of funding, compensation or reimbursement by the APPLICANT, its agents, servants, representatives, employees or assigns.

If the applicant is a state governmental agency or institution then:

The APPLICANT shall be responsible for damage to life and property due to activities of the APPLICANT of employees of APPLICANT in connection with the work or services under this Agreement. The APPLICANT agrees that its contractors, subcontractors, agents, servants, vendors or employees of APPLICANT shall possess the experience, knowledge and skill necessary to perform the particular duties required or necessary under this Agreement. The APPLICANT is a state institution and is limited by the Alabama Constitution in its ability to indemnify and hold harmless another entity. The APPLICANT maintains self-insurance coverage applicable to the negligent acts and omissions of its officers and employees, which occur within the scope of their employment by the APPLICANT. The APPLICANT has no insurance coverage applicable to third-party acts, omissions or claims, and can undertake no obligation that might create a debt on the State Treasury. The APPLICANT agrees ALDOT shall not be responsible for the willful, deliberate, wanton or negligent acts of the APPLICANT, or its officials, employees, agents, servants, vendors, contractors or subcontractors. The APPLICANT shall require, its contractors and its subcontractors, agents, servants or vendors, as a term of its contract with the APPLICANT, to include ALDOT as an additional insured in any insurance policy providing coverage for the work to be performed pursuant to and under this Agreement and to provide the APPLICANT a copy of the insurance policy declaration sheet confirming the addition of ALDOT thereto.

10. The APPLICANT agrees to provide pruning and/or trimming of plants in any existing or newly landscaped areas.

11. No new installation or removal of plantings is allowed on the right-of-way under this agreement.

Form MB-06A
Revised May 2017

This Agreement is deemed to be executed on the date hereinabove set forth by the parties hereto in their respective names by those persons and officials thereunto duly authorized. Witness our hands and seals, this the 26th day of October, 2021.

City of Vestavia Hills
Legal Name of Applicant

WITNESS:

By: _____
Authorized Signature and Title for Applicant

Typed or Printed Name of Signee

Address Line 1

Address Line 2

Telephone Number

FOR OFFICIAL USE ONLY

RECOMMENDED FOR APPROVAL:

DISTRICT: _____
Printed Name Signature Date

AREA: _____
Printed Name Signature Date

REGION: _____
Printed Name Signature Date

APPROVED:
ALABAMA DEPARTMENT OF TRANSPORTATION
ACTING BY AND THROUGH ITS TRANSPORTATION
DIRECTOR

(PLEASE CHECK APPROPRIATE BOX)

- CENTRAL OFFICE
- REGION
- AREA
- DISTRICT

By: _____
Printed Name Signature Date

VESTAVIA INTERSTATE LANDSCAPE PLAN

I-65 AT U.S. 31
VESTAVIA HILLS, AL
NW ¼ SECTION I, TOWNSHIP 19 SOUTH, RANGE 3 WEST

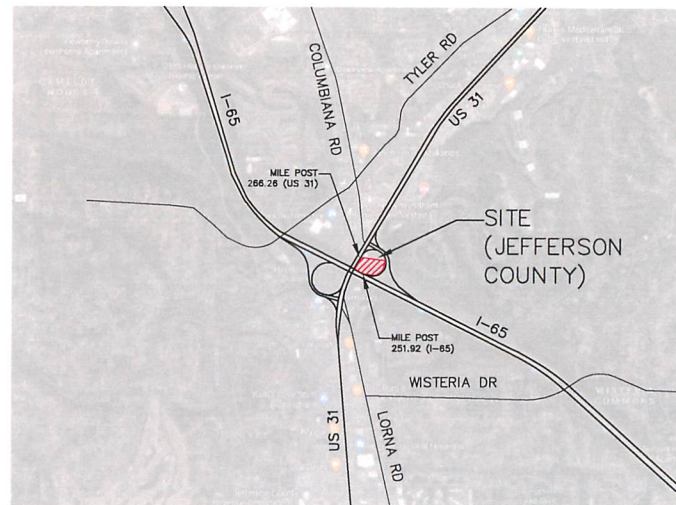


CONTACT:
TOM CALLISON, P.E.
(205) 323-6385
tcallison@mbasei.com

SHEET NUMBER	NAME
	COVER SHEET
C1.0	SITE PLAN
L1.0	DEMOLITION PLAN
L2.0	LANDSCAPE PLAN

ALDOT PERMIT DRAWINGS

AUGUST 3, 2021



LANDSCAPE ARCHITECT:

RENTA URBAN LAND DESIGN
CONTACT: TONY RENTA
3325 ROCKY RIDGE PLZ SUITE 227
VESTAVIA HILLS, AL 35243
EMAIL: TONY@RENTA-ULD.COM
PHONE: (205) 545-7639

SURVEYOR:

BAILEY LAND GROUP
4126 HWY 119
MONTEVALLO, AL 35115
PROJECT CONTACT: JASON BAILEY
EMAIL: JASON@BAILEYLANDGROUP.COM
PHONE: (205) 978-0080

CIVIL ENGINEER:

MBA ENGINEERS, INC.
300 20TH STREET NORTH
BIRMINGHAM, AL 35203
PROJECT CONTACT: TOM CALLISON
EMAIL: TCALLISON@MBASEI.COM
PHONE: (205) 323-6385
CELL: (205) 401-6558

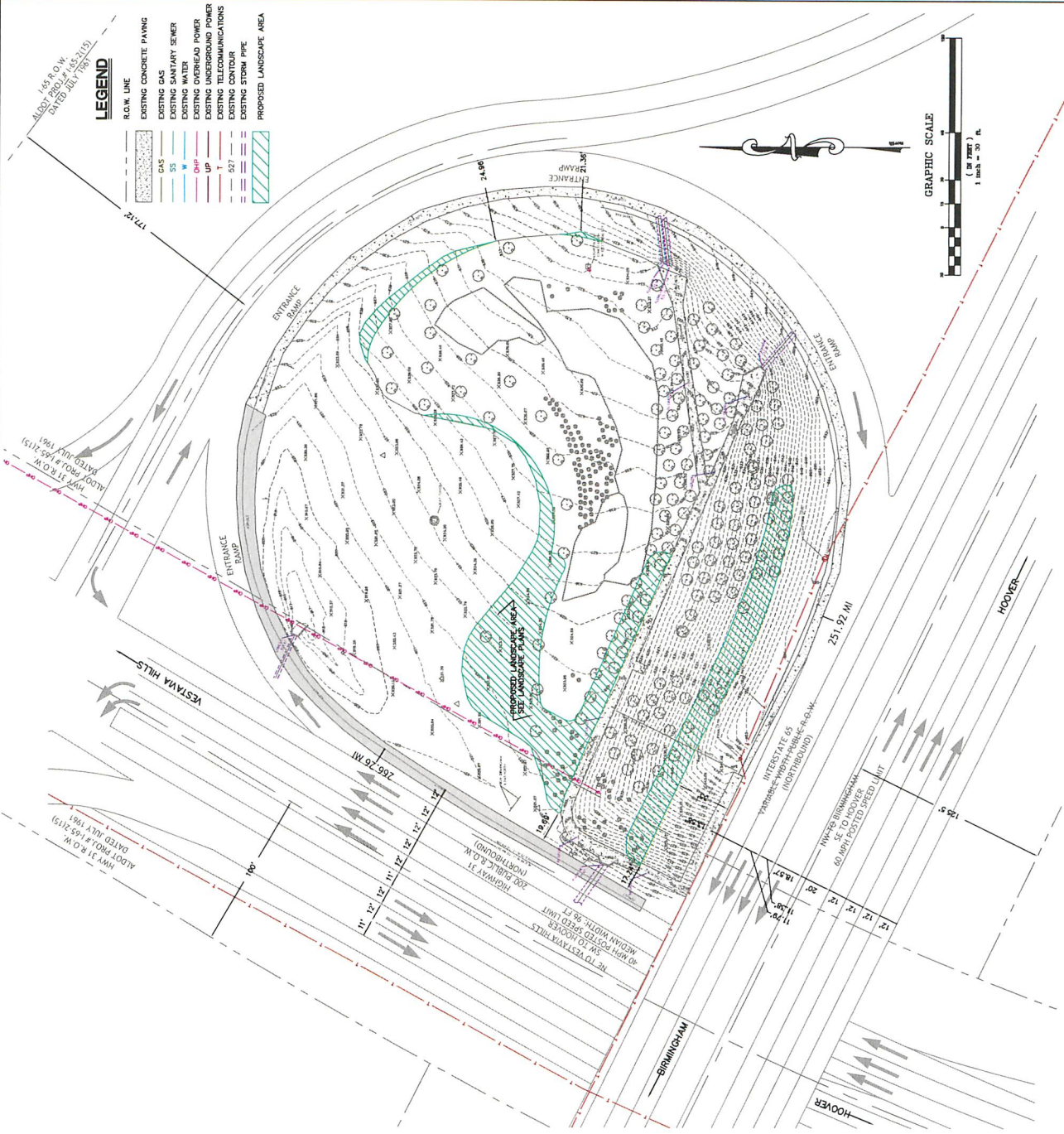
PERMIT SET

PERMIT SET

VESTAVIA INTERSTATE
LANDSCAPE PLAN

MBA ENGINEERS, INC.
STRUCTURAL CIVIL GEOTECHNICAL

Exhibit B - Resolution No. 5357
SHEET TITLE
SITE PLAN
SHEET NO.
C1.0



ALDOT GENERAL NOTES

- CONTACT DISTRICT MANAGER 48 HOURS PRIOR TO BEGINNING WORK ON ALDOT RIGHT-OF-WAY.
- WRITE LETTER REQUESTING TO MEET WITH DISTRICT PERMIT ENGINEER TO DISCUSS PROJECT AND OBTAIN PERMIT TO EVALUATE PUNCH LIST FOR COMPLETION OF PROJECT.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION.
- ON-SITE REPRESENTATIVE WILL HAVE ON HAND, AT ALL TIMES: APPROVED PERMIT AND PUNCH STAMPS BY THE DIVISION ENGINEER.
- ALL DISTURBED AREAS SHALL BE RESEEDED OR SEEDED AS DIRECTED BY THE DEPARTMENT OF TRANSPORTATION'S DISTRICT MANAGER.
- ALL DISTURBED AREAS SHALL BE RESEEDED OR SEEDED AS DIRECTED BY THE DEPARTMENT OF TRANSPORTATION'S DISTRICT MANAGER.
- ALL WORK IN THE RIGHT-OF-WAY MUST BE IN CONFORMANCE WITH THE LATEST EDITION OF ALDOT SPECIFICATIONS.
- GRASSING MUST BE IN CONFORMANCE WITH LATEST STANDARD SPECIFICATIONS.
- ALL INGRESS AND EGRESS SHALL BE FROM THE APPLICANT'S PROPERTY.
- IF BURNED ACCESS FENCE IS CUT, IT SHALL BE CLOSED AT THE END OF EACH DAY'S WORK.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST ALDOT SPECIFICATIONS FOR GRASSING OR AS DIRECTED BY THE ALDOT DISTRICT ADMINISTRATOR.
- BEST MANAGEMENT PRACTICES WILL BE UTILIZED ON THE PROJECT.
- THE AMOUNT OF AREA TO BE DISTURBED DURING CONSTRUCTION OF THIS PERMIT UNDERGROUND OR OPEN CUT EXCAVATION, ACCESSORIES WITH DIMENSIONS FROM EDGE OF PAVEMENT AND RIGHT OF WAY ARE SHOWN ON THE PLANS.
- NO TRENCH OR EXCAVATION SHALL BE LEFT OPEN OVERNIGHT OR UNATTENDED. ALL EXCAVATIONS SHALL BE PROTECTED BY BARRICADES, FENCED, COVERED, OR BARRICADED WHEN UNATTENDED.
- ALL PROPOSED UTILITIES SHALL BE MAINTAINED MINIMUM 2'-VERTICAL AND HORIZONTAL CLEARANCE FROM ALL EXISTING UTILITIES.

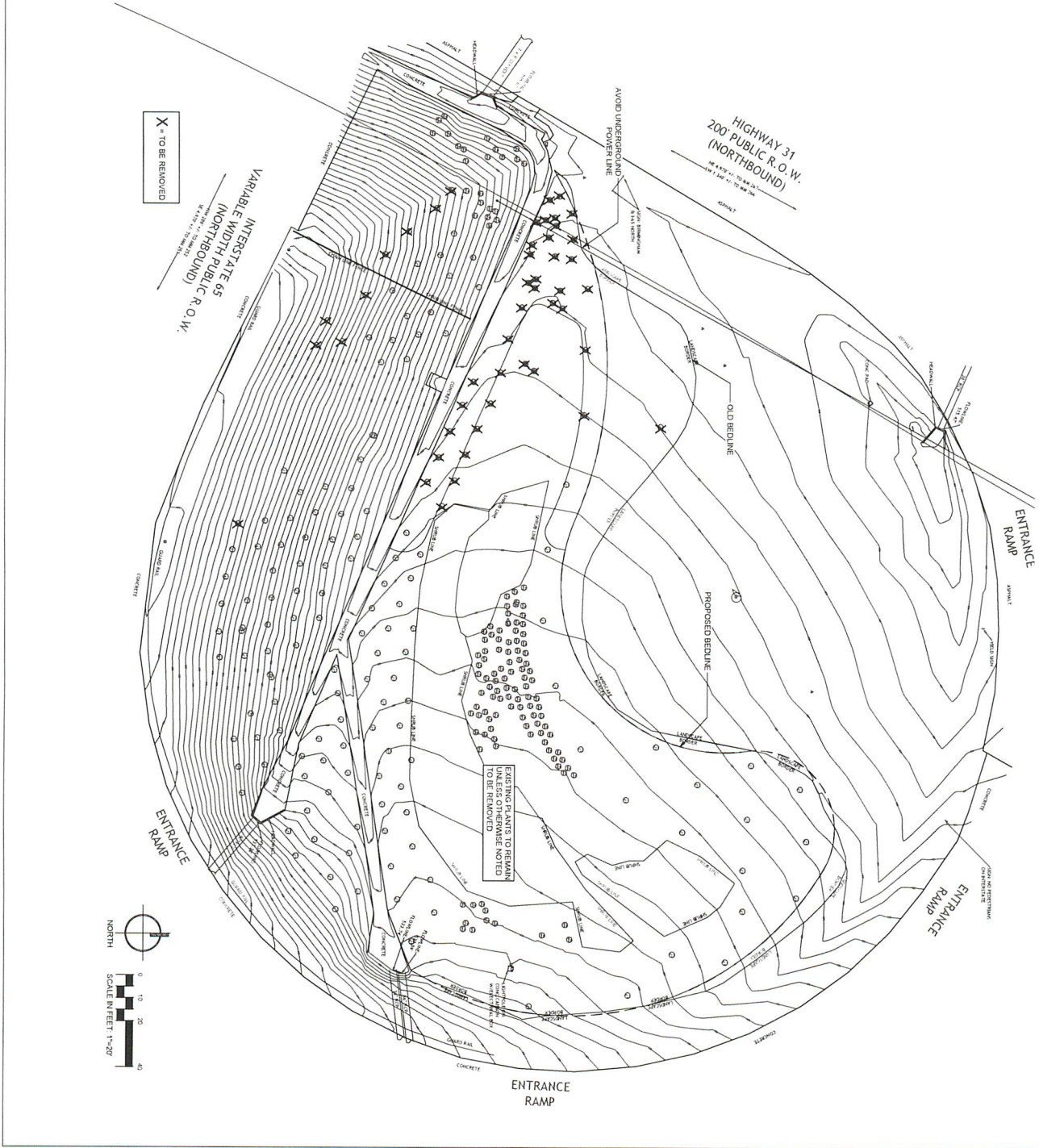
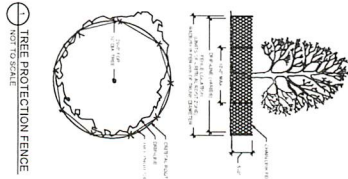
ALDOT CONDITION SPECIFIC NOTES

- GROUND DISTURBANCES (INCLUDING NEW POLE INSTALLATION), ACCORDANCE WITH THE LATEST ALDOT SPECIFICATIONS FOR GRASSING OR AS DIRECTED BY THE ALDOT DISTRICT ADMINISTRATOR.
- BEST MANAGEMENT PRACTICES WILL BE UTILIZED ON THE PROJECT.
- THE AMOUNT OF AREA TO BE DISTURBED DURING CONSTRUCTION OF THIS PERMIT UNDERGROUND OR OPEN CUT EXCAVATION, ACCESSORIES WITH DIMENSIONS FROM EDGE OF PAVEMENT AND RIGHT OF WAY ARE SHOWN ON THE PLANS.
- NO TRENCH OR EXCAVATION SHALL BE LEFT OPEN OVERNIGHT OR UNATTENDED. ALL EXCAVATIONS SHALL BE PROTECTED BY BARRICADES, FENCED, COVERED, OR BARRICADED WHEN UNATTENDED.
- ALL PROPOSED UTILITIES SHALL BE MAINTAINED MINIMUM 2'-VERTICAL AND HORIZONTAL CLEARANCE FROM ALL EXISTING UTILITIES.

1 2 3 4 5 6 7 8

1 2 3 4 5 6 7 8

- REVISIONS:**
1. THE LOCATION OF ALL EXISTING AND PROPOSED CONSTRUCTION SHALL BE MAINTAINED AS SHOWN ON THIS PLAN UNLESS OTHERWISE INDICATED. ANY CHANGES TO THE LOCATION OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER AND THE CITY COMMISSIONER OF PUBLIC WORKS BEFORE CONSTRUCTION BEGINS.
 2. THE LOCATION OF ALL EXISTING AND PROPOSED CONSTRUCTION SHALL BE MAINTAINED AS SHOWN ON THIS PLAN UNLESS OTHERWISE INDICATED. ANY CHANGES TO THE LOCATION OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER AND THE CITY COMMISSIONER OF PUBLIC WORKS BEFORE CONSTRUCTION BEGINS.
 3. THE LOCATION OF ALL EXISTING AND PROPOSED CONSTRUCTION SHALL BE MAINTAINED AS SHOWN ON THIS PLAN UNLESS OTHERWISE INDICATED. ANY CHANGES TO THE LOCATION OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER AND THE CITY COMMISSIONER OF PUBLIC WORKS BEFORE CONSTRUCTION BEGINS.
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 10. THE LOCATION OF ALL EXISTING AND PROPOSED CONSTRUCTION SHALL BE MAINTAINED AS SHOWN ON THIS PLAN UNLESS OTHERWISE INDICATED. ANY CHANGES TO THE LOCATION OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER AND THE CITY COMMISSIONER OF PUBLIC WORKS BEFORE CONSTRUCTION BEGINS.
 11. THE LOCATION OF ALL EXISTING AND PROPOSED CONSTRUCTION SHALL BE MAINTAINED AS SHOWN ON THIS PLAN UNLESS OTHERWISE INDICATED. ANY CHANGES TO THE LOCATION OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER AND THE CITY COMMISSIONER OF PUBLIC WORKS BEFORE CONSTRUCTION BEGINS.
 12. THE LOCATION OF ALL EXISTING AND PROPOSED CONSTRUCTION SHALL BE MAINTAINED AS SHOWN ON THIS PLAN UNLESS OTHERWISE INDICATED. ANY CHANGES TO THE LOCATION OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER AND THE CITY COMMISSIONER OF PUBLIC WORKS BEFORE CONSTRUCTION BEGINS.
 13. THE LOCATION OF ALL EXISTING AND PROPOSED CONSTRUCTION SHALL BE MAINTAINED AS SHOWN ON THIS PLAN UNLESS OTHERWISE INDICATED. ANY CHANGES TO THE LOCATION OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER AND THE CITY COMMISSIONER OF PUBLIC WORKS BEFORE CONSTRUCTION BEGINS.
 14. THE LOCATION OF ALL EXISTING AND PROPOSED CONSTRUCTION SHALL BE MAINTAINED AS SHOWN ON THIS PLAN UNLESS OTHERWISE INDICATED. ANY CHANGES TO THE LOCATION OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER AND THE CITY COMMISSIONER OF PUBLIC WORKS BEFORE CONSTRUCTION BEGINS.



REVISIONS NO. DATE DESCRIPTION			

JOB NO. ACRE-1901
 DATE 04/14/2021
 DRAWN BY JRH
 CHECKED BY ALR
 SHEET NUMBER L1.0

DEMOLITION PLAN

VESTAVIA INTERSTATE LANDSCAPE PLAN
 I-65 AT U.S. 31
 VESTAVIA HILLS, AL

NOT FOR CONSTRUCTION
 FOR REVIEW

RENTA URBAN LAND DESIGN
 BIRMINGHAM CULLMAN HUNTSVILLE
 renta-uld.com



FOR PERMIT

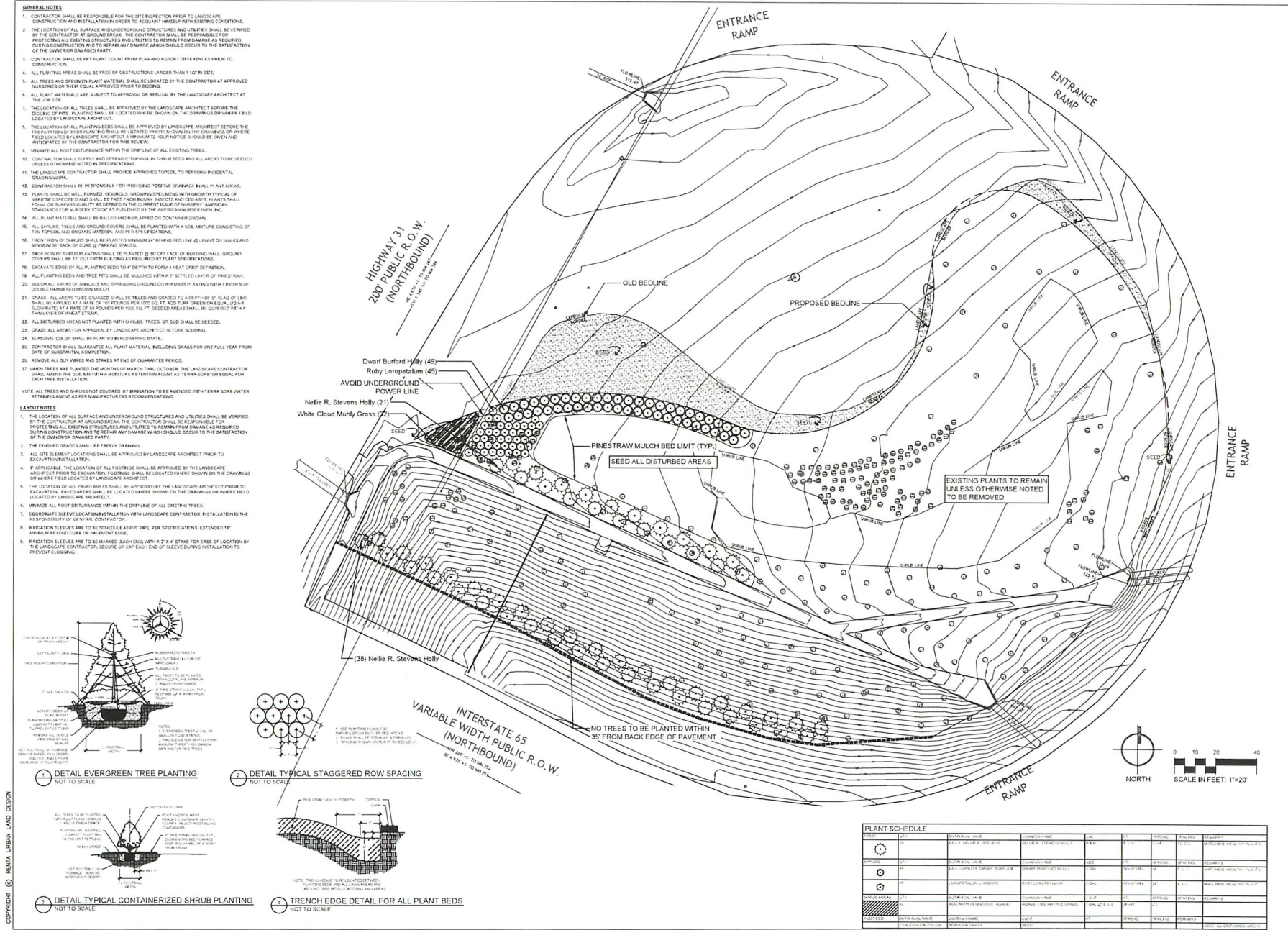
VESTAVIA INTERSTATE LANDSCAPE PLAN
I-65 AT U.S. 31
VESTAVIA HILLS, AL

NO.	DATE	REVISIONS	DESCRIPTION

LANDSCAPE PLAN

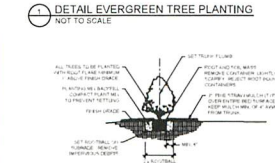
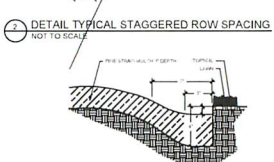
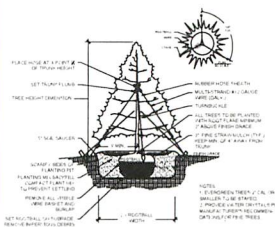
JOB NO. ACRE-1901
DATE: 07/20/2021
DRAWN BY: JRH
CHECKED BY: ALR
SHEET NUMBER

L2.0



- GENERAL NOTES**
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE INSPECTION PRIOR TO LANDSCAPE CONSTRUCTION AND INSTALLATION OF UNDERGROUND UTILITIES TO OCCUR UNDER EXISTING CONDITIONS.
 - THE LOCATION OF ALL SURFACE AND UNDERGROUND STRUCTURES AND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR AT DRIVING BREAK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURES AND UTILITIES TO REMAIN FROM DAMAGE AS REQUIRED. BURIED UTILITIES SHALL BE MARKED AND IDENTIFIED TO REMAIN FROM DAMAGE AS REQUIRED.
 - CONTRACTOR SHALL VERIFY PLANT COUNT FROM PLAN AND REPORT DIFFERENCES PRIOR TO CONSTRUCTION.
 - ALL PLANTING AREAS SHALL BE FREE OF OBSTRUCTIONS LARGER THAN 1/2" IN SIZE.
 - ALL TREES AND SPREADEN PLANT MATERIAL SHALL BE LOCATED BY THE CONTRACTOR AT APPROVED NUMBERS ON THEIR EQUAL APPROVED PRIOR TO BEING.
 - ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL OR REFUSAL BY THE LANDSCAPE ARCHITECT AT THE JOB SITE.
 - THE LOCATION OF ALL TREES SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE THE DRIVING BREAK. PLANTING SHALL BE LOCATED WHERE SHOWN ON THE DRAWINGS OR WHERE FIELD LOCATED BY LANDSCAPE ARCHITECT.
 - THE LOCATION OF ALL PLANTING BEDS SHALL BE APPROVED BY LANDSCAPE ARCHITECT BEFORE THE DRIVING BREAK. PLANTING BEDS SHALL BE LOCATED WHERE SHOWN ON THE DRAWINGS OR WHERE FIELD LOCATED BY LANDSCAPE ARCHITECT. A MINIMUM 72-HOUR NOTICE SHOULD BE GIVEN AND NOTICED BY THE CONTRACTOR FOR THIS REVIEW.
 - MINIMIZE ALL ROOT DISTURBANCE WITHIN THE DRIP LINE OF ALL EXISTING TREES.
 - CONTRACTOR SHALL VERIFY AND PREPARE TOPSOIL IN DRIVE BEDS AND ALL AREAS TO BE SEEDS UNLESS OTHERWISE NOTED IN SPECIFICATIONS.
 - THE LANDSCAPE CONTRACTOR SHALL PROVIDE APPROVED TOPSOIL TO PERFORM INCIDENTAL GRASSWORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE IN ALL PLANT AREAS.
 - PLANTS SHALL BE WELL-FORWARDED, SPREADEN, GROWING STEADILY WITH GROWTH TYPICAL OF SPECIES SPECIFIED AND SHALL BE FREE FROM PESTS, DISEASES AND DEFOLIATION. PLANTS SHALL BE OF SUPERIOR QUALITY AS DEFINED IN THE CURRENT EDITION OF NURSERY AMERICAN STANDARDS FOR NURSERY STOCK AS PUBLISHED BY THE AMERICAN NURSERYMEN, INC.
 - ALL PLANT MATERIAL SHALL BE RALLED AND RALLED OR CONTAINER GROWN.
 - ALL SHRUBS, TREES AND BROAD LEAFED PLANTS SHALL BE PLANTED WITH A SOIL MIXTURE CONSISTING OF 70% TOPSOIL AND 30% GROUNDING MATERIAL AND PER SITE SPECIFICATIONS.
 - FROM BODY OF SHOULDER SHALL BE PLANT TO MINIMUM 24" WITHIN RED LINE (E) LANE OR WALKS AND MINIMUM 36" BACK OF CURB OR PARKING SPACES.
 - BACK EDGE OF CURB PLANTING SHALL BE PLANTED 30" OFF FACE OF BUILDING WALL. GROUND COVER SHALL BE 12" OUT FROM BUILDING AS REQUIRED FOR PLANT SPECIFICATIONS.
 - EXCAVATE EDGE OF ALL PLANTING BEDS TO 4" DEPTH TO FORM A NEAT CRISP DEFINITION.
 - ALL PLANTING BEDS AND TREE PITS SHALL BE MULCHED WITH 3" SETTLE LAYER OF PINE STRAW.
 - NEED SHALL BE 45° ANGLE AND SPREADING SHOULD COVER MASS PLANTING WITH 3 INCHES OF DOUBLE LAMINATED BROWN WALSH.
 - GRASS: ALL AREAS TO BE GRASSED SHALL BE FILLED AND GRADED TO A TYPICAL 1/4" SLOPE OF 1% SHALL BE APPLIED AT A RATE OF 100 POUNDS PER 1000 SQ. FT. SOFT TART GREEN OR EQUAL US-14 SLURRY AT A RATE OF 50 POUNDS PER 1000 SQ. FT. SEEDING AREAS SHALL BE COVERED WITH A THIN LAYER OF PINE STRAW.
 - ALL DISTURBED AREAS NOT PLANTED WITH SHRUBS, TREES OR SOIL SHALL BE SEEDS.
 - GRASS: ALL AREAS FOR APPROVAL BY LANDSCAPE ARCHITECT IN FOR SOILING.
 - SEASONAL COLOR SHALL BE IN PLANTING DRAWINGS STATE.
 - CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL, INCLUDING PERIOD FOR ONE FULL YEAR FROM DATE OF SUBMITTAL COMPLETION.
 - REMOVE ALL QUI WARES AND STAKES AT END OF GUARANTEE PERIOD.
 - WATER TREES ARE PLANTED THE MONTHS OF MARCH THRU OCTOBER. THE LANDSCAPE CONTRACTOR SHALL MOUND THE SOIL AND WITH A MOISTURE RETENTION AGENT AS RECOMMENDED OR EQUAL FOR EACH TREE INSTALLATION.
 - NOTE: ALL TREES AND SHRUBS NOT COVERED BY IRRIGATION TO BE AMENDED WITH TERRA SOILB WATER RETENTION AGENT AS PER MANUFACTURERS RECOMMENDATIONS.

- LANDING NOTES**
- THE LOCATION OF ALL SURFACE AND UNDERGROUND STRUCTURES AND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR AT DRIVING BREAK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURES AND UTILITIES TO REMAIN FROM DAMAGE AS REQUIRED. BURIED UTILITIES SHALL BE MARKED AND IDENTIFIED TO REMAIN FROM DAMAGE AS REQUIRED.
 - THE FINISHED GRADES SHALL BE FREELY DRAINING.
 - ALL SITE ELEMENT LOCATIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO EXCAVATION/INSTALLATION.
 - IF APPLICABLE, THE LOCATION OF ALL FOOTINGS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATION. FOOTINGS SHALL BE LOCATED WHERE SHOWN ON THE DRAWINGS OR WHERE FIELD LOCATED BY LANDSCAPE ARCHITECT.
 - THE LOCATION OF ALL FOUNDATIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATION. FOUNDED AREAS SHALL BE LOCATED WHERE SHOWN ON THE DRAWINGS OR WHERE FIELD LOCATED BY LANDSCAPE ARCHITECT.
 - MINIMIZE ALL ROOT DISTURBANCE WITHIN THE DRIP LINE OF ALL EXISTING TREES.
 - COORDINATE SLEEVE LOCATION/INSTALLATION WITH LANDSCAPE CONTRACTOR. INSTALLATION TO THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR.
 - IRRIGATION SLEEVES ARE TO BE SCHEDULED AS PVC PIPE. PER SPECIFICATIONS. EXTENDED 1" SPACER BEYOND CURB OR PAVEMENT EDGE.
 - IRRIGATION SLEEVES ARE TO BE MARKED (EACH END) WITH A 2" X 4" STAKE FOR EASE OF LOCATION BY THE LANDSCAPE CONTRACTOR. SECOND OR CAP EACH END OF SLEEVE DURING INSTALLATION TO PREVENT COLLAPSE.



PLANT SCHEDULE

SYMBOL	PLANT NAME	QUANTITY	SIZE	DATE	STATUS	REMARKS
(Symbol)	ALLEE PINE TREE	10	12"	07/20/21	OK	MAINTAIN HEALTHY PLANT
(Symbol)	ALLEE PINE TREE	10	12"	07/20/21	OK	MAINTAIN HEALTHY PLANT
(Symbol)	ALLEE PINE TREE	10	12"	07/20/21	OK	MAINTAIN HEALTHY PLANT
(Symbol)	ALLEE PINE TREE	10	12"	07/20/21	OK	MAINTAIN HEALTHY PLANT
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(Symbol)	ALLEE PINE TREE	10	12"	07/20/21	OK	MAINTAIN HEALTHY PLANT
(Symbol)	ALLEE PINE TREE	10	12"	07/20/21	OK	MAINTAIN HEALTHY PLANT

ORDINANCE NUMBER 3056

**ANNEXING CERTAIN TERRITORY TO THE
CORPORATE LIMITS OF THE CITY OF VESTAVIA
HILLS, ALABAMA.**

WHEREAS, on the 9th day of August, 2021, a petition was presented to the City Council of the City of Vestavia Hills, Alabama, proposing the annexation of certain property to the City of Vestavia Hills, Alabama, under the provisions of Act 32 of the Special Session on the Alabama Legislature of 1964; and

WHEREAS, the City Council of the City of Vestavia Hills, at the time and place of its regular meeting on said date, made a determination that the matters contained in the Petition were true and that it was in the public interest that said property be annexed to the City of Vestavia Hills, Alabama.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Vestavia Hills, Alabama, as follows:

1. That the following property which was described in said petition be annexed to the City of Vestavia Hills, Alabama:

2429 Altadena Road
Lot 2, Haynies Add to Ridge Forest
Keith and Taylor Cargal, Owner(s)

2. That this Annexation shall become effective upon the adoption and approval of this Ordinance in accordance with the provisions of law, after which the heretofore described property shall become a part of the City of Vestavia Hills, Alabama.

3. That the City Clerk be and is hereby directed to publish this Ordinance in accordance with the requirements of the law and to file a copy hereof with the Probate Judge of Jefferson County, Alabama.

ADOPTING and APPROVED this the 22nd day of November, 2021.

Ashley C. Curry
Mayor

ATTESTED BY:

Rebecca Leavings
City Clerk

CERTIFICATION:

I, Rebecca Leavings, as City Clerk of the City of Vestavia Hills, Alabama, hereby certify that the above and foregoing copy of 1 (one) Ordinance # 3056 is a true and correct copy of such Ordinance that was duly adopted by the City Council of the City of Vestavia Hills on the 22nd day of November, 2021, as same appears in the official records of said City.


Posted at Vestavia Hills Municipal Center, Vestavia Hills Library in the Forest, Vestavia Hills New Merkle House and Vestavia Hills Recreational Center this the _____ day of _____, 2021.

Rebecca Leavings
City Clerk

2429 Altadena Road



Legend

-  Vestavia_Hills_City_Limits

PARCEL #: 40 00 05 1 000 052.001
OWNER: CARGAL KEITH R & TAYLOR S
ADDRESS: 2429 ALTADENA RD BIRMINGHAM AL 35243
LOCATION: 2429 ALTADENA RD BHAM AL 35243

[111-C0] Baths: 1.5 H/C Sqft: 1,946
 18-015.0 Bed Rooms: 3 Land Sch: A115
 Land: 73,900 Imp: 140,800 Total: 214,700
 Acres: 0.000 Sales Info: 08/21/2014 \$210,000

<< Prev Next >> [1 / 0 Records] Processing...

Tax Year : 2020 ▼

SUMMARY LAND BUILDINGS SALES PHOTOGRAPHS MAPS

SUMMARY

ASSESSMENT
 PROPERTY CLASS: 3 OVER 65 CODE:
 EXEMPT CODE: 2-2 DISABILITY CODE:
 MUN CODE: 02 COUNTY HS YEAR: 2015
 SCHOOL DIST: EXM OVERRIDE AMT: \$0.00
 OVR ASD VALUE: \$0.00 TOTAL MILLAGE: 50.1

 CLASS USE:
 FOREST ACRES: 0 TAX SALE:
 PREV YEAR VALUE: \$205,700.00 BOE VALUE: 0

VALUE
 LAND VALUE 10% \$73,920
 LAND VALUE 20% \$0
 CURRENT USE VALUE [DEACTIVATED] \$0

CLASS 2

CLASS 3
 POOL VINYL 60 29VP600 \$19,600
 BLDG 001 111 \$121,200

 TOTAL MARKET VALUE [APPR. VALUE: \$214,700]: \$214,720
 Assesment Override:
 MARKET VALUE:
 CU VALUE:
 PENALTY:
 ASSESSED VALUE:

TAX INFO

	CLASS	MUNCODE	ASSD. VALUE	TAX	EXEMPTION	TAX EXEMPTION	TOTAL TAX
STATE	3	2	\$21,480	\$139.62	\$4,000	\$26.00	\$113.62
COUNTY	3	2	\$21,480	\$289.98	\$2,000	\$27.00	\$262.98
SCHOOL	3	2	\$21,480	\$176.14	\$0	\$0.00	\$176.14
DIST SCHOOL	3	2	\$21,480	\$0.00	\$0	\$0.00	\$0.00
CITY	3	2	\$21,480	\$0.00	\$0	\$0.00	\$0.00
FOREST	3	2	\$0	\$0.00	\$0	\$0.00	\$0.00
SPC SCHOOL1	3	2	\$21,480	\$109.55	\$0	\$0.00	\$109.55
SPC SCHOOL2	3	2	\$21,480	\$360.86	\$0	\$0.00	\$360.86
TOTAL FEE & INTEREST: (Detail)							\$5.00
ASSD. VALUE: \$21,480.00			\$1,076.15		GRAND TOTAL: \$1,028.15		
							FULLY PAID

DEEDS

INSTRUMENT NUMBER	DATE
201416-435	8/21/2014
9612-4621	10/14/1996

PAYMENT INFO

PAY DATE	TAX YEAR	PAID BY	AMOUNT
1/14/2021	2020	COLE REALTY & INVESTMENT CO	\$1,028.15
12/11/2019	2019	COLE REALTY & INVESTMENT COMPANY INC.	\$983.06
12/20/2018	2018	COLE REALTY AND INVESTMENTS	\$1,053.20
12/12/2017	2017	COLE REALTY & INVESTMENT COMPANY	\$972.04
11/4/2016	2016	COLE REALTY & INVESTMENT COMPANY, INC.	\$939.97
12/7/2015	2015	COLE REALTY & INVESTMENT COMPANY, INC	\$939.97

Annexation Committee Petition Review

Property: 2429 Altadena Road

Owners: Keith and Taylor Cargal

Date: July 6, 2021

1. The property in question is contiguous to the city limits.
Yes No Comments: _____

2. The land use of the petitioned property is compatible with land use in the area.
Yes No Comments: _____

3. The property being petitioned is noted in the September 2006 Annexation Policy Task Force Report as an area of interest to the city for annexation.
Yes No Comments _____

4. Streets and drainage structures are in substantial compliance with city regulations and building codes, and in good condition at the time of the annexation.
Yes No Comments _____

5. Individual household has a Jefferson or Shelby County Tax Assessor minimum market value of \$214,700. Meets city criteria: Yes No
Comment: Value is a little low, but market value will increase with annexation; owner has installed hardwood flooring and made a few other improvements that will increase value with next evaluation.
6. This street has fewer than 100% of the individual properties within the limits of the city
Yes No
Number of total homes ~16 Number in city ~8
7. Fire dues pursuant to Act #604 of the State of Alabama, and any other assessments on the property shall be the responsibility of the property owner, and their payment proven to the city.
Agreed to by petitioner: Yes No Comment _____

Property: 2429 Altadena Road

8. A non-refundable administrative fee of \$100 has been paid to the city. Furthermore, voluntary contributions, including an application fee, of \$_____ will be paid to offset costs associated with the annexation.
Yes _____ No _____ Comment _____


9. Property is free and clear of hazardous waste, debris and materials.
Yes No _____ Comment _____

10. Are there any concerns from city departments?
Yes _____ No Comments: _____

11. Information on children: Number in family 2; Plan to enroll in VH schools Yes No _____ Comments: _____
At Briarwood currently; plan to enroll in VH schools in 1-2 years

Other Comments: _____

George Pierce
Chairman


Kimberly B. Cook
Acting Chairman

CITY OF VESTAVIA HILLS
Department Review of Proposed Annexation
(To be completed by Official City Reviewers)

The following properties have requested to be annexed into the City. Please review this request and then forward your comments to the City Clerk as soon as is reasonably possible.

Location: 2429 Altadena Road

Engineering; Public Services

Date: 6/19/2021 Initials: C Brady

2429 Altadena Road -- no concerns noted; Altadena Road is a Jefferson County maintain road, has been recently paved and in good condition.

Police Department:

Date: 6/18/2021 Initials: J Gasta

Comments: n/p

Fire Department:

Date: 6/18/2021 Initials: R Farrell

Comments: no problem

Board of Education:

Date: 6/18/2021 Initials: J Brown

Comments: No concerns

**City of Vestavia Hills
Tax Calculator
Homestead Properties**

Ordinance No. 3056
2429 Altadena Road

AD VALOREM TAX MILLAGE

Millage Multiplier	
0.02055	Ad valorem to City General Fund: 20.55 mills
0.02875	City BOE portion: 28.75 mills
0.0151	District 20 School: 15.1 mills
0.0082	Countywide School: 8.2 mills
0.05205	Ad valorem to Schools (TOTAL): 52.05 mills

ASSESSED VALUE

		Citizen Access Portal Descriptor	Notes
====>	2429 Altadena Road	Property Address	
====>	\$ 214,700	Appraised Value of Property	TOTAL MARKET VALUE
	10%	Assessment Homestead Rate	
	\$21,470.00	Assessed Value	ASSD. VALUE

AD VALOREM REVENUE

		Citizen Access Portal Descriptor	Notes
\$441.21	City portion of ad valorem	(Subset of CITY)	(20.55 mills rate)
\$617.26	BOE portion of ad valorem	(Subset of CITY)	(28.75 mills rate)
\$1,058.47	Total County remits to City for split with BOE	CITY	
\$324.20	SPC DIST1 BOE local rev (County gives directly to BOE)	SPC SCHOOL1	(15.1 mills rate)
\$176.05	Countywide School Tax to VH	SCHOOL	(8.2 mills rate)

TOTAL AD VALOREM REVENUE

\$441.21	Annexation Revenue to CITY	CITY (General Fund portion)	(20.55 mills)
\$1,117.51	Annexation Revenue to BOE	SCHOOL + SPC SCHOOL1 + CITY (BOE portion)	(8.2 mills + 15.1 mills + 28.75 mills)
\$1,558.72	TOTAL ANNEXATION REVENUE BENEFIT		

Legend
City Revenue
BOE Revenue

STATE OF ALABAMA

Jefferson COUNTY

PETITION FOR ANNEXATION TO THE
CITY OF VESTAVIA HILLS, ALABAMA

Date of Petition: June 11, 2021

To the Honorable Mayor and City Council of the City of Vestavia Hills, Alabama:

We, the undersigned owners of the properties set out in red outline in Exhibit "A" attached hereto, which properties are contiguous to the City limits of the City of Vestavia Hills, Alabama, under the authority of Act No. 32 of the Special Session of the Alabama Legislature of 1964, do hereby petition the City of Vestavia Hills, Alabama, that the properties set out in red outline in Exhibit "A" attached, situated in Jefferson County, Alabama, be annexed to the City of Vestavia Hills, Alabama. The metes and bounds description of the boundary of the property of the undersigned proposed to be annexed is also set out on said Exhibit "A" and a map showing in red the property proposed for annexation by this petition is also attached and made a part hereof.

The undersigned petitioners do further petition that the Honorable Mayor and City Council of the City of Vestavia Hills, Alabama, set a date for the hearing of this petition and any objections in writing to the petition or protest, on a date certain and that no less than ninety (90) days before said date certain for said hearing on this petition, that a notice of said hearing along with this petition be published in a newspaper of general circulation in Jefferson County, Alabama.

We, the undersigned petitioners do also ask that the Honorable Mayor and City Council of the City of Vestavia Hills, Alabama, do all things necessary and requisite to comply with the terms of Act No. 32 of the Special Session of the Alabama Legislature of 1964.

Keith Cargal

Daytime/cell # (205)447-4060

Email: keithcargal88@gmail.com

EXHIBIT "A"

LOT: 2

BLOCK: -

SURVEY: Haynies Add to Ridge Forest 40-00-05-1-000-052-001 Block — Page 12 Lot 2

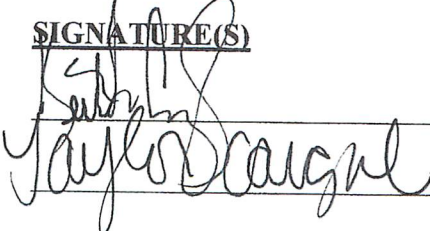
RECORDED IN MAP BOOK 125, PAGE 12 IN THE
PROBATE OFFICE OF Jefferson COUNTY, ALABAMA.

COUNTY ZONING: R1

COMPATIBLE CITY ZONING: _____

LEGAL DESCRIPTION (METES AND BOUNDS): *see attached survey*

IN WITNESS WHEREOF, the undersigned have hereunto set their hands and seals, or caused these presents to be executed by their duly authorized representatives, with full authority.

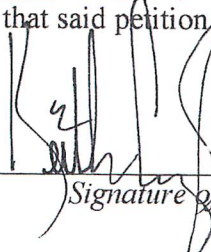
<u>SIGNATURE(S)</u>	<u>DESCRIPTION OF PROPERTY</u>
	Lot <u>2</u> Block <u>100</u> Survey <u>100</u> Haynie's Add to Ridge Forest 40-00-05-1-000-052.001 Block <u>100</u> Page 12 Lot 2
	Lot <u>2</u> Block <u>100</u> Survey <u>100</u> Haynie's Add to Ridge Forest 40-00-05-1-000-052.001 Block <u>100</u> Page 12 Lot 2
	Lot _____ Block _____ Survey _____

(Use reverse side hereof for additional signatures and property descriptions, if needed).

STATE OF ALABAMA


JEFFERSON COUNTY

THE UNDERSIGNED being duly sworn says: I am one of the persons who signed the above petition, and I certify that said petition contains the signatures of all the owners of the described property.



Signature of Certifier

Subscribed and sworn before me this the 12th day of June, 2021.



Notary Public

My commission expires: 4/30/23

EXHIBIT "B"

VESTAVIA HILLS BOARD OF EDUCATION

**1204 Montgomery Highway
Vestavia Hills AL 35216**

(To be completed by the City)

Date of Annexation Petition _____ Action Taken: Grant _____
 Deny _____

Resolution: Date: _____ Number: _____
 Overnight Ordinance: Date: _____ Number: _____
 90 Day Final Ordinance: Date: _____ Number: _____

(To be completed by Homeowner)

Name(s) of Homeowner(s): Keith R. Cargal and Taylor S. Cargal

Address: 2429 Altadena Road

City: Birmingham State: AL Zip: 35243

Information on Children:

**Plan to Enroll In
Vestavia Hills School?**

	Name(s)	Age	School Grade	Yes	No
1.	Sarah Collins Cargal	6	1st	x	
2.	Lawson Marie Cargal	3	K4	x	
3.					
4.					
5.					
6.					

Approximate date for enrolling students in Vestavia Hills City Schools if above response is "yes". Next 1-2 years. Currently attending Briarwood Christian School.

ORDINANCE NUMBER 3057

AN ORDINANCE TO FURTHER AMEND THE ZONING ORDINANCE AND THE ZONING MAP OF THE CITY OF VESTAVIA HILLS, ALABAMA, ADOPTED SEPTEMBER 16, 1985, AND AS LAST AMENDED SO AS TO CHANGE THE CLASS OF DISTRICT ZONING OF PROPERTY FROM JEFFERSON COUNTY R-1 TO VESTAVIA HILLS R-2

BE IT ORDAINED by the City Council of the City of Vestavia Hills, Alabama, as follows: That the Zoning Ordinance and Zoning Map of the City of Vestavia Hills, Alabama, adopted September 16, 1985, and as last amended so as to change the class of district zoning of the following described property from Jefferson County R-1 (medium density single-family residential district) to Vestavia Hills R-2 (medium density single-family residential district):

2429 Altadena Road
Lot 2, Haynies Add to Ridge Forest
Keith and Taylor Cargal, Owners

APPROVED and ADOPTED this the 22nd day of November, 2021.

Ashley C. Curry
Mayor

ATTESTED BY:

Rebecca Leavings
City Clerk

CERTIFICATION:

I, Rebecca Leavings, as City Clerk of the City of Vestavia Hills, Alabama, hereby certify that the above and foregoing copy of 1 (one) Ordinance # 3057 is a true and correct copy of such 22nd day of November, 2021, as same appears in the official records of said City.

Posted at Vestavia Hills City Hall, Vestavia Hills Library in the Forest, New Merkle House and Vestavia Hills Recreational Center this the _____ day of _____, 2021.

Rebecca Leavings
City Clerk

2429 Altadena Road



Legend

■ Vestavia_Hills_City_Limits

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: **OCTOBER 7, 2021**

- **CASE:** P-1021-40
- **REQUESTED ACTION:** Rezoning JC R-1 to Vestavia Hills R-2
- **ADDRESS/LOCATION:** 2429 Altadena Rd.
- **APPLICANT/OWNER:** Keith & Taylor Cargal
- **GENERAL DISCUSSION:** This is a compatible rezoning of annexed property on Altadena Rd. from JC R-1 to VH R-2. Property was annexed overnight by Ordinance 3025 on 8/9/21.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

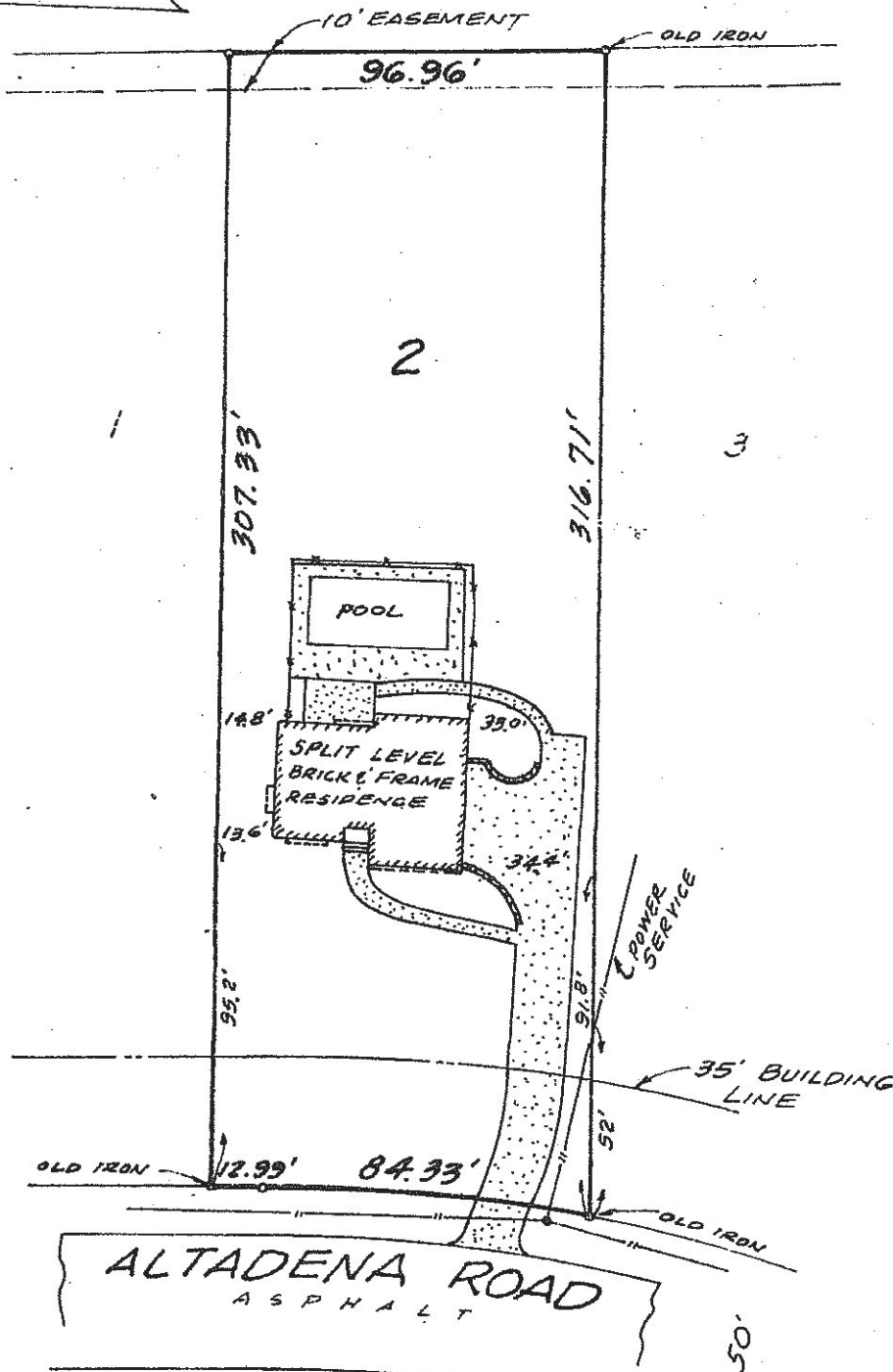
City Planner Recommendation: No recommendation
 2. **City Engineer Review:** I have reviewed the application and I have no issues with this request.
 3. **City Fire Marshal Review:** I have reviewed the application and I have no issues with this request.
 4. **Building Safety Review:** I have reviewed the application and I have no issues with this request.

MOTION Mr. Honeycutt made a motion to recommend Rezoning from JC R-1 to Vestavia Hills R-2 for the property located at 2429 Altadena Rd. Second was by Mr. Sykes. Motion was carried on a roll call; vote as follows:

Mr. Maloof – yes	Mr. Farrell – yes
Mr. Romeo – yes	Mr. Larson – yes
Mr. Sykes – yes	Mr. Vercher – yes
Mr. Honeycutt – yes	Mrs. Barnes – yes

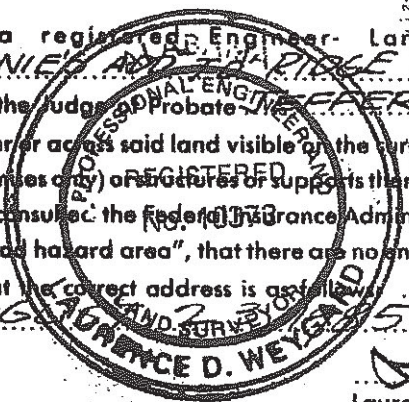
Motion carried.

SCALE: 1" = 50'



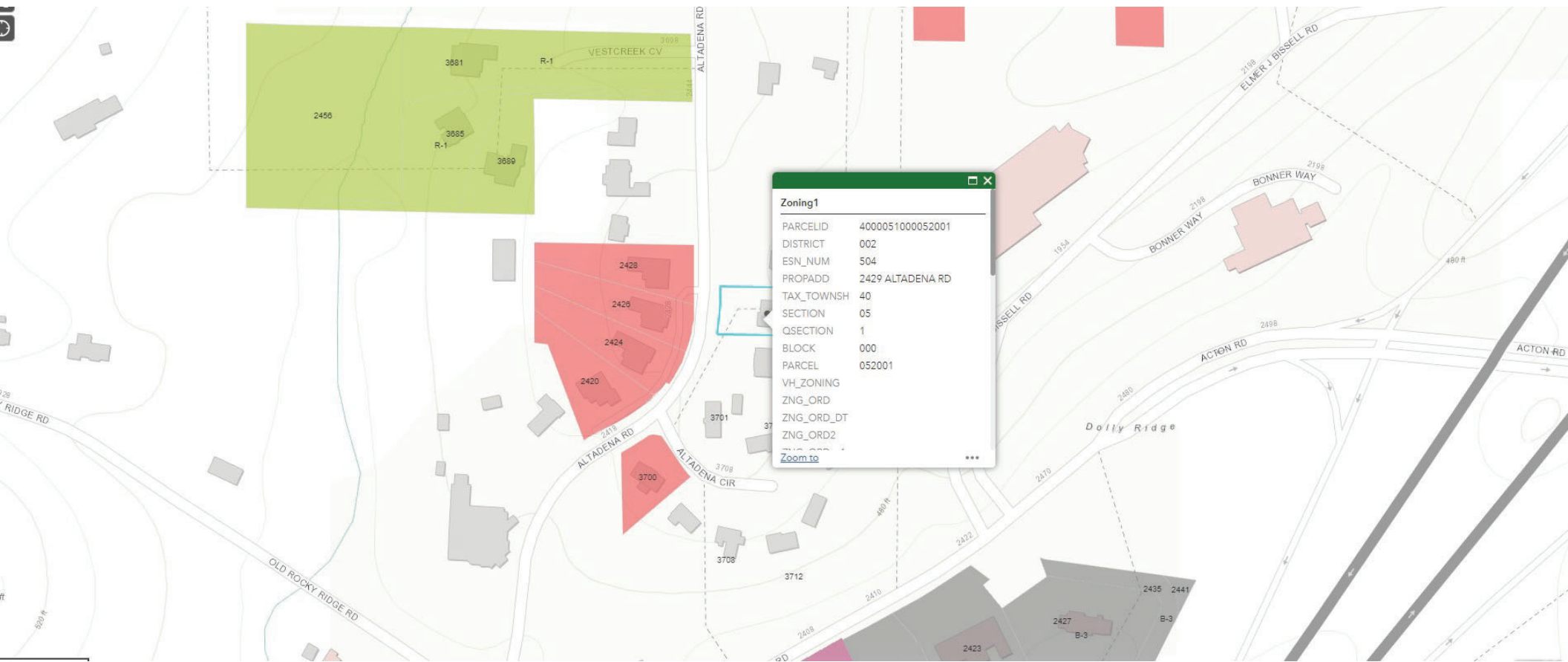
STATE OF ALABAMA
JEFFERSON COUNTY

I, Laurence D. Weygand, a registered Professional Engineer - Land Surveyor, certify that I have surveyed Lot 2, Block - HAYNIE ROAD, HAYNIE FOREST as recorded in Map Volume 125 Page 12 in the office of the Judge of Probate JEFFERSON County, Alabama; that there are no rights-of-way, easements, or joint driveways over or across said land visible on the surface except as shown; that there are no electric or telephone wires (excluding wires which serve premises only) or structures or supports therefor, including poles, anchors and guy wires, on or over said premises except as shown; that I have consulted the Federal Insurance Administration "Flood Hazard Boundary Map" and found that this property is not located in a special flood hazard area; that there are no encroachments on said lot except as shown; that improvements are located as shown above; and that the correct address is as follows: 2429 ALTADENA ROAD according to my survey of: ALIG



PUR: COLE
Order No. 79035

Laurence D. Weygand
Laurence D. Weygand, Reg. No. 10 373 phone: 871-7620
1700 S. 20th Court Suite 100 Birmingham, AL 35202



ORDINANCE NUMBER 3058

**ANNEXING CERTAIN TERRITORY TO THE
CORPORATE LIMITS OF THE CITY OF VESTAVIA
HILLS, ALABAMA.**

WHEREAS, on the 9th day of August, 2021, a petition was presented to the City Council of the City of Vestavia Hills, Alabama, proposing the annexation of certain property to the City of Vestavia Hills, Alabama, under the provisions of Act 32 of the Special Session on the Alabama Legislature of 1964; and

WHEREAS, the City Council of the City of Vestavia Hills, at the time and place of its regular meeting on said date, made a determination that the matters contained in the Petition were true and that it was in the public interest that said property be annexed to the City of Vestavia Hills, Alabama.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Vestavia Hills, Alabama, as follows:

1. That the following property which was described in said petition be annexed to the City of Vestavia Hills, Alabama:

2621 Red Bud Lane
Jordan Hoffman, Owner

Lot 4A, Gary & Pam West Survey, LESS AND EXCEPT 40' strip located on the southern boundary of the lot, more particularly described as follows:

Parcel of land situated in northwest 1/4 of Section 33, Township 18 South, Range 2 West, Jefferson County, Alabama, and being a part of Lot 4A, according to the Gary and Pam West Survey, as recorded in Map Book 216, page 90, in the Probate office of Jefferson County, Alabama, and also being a part of Parcel 1 and Parcel 2, as recorded in Deed Book 914, page 5907, and being described as follows:

Commence at the southwest corner of Estate number 4, as recorded in Map Book 27, page 14 in the Probate office of Jefferson County, Alabama and further shown on Map Book 226, page 45. Being a 1 inch iron found, thence from said point run S 53 degrees 54'00"E along the southerly line of said Estate No. 4 for a distance of 179.40 feet to the point of beginning said point being a capped re bar set stamped "CARR 00010 LS" lying on the southerly line of Lot 4A; from said point run N 36 degrees 34'17" E for a distance of 184.92 feet to capped re bar found stamped RYS 21784 lying on the

southerly line of a Red Bud Lane being 30 feet in width; thence run S 53 degrees 37'06" E along said southerly line of Red Bud Lane and along the northernly line of said Lot 4A for a distance of 262.72 feet to a capped rebar set stamped "CARR 000 IO LS"; thence leaving said Red Bud Lane run S 35 degrees 40'00"W for a distance of 183.59 feet to a capped rebar set stamped "CARR 000 1 O LS" lying on the southerly line of said Lot 4A; thence run N 53 degrees 54'00"W along the southerly line of said Lot 4A for a distance of 265.62 feet to the Point of Beginning.

2. That this Annexation shall become effective upon the adoption and approval of this Ordinance in accordance with the provisions of law, after which the heretofore described property shall become a part of the City of Vestavia Hills, Alabama.

3. That the City Clerk be and is hereby directed to publish this Ordinance in accordance with the requirements of the law and to file a copy hereof with the Probate Judge of Jefferson County, Alabama.

ADOPTING and APPROVED this the 22nd day of November, 2021.

Ashley C. Curry
Mayor

ATTESTED BY:

Rebecca Leavings
City Clerk

CERTIFICATION:

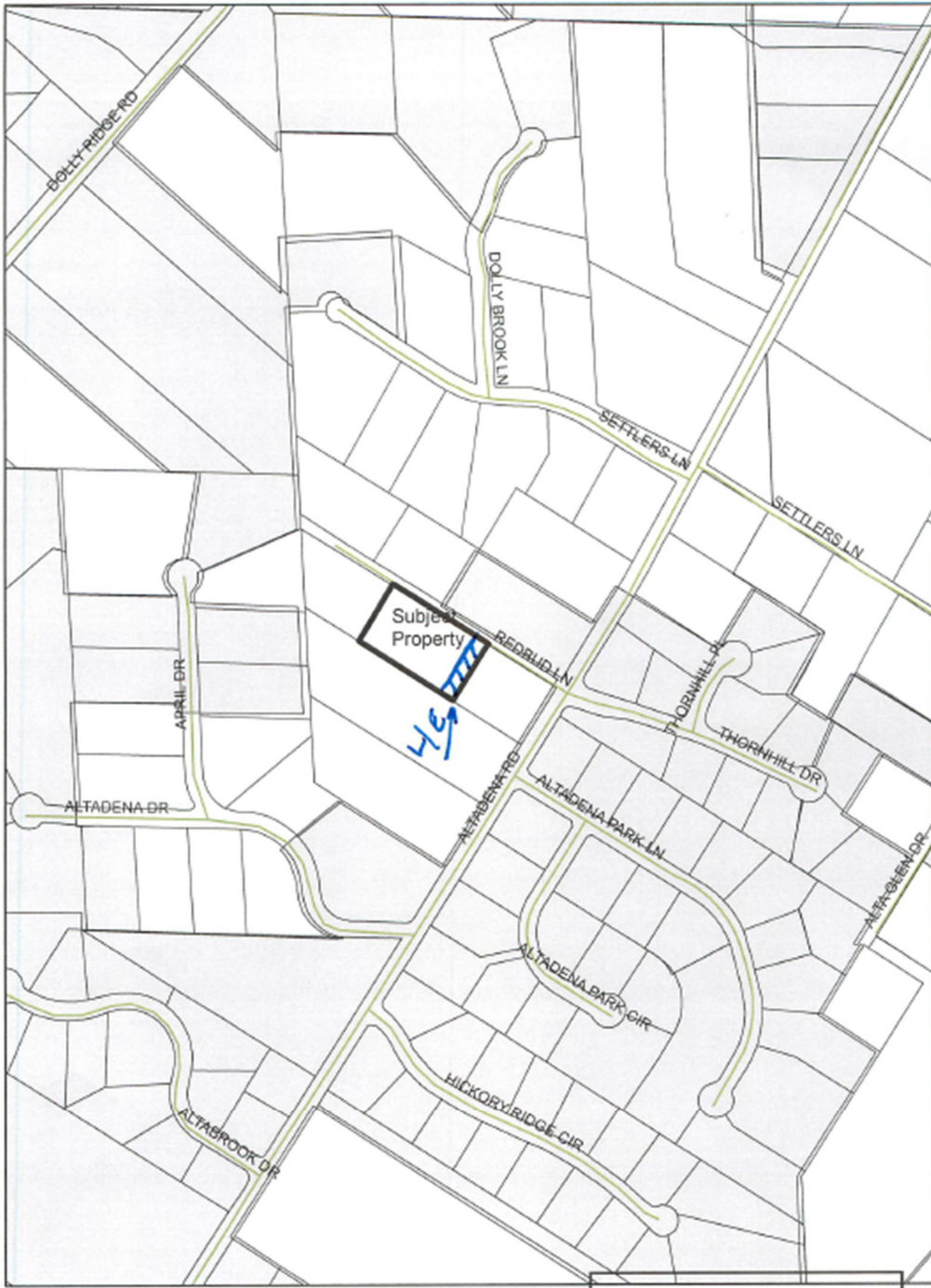
I, Rebecca Leavings, as City Clerk of the City of Vestavia Hills, Alabama, hereby certify that the above and foregoing copy of 1 (one) Ordinance # 3058 is a true and correct copy of such Ordinance that was duly adopted by the City Council of the City of Vestavia Hills on the 22nd day of November, 2021, as same appears in the official records of said City.

Posted at Vestavia Hills Municipal Center, Vestavia Hills Library in the Forest, Vestavia Hills New Merkle House and Vestavia Hills Recreational Center this the _____ day of _____, 2021.


Rebecca Leavings
City Clerk

2621 Red Bud Lane

2621 Red Bud Lane



Legend

 Vestavia_Hills_City_Limits

**City of Vestavia Hills
Tax Calculator
Homestead Properties**

Ordinance No. 3058
2621 Red Bud Lane

AD VALOREM TAX MILLAGE

Millage Multiplier	
0.02055	Ad valorem to City General Fund: 20.55 mills
0.02875	City BOE portion: 28.75 mills
0.0151	District 20 School: 15.1 mills
0.0082	Countywide School: 8.2 mills
0.05205	Ad valorem to Schools (TOTAL): 52.05 mills

ASSESSED VALUE

		Citizen Access Portal Descriptor	Notes
====>	2621 Red Bud Lane	Property Address	
====>	\$ 515,000	Appraised Value of Property	TOTAL MARKET VALUE
	10%	Assessment Homestead Rate	
	\$51,500.00	Assessed Value	ASSD. VALUE

AD VALOREM REVENUE

		Citizen Access Portal Descriptor	Notes
\$1,058.33	City portion of ad valorem	(Subset of CITY)	(20.55 mills rate)
\$1,480.63	BOE portion of ad valorem	(Subset of CITY)	(28.75 mills rate)
\$2,538.95	Total County remits to City for split with BOE	CITY	
\$777.65	SPC DIST1 BOE local rev (County gives directly to BOE)	SPC SCHOOL1	(15.1 mills rate)
\$422.30	Countywide School Tax to VH	SCHOOL	(8.2 mills rate)

TOTAL AD VALOREM REVENUE

\$1,058.33	Annexation Revenue to CITY	CITY (General Fund portion)	(20.55 mills)
\$2,680.58	Annexation Revenue to BOE	SCHOOL + SPC SCHOOL1 + CITY (BOE portion)	(8.2 mills + 15.1 mills + 28.75 mills)
\$3,738.90	TOTAL ANNEXATION REVENUE BENEFIT		

Legend
City Revenue
BOE Revenue

Annexation Committee Petition Review

Property: 2621 Red Bud Ln

Owners: Jordan Hoffman

Date: July 6, 2021

1. The property in question is contiguous to the city limits.
Yes No Comments: With the companion annexation of 2625, this property is clearly contiguous.
2. The land use of the petitioned property is compatible with land use in the area.
Yes No Comments: _____
3. The property being petitioned is noted in the September 2006 Annexation Policy Task Force Report as an area of interest to the city for annexation.
Yes No Comments _____
4. Streets and drainage structures are in substantial compliance with city regulations and building codes, and in good condition at the time of the annexation.
Yes No Comments Streets are in fair condition and road maintenance will remain shared with the County; no significant concerns.
5. Individual household has a Jefferson or Shelby County Tax Assessor minimum market value of \$515,000. Meets city criteria: Yes No
Comment: _____
6. This street has fewer than 100% of the individual properties within the limits of the city
Yes No
Number of total homes 6 Number in city 3 (with companion annexation of 2629 Redbud Lane)
7. Fire dues pursuant to Act #604 of the State of Alabama, and any other assessments on the property shall be the responsibility of the property owner, and their payment proven to the city.
Agreed to by petitioner: Yes No Comment _____

Property: 2621 Red Bud Ln

8. A non-refundable administrative fee of \$100 has been paid to the city.
Furthermore, voluntary contributions, including an application fee, of
\$ _____ will be paid to offset costs associated with the annexation.
Yes _____ No _____ Comment _____


9. Property is ~~free~~ and clear of hazardous waste, debris and materials.
Yes No _____ Comment _____

10. Are there any concerns from city departments?
Yes _____ No Comments: _____
The only concern noted is the lack of an emergency turnaround; Fire Marshal said concern is not critical.

11. Information on children: Number in family N/A; Plan to enroll in VH
schools Yes _____ No N/A Comments: _____

Other Comments: _____

George Pierce
Chairman


Kimberly B. Cook
Acting Chairman

CITY OF VESTAVIA HILLS
Department Review of Proposed Annexation
(To be completed by Official City Reviewers)

The following properties have requested to be annexed into the City. Please review this request and then forward your comments to the City Clerk as soon as is reasonably possible.

Location: 2621 Red Bud Lane

Engineering; Public Services
2621 Red Bud Lane -- no significant concerns noted; roadway asphalt is in fair condition; evidence of utility cuts in asphalt; the roadway width is slightly more narrow than typical City standards (21 feet vs. 22 feet) and has little to no shoulders; no gutter and no significant drainage structures; residents have noted drainage concerns outside of the public right-of-way; a few neighboring properties will remain in unincorporated Jefferson County so we anticipate roadway maintenance will continue to be shared responsibility with County; there is no emergency turnaround at end of roadway.

C. Brady

Date: 6/18/2021 Initials: J. Gasta

PD Comments: N/A

Fire Department: Date: 6/18/2021 Initials: S Farrell
Comments: No Emergency Turnaround

Board of Education: Date: 6/18/2021 Initials: S Brown
Comments: No Concerns

PARCEL #: 28 00 33 2 001 024.000
OWNER: PEACOCK DAVID K JR & MERRILL MARLY N
ADDRESS: 2621 RED BUD LN BIRMINGHAM AL 35243-2237
LOCATION: 2621 REDBUD LN BHAM AL 35243

[111-C-] Baths: 2.0 H/C Sqft: 2,533
18-013.0 Bed Rooms: 3 Land Sch: A114
 Land: 209,600 Imp: 197,700 Total: 407,300
 Acres: 0.000 Sales Info: 03/12/2020 \$515,000

<< Prev Next >> [1 / 0 Records] Processing...

Tax Year : 2020 ▼

SUMMARY LAND BUILDINGS SALES PHOTOGRAPHS MAPS

SUMMARY

ASSESSMENT

PROPERTY CLASS: 3 OVER 65 CODE:
 EXEMPT CODE: 2-2 DISABILITY CODE:
 MUN CODE: 02 COUNTY HS YEAR: 0
 SCHOOL DIST: EXM OVERRIDE AMT: \$0.00
 OVR ASD VALUE: \$0.00 TOTAL MILLAGE: 50.1

CLASS USE:
 FOREST ACRES: 0 TAX SALE:
 PREV YEAR VALUE: \$390,000.00 BOE VALUE: 0

VALUE

LAND VALUE 10% \$209,600
 LAND VALUE 20% \$0
 CURRENT USE VALUE [DEACTIVATED] \$0

CLASS 2

CLASS 3

UTILITY STEEL O 26SAPFE \$23,700
 BLDG 001 111 \$174,000

TOTAL MARKET VALUE [APPR. VALUE: \$407,300]: \$407,300

Assesment Override:
 MARKET VALUE:
 CU VALUE:
 PENALTY:
 ASSESSED VALUE:

TAX INFO

	CLASS	MUNCODE	ASSD. VALUE	TAX	EXEMPTION	TAX EXEMPTION	TOTAL TAX
STATE	3	2	\$40,740	\$264.81	\$4,000	\$26.00	\$238.81
COUNTY	3	2	\$40,740	\$549.99	\$2,000	\$27.00	\$522.99
SCHOOL	3	2	\$40,740	\$334.07	\$0	\$0.00	\$334.07
DIST SCHOOL	3	2	\$40,740	\$0.00	\$0	\$0.00	\$0.00
CITY	3	2	\$40,740	\$0.00	\$0	\$0.00	\$0.00
FOREST	3	2	\$0	\$0.00	\$0	\$0.00	\$0.00
SPC SCHOOL1	3	2	\$40,740	\$207.77	\$0	\$0.00	\$207.77
SPC SCHOOL2	3	2	\$40,740	\$684.43	\$0	\$0.00	\$684.43

TOTAL FEE & INTEREST: (Detail) \$5.00

ASSD. VALUE: \$40,740.00 **\$2,041.07** **GRAND TOTAL: \$1,993.07**

FULLY PAID

DEEDS

INSTRUMENT NUMBER	DATE
2020030326	3/12/2020
200910-29783	10/30/2009
9914-5907	10/29/1999

PAYMENT INFO

PAY DATE	TAX YEAR	PAID BY	AMOUNT
1/5/2021	2020	NICHOLAS HOFFMAN	\$1,993.07
1/10/2020	2019	CORELOGIC	\$1,905.90
11/14/2018	2018	WELLS FARGO HOME MORTGAGE	\$2,437.13
11/29/2017	2017	WELLS FARGO HOME MORTGAGE	\$1,940.97
11/16/2016	2016	WELLS FARGO	\$1,846.78
11/20/2015	2015	WELLS FARGO	\$1,846.78
12/8/2014	2014	WELLS FARGO HOME MORTGAGE	\$1,389.87
12/11/2013	2013	WELLS FARGO	\$1,389.87

STATE OF ALABAMA

Jefferson COUNTY

**PETITION FOR ANNEXATION TO THE
CITY OF VESTAVIA HILLS, ALABAMA**

Date of Petition: January 19, 2021

To the Honorable Mayor and City Council of the City of Vestavia Hills, Alabama:

We, the undersigned owners of the properties set out in red outline in Exhibit "A" attached hereto, which properties are contiguous to the City limits of the City of Vestavia Hills, Alabama, under the authority of Act No. 32 of the Special Session of the Alabama Legislature of 1964, do hereby petition the City of Vestavia Hills, Alabama, that the properties set out in red outline in Exhibit "A" attached, situated in Jefferson County, Alabama, be annexed to the City of Vestavia Hills, Alabama. The metes and bounds description of the boundary of the property of the undersigned proposed to be annexed is also set out on said Exhibit "A" and a map showing in red the property proposed for annexation by this petition is also attached and made a part hereof.

The undersigned petitioners do further petition that the Honorable Mayor and City Council of the City of Vestavia Hills, Alabama, set a date for the hearing of this petition and any objections in writing to the petition or protest, on a date certain and that no less than ninety (90) days before said date certain for said hearing on this petition, that a notice of said hearing along with this petition be published in a newspaper of general circulation in Jefferson County, Alabama.

We, the undersigned petitioners do also ask that the Honorable Mayor and City Council of the City of Vestavia Hills, Alabama, do all things necessary and requisite to comply with the terms of Act No. 32 of the Special Session of the Alabama Legislature of 1964.

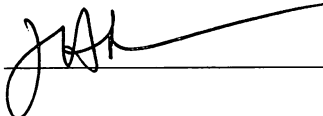
Contact Information: Cell phone: 575-520-9543
Email: Jordan.Simons@yahoo.com

Car Tag Numbers: 1FA6482
1FA6483

IN WITNESS WHEREOF, the undersigned have hereunto set their hands and seals, or caused these presents to be executed by their duly authorized representatives, with full authority.

SIGNATURE(S)

DESCRIPTION OF PROPERTY

	Lot <u>4A</u> Block _____ Survey <u>NW 1/4 Section 33, Township 18S, Range 2W</u> <u>Gary and Pam West</u>
_____	Lot _____ Block _____ Survey _____
_____	Lot _____ Block _____ Survey _____

(Use reverse side hereof for additional signatures and property descriptions, if needed).

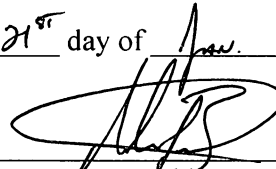
STATE OF ALABAMA

Stellby COUNTY

Jordan Hickman being duly sworn says: I am one of the persons who signed the above petition, and I certify that said petition contains the signatures of all the owners of the described property.


Signature of Certifier

Subscribed and sworn before me this the 21st day of Nov., 2021.


Notary Public

My commission expires: 11/07/2022

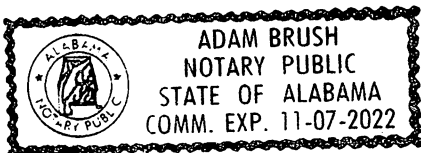


EXHIBIT "A"

LOT: 4A

BLOCK: Northwest 1/4 of Section 33, Township 18 South, Range 2 West

SURVEY: Gary and Pam West

RECORDED IN MAP BOOK 216, PAGE 90 IN THE

PROBATE OFFICE OF Jefferson COUNTY, ALABAMA.

COUNTY ZONING: Jefferson

COMPATIBLE CITY ZONING: Vestavia Hills

LEGAL DESCRIPTION (METES AND BOUNDS):

Parcel of land situated in northwest 1/4 of Section 33, Township 18 South, Range 2 West, Jefferson County, Alabama, and being a part of Lot 4A, according to the Gary and Pam West Survey, as recorded in Map Book 216, page 90, in the Probate office of Jefferson County, Alabama, and also being a part of Parcel 1 and Parcel 2, as recorded in Deed Book 914, page 5907, and being described as follows:

Commence at the southwest corner of Estate number 4, as recorded in Map Book 27, page 14 in the Probate office of Jefferson County, Alabama and further shown on Map Book 226, page 45. Being a 1 inch iron found, thence from said point run S 53 degrees 54'00"E along the southerly line of said Estate No. 4 for a distance of 179.40 feet to the point of beginning said point being a capped rebar set stamped "CARR 00010 LS" lying on the southerly line of Lot 4A; from said point run N 36 degrees 34'17" E for a distance of 184.92 feet to capped rebar found stamped RYS 21784 lying on the southerly line of a Red Bud Lane being 30 feet in width; thence run S 53 degrees 37'06" E along said southerly line of Red Bud Lane and along the northerly line of said Lot 4A for a distance of 262.72 feet to a capped rebar set stamped "CARR 00010 LS"; thence leaving said Red Bud Lane run S 35 degrees 40'00"W for a distance of 183.59 feet to a capped rebar set stamped "CARR 00010 LS" lying on the southerly line of said Lot 4A; thence run N 53 degrees 54'00"W along the southerly line of said Lot 4A for a distance of 265.62 feet to the Point of Beginning.

EXHIBIT "B"

VESTAVIA HILLS BOARD OF EDUCATION

1204 Montgomery Highway

Vestavia Hills AL 35216

(To be completed by the City)

Date of Annexation Petition _____ Action Taken: Grant _____
Deny _____

Resolution: Date: _____ Number: _____

Overnight Ordinance: Date: _____ Number: _____

90 Day Final Ordinance: Date: _____ Number: _____

(To be completed by Homeowner)

Name(s) of Homeowner(s): Jordan Hoffman

Address: 2621 Red Bud Lane

City: Birmingham State: AL Zip: 35243

Information on Children:

**Plan to Enroll In
Vestavia Hills School?**

	Name(s)	Age	School Grade	Yes	No
1.	N/A				
2.					
3.					
4.					
5.					
6.					

Approximate date for enrolling students in Vestavia Hills City Schools if above response is "yes". _____

ORDINANCE NUMBER 3059

**ANNEXING CERTAIN TERRITORY TO THE
CORPORATE LIMITS OF THE CITY OF VESTAVIA
HILLS, ALABAMA.**

WHEREAS, on the 9th day of August, 2021, a petition was presented to the City Council of the City of Vestavia Hills, Alabama, proposing the annexation of certain property to the City of Vestavia Hills, Alabama, under the provisions of Act 32 of the Special Session on the Alabama Legislature of 1964; and

WHEREAS, the City Council of the City of Vestavia Hills, at the time and place of its regular meeting on said date, made a determination that the matters contained in the Petition were true and that it was in the public interest that said property be annexed to the City of Vestavia Hills, Alabama.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Vestavia Hills, Alabama, as follows:

1. That the following property which was described in said petition be annexed to the City of Vestavia Hills, Alabama:

2625 Red Bud Lane
Lot 4B, LB Lloyd Subd.
Deborah and Jack Standifer, Owner(s)

2. That this Annexation shall become effective upon the adoption and approval of this Ordinance in accordance with the provisions of law, after which the heretofore described property shall become a part of the City of Vestavia Hills, Alabama.

3. That the City Clerk be and is hereby directed to publish this Ordinance in accordance with the requirements of the law and to file a copy hereof with the Probate Judge of Jefferson County, Alabama.

ADOPTING and APPROVED this the 22nd day of November, 2021.

Ashley C. Curry
Mayor

ATTESTED BY:

Rebecca Leavings
City Clerk

CERTIFICATION:

I, Rebecca Leavings, as City Clerk of the City of Vestavia Hills, Alabama, hereby certify that the above and foregoing copy of 1 (one) Ordinance # 3059 is a true and correct copy of such Ordinance that was duly adopted by the City Council of the City of Vestavia Hills on the 22nd day of November, 2021, as same appears in the official records of said City.

Posted at Vestavia Hills Municipal Center, Vestavia Hills Library in the Forest, Vestavia Hills New Merkle House and Vestavia Hills Recreational Center this the _____ day of _____, 2021.

Rebecca Leavings
City Clerk

2625 Red Bud Lane



**City of Vestavia Hills
Tax Calculator
Homestead Properties**

Ordinance No. 3059
2625 Red Bud Lane

AD VALOREM TAX MILLAGE

Millage Multiplier	
0.02055	Ad valorem to City General Fund: 20.55 mills
0.02875	City BOE portion: 28.75 mills
0.0151	District 20 School: 15.1 mills
0.0082	Countywide School: 8.2 mills
0.05205	Ad valorem to Schools (TOTAL): 52.05 mills

ASSESSED VALUE

		Citizen Access Portal Descriptor	Notes
====>	2625 Red Bud Lane	Property Address	
====>	\$ 626,000	Appraised Value of Property	TOTAL MARKET VALUE
	10%	Assessment Homestead Rate	
	\$62,600.00	Assessed Value	ASSD. VALUE

AD VALOREM REVENUE

		Citizen Access Portal Descriptor	Notes
\$1,286.43	City portion of ad valorem	(Subset of CITY)	(20.55 mills rate)
\$1,799.75	BOE portion of ad valorem	(Subset of CITY)	(28.75 mills rate)
\$3,086.18	Total County remits to City for split with BOE	CITY	
\$945.26	SPC DIST1 BOE local rev (County gives directly to BOE)	SPC SCHOOL1	(15.1 mills rate)
\$513.32	Countywide School Tax to VH	SCHOOL	(8.2 mills rate)

TOTAL AD VALOREM REVENUE

\$1,286.43	Annexation Revenue to CITY	CITY (General Fund portion)	(20.55 mills)
\$3,258.33	Annexation Revenue to BOE	SCHOOL + SPC SCHOOL1 + CITY (BOE portion)	(8.2 mills + 15.1 mills + 28.75 mills)
\$4,544.76	TOTAL ANNEXATION REVENUE BENEFIT		

Legend
City Revenue
BOE Revenue

Annexation Committee Petition Review

Property: 2525 Red Bud Ln

Owners: Jack and Deborah Standifer

Date: July 6, 2021

1. The property in question is contiguous to the city limits.
Yes No Comments: _____

2. The land use of the petitioned property is compatible with land use in the area.
Yes No Comments: _____

3. The property being petitioned is noted in the September 2006 Annexation Policy Task Force Report as an area of interest to the city for annexation.
Yes No Comments _____

4. Streets and drainage structures are in substantial compliance with city regulations and building codes, and in good condition at the time of the annexation.
Yes No Comments _____
The only concern noted is the lack of an emergency turnaround; Fire Marshal said concern is not critical.
5. Individual household has a Jefferson or Shelby County Tax Assessor minimum market value of \$626,000. Meets city criteria: Yes No
Comment: _____
6. This street has fewer than 100% of the individual properties within the limits of the city
Yes No
Number of total homes 6 Number in city 3 (with companion annexation of 2629 Redbud Lane)
7. Fire dues pursuant to Act #604 of the State of Alabama, and any other assessments on the property shall be the responsibility of the property owner, and their payment proven to the city.
Agreed to by petitioner: Yes No Comment _____

Property: 2525 Red Bud Ln

8. A non-refundable administrative fee of \$100 has been paid to the city.
Furthermore, voluntary contributions, including an application fee, of
\$ _____ will be paid to offset costs associated with the annexation.
Yes _____ No _____ Comment _____

9. Property is free and clear of hazardous waste, debris and materials.
Yes No _____ Comment _____

10. Are there any concerns from city departments?
Yes _____ No Comments: _____

11. Information on children: Number in family 2; Plan to enroll in VH
schools Yes No _____ Comments: (possibly)

Other Comments: _____

George Pierce
Chairman



Kimberly B. Cook
Acting Chairman

EXHIBIT "C"

CITY OF VESTAVIA HILLS
Department Review of Proposed Annexation
(To Be completed by City Staff)

The following properties have requested to be annexed into the City. Please review this request and then forward your comments to the City Clerk as soon as is reasonably possible.

Location: 2625 Red Bud Lane

E1 2625 Red Bud Lane -- no significant concerns noted; roadway asphalt is in fair condition; evidence of utility cuts in asphalt; the roadway width is slightly more narrow than typical City standards (21' v 22') and has little to no shoulders; no gutter and no significant drainage structures; a few neighboring properties will remain in unincorporated Jefferson County, so we anticipate roadway maintenance will remain a shared responsibility with the County; there is no emergency turnaround at end of roadway.

Date: _____ Initials: CBradley

Board of Education: Date: 6/18/2021 Initials: S Brown

Comments: No / 0 concerns

Police Department: Date: 6/16/2021 Initials: etw J. Gust

Comments: No concerns

Fire Department: Date: 6/16/2021 Initials: STC RF

Comments: Lacks emergency turn-around. No other concerns.

PARCEL #: 28 00 33 2 001 015.002
OWNER: STANDIFER JACK & DEBORAH
ADDRESS: 2625 RED BUD LN BIRMINGHAM AL 35243
LOCATION: 2625 REDBUD LN AL 35243

2625 Red Bud Lane
[111-A-] Baths: **3.5** H/C Sqft: **3,456**
18-013.0 Bed Rooms: **4** Land Sch: **A114**
 Land: **81,600** Imp: **544,400** Total: **626,000**
 Acres: **0.000** Sales Info: **06/25/2013 \$142,500**

<< Prev Next >> [1 / 0 Records] Processing...

Tax Year : 2020 ▼

SUMMARY LAND BUILDINGS SALES PHOTOGRAPHS MAPS

SUMMARY

ASSESSMENT
 PROPERTY CLASS: 3 OVER 65 CODE:
 EXEMPT CODE: 2-2 DISABILITY CODE:
 MUN CODE: 02 COUNTY HS YEAR: 2016
 SCHOOL DIST: EXM OVERRIDE AMT: \$0.00
 OVR ASD VALUE: \$0.00 TOTAL MILLAGE: 50.1

 CLASS USE:
 FOREST ACRES: 0 TAX SALE:
 PREV YEAR VALUE: \$668,700.00 BOE VALUE: 0

VALUE
 LAND VALUE 10% \$81,600
 LAND VALUE 20% \$0
 CURRENT USE VALUE [DEACTIVATED] \$0

CLASS 2

CLASS 3
 BLDG 001 111 \$544,400

 TOTAL MARKET VALUE [APPR. VALUE: \$626,000]: \$626,000
 Assesment Override:
 MARKET VALUE:
 CU VALUE:
 PENALTY:
 ASSESSED VALUE:

TAX INFO

	CLASS	MUNCODE	ASSD. VALUE	TAX	EXEMPTION	TAX EXEMPTION	TOTAL TAX
STATE	3	2	\$62,600	\$406.90	\$4,000	\$26.00	\$380.90
COUNTY	3	2	\$62,600	\$845.10	\$2,000	\$27.00	\$818.10
SCHOOL	3	2	\$62,600	\$513.32	\$0	\$0.00	\$513.32
DIST SCHOOL	3	2	\$62,600	\$0.00	\$0	\$0.00	\$0.00
CITY	3	2	\$62,600	\$0.00	\$0	\$0.00	\$0.00
FOREST	3	2	\$0	\$0.00	\$0	\$0.00	\$0.00
SPC SCHOOL1	3	2	\$62,600	\$319.26	\$0	\$0.00	\$319.26
SPC SCHOOL2	3	2	\$62,600	\$1,051.68	\$0	\$0.00	\$1,051.68
TOTAL FEE & INTEREST: (Detail)							\$5.00
ASSD. VALUE: \$62,600.00			\$3,136.26		GRAND TOTAL: \$3,088.26		

FULLY PAID

DEEDS

INSTRUMENT NUMBER	DATE
201318-28552	6/25/2013
201108-17032	10/28/2011
201106-179	04/20/2011
200620-25346	12/20/2006
200605-17652	09/28/2005

PAYMENT INFO

PAY DATE	TAX YEAR	PAID BY	AMOUNT
1/7/2021	2020	-	\$3,088.26
12/10/2019	2019	CORELOGIC	\$3,302.69
12/31/2018	2018	CORELOGIC	\$2,981.05
1/12/2018	2017	CORELOGIC	\$3,017.12
12/28/2016	2016	CORELOGIC/CENLAR	\$3,372.83
10/6/2015	2015	NATIONAL REAL ESTATE INFORMATION SERVICES OF ALABAMA INC	\$4,408.80
10/21/2014	2014	DEBORAH D STANDIFER	\$1,618.20
10/29/2013	2013	STANDIFER, DEBORAH D	\$1,618.20

EXHIBIT "C"

CITY OF VESTAVIA HILLS

*Department Review of Proposed Annexation
(To Be completed by City Staff)*

The following properties have requested to be annexed into the City. Please review this request and then forward your comments to the City Clerk as soon as is reasonably possible.

Location: 2625 Red Bud Lane

E1 2625 Red Bud Lane -- no significant concerns noted; roadway asphalt is in fair condition; evidence of utility cuts in asphalt; the roadway width is slightly more narrow than typical City standards (21' v 22') and has little to no shoulders; no gutter and no significant drainage structures; a few neighboring properties will remain in unincorporated Jefferson County, so we anticipate roadway maintenance will remain a shared responsibility with the County; there is no emergency turnaround at end of roadway.

Date: _____ Initials: _____

Board of Education: Date: _____ Initials: _____

Comments: _____

Police Department: Date: 12/28/18 Initials: CLW

Comments: No concerns

Fire Department: Date: 12/28/2018 Initials: (SIL)

Comments: Lacks emergency turn-around. No other concerns.

STATE OF ALABAMA

Jefferson COUNTY

PETITION FOR ANNEXATION TO THE
CITY OF VESTAVIA HILLS, ALABAMA

Date of Petition: 12-11-18

To the Honorable Mayor and City Council of the City of Vestavia Hills, Alabama:

We, the undersigned owners of the properties set out in red outline in Exhibit "A" attached hereto, which properties are contiguous to the City limits of the City of Vestavia Hills, Alabama, under the authority of Act No. 32 of the Special Session of the Alabama Legislature of 1964, do hereby petition the City of Vestavia Hills, Alabama, that the properties set out in red outline in Exhibit "A" attached, situated in Jefferson County, Alabama, be annexed to the City of Vestavia Hills, Alabama. The metes and bounds description of the boundary of the property of the undersigned proposed to be annexed is also set out on said Exhibit "A" and a map showing in red the property proposed for annexation by this petition is also attached and made a part hereof.

The undersigned petitioners do further petition that the Honorable Mayor and City Council of the City of Vestavia Hills, Alabama, set a date for the hearing of this petition and any objections in writing to the petition or protest, on a date certain and that no less than ninety (90) days before said date certain for said hearing on this petition, that a notice of said hearing along with this petition be published in a newspaper of general circulation in Jefferson County, Alabama.

We, the undersigned petitioners do also ask that the Honorable Mayor and City Council of the City of Vestavia Hills, Alabama, do all things necessary and requisite to comply with the terms of Act No. 32 of the Special Session of the Alabama Legislature of 1964.

Deborah 205-370-8656
deborahstandifer@yahoo.com

Jack 205-835-8657
Jstennis@charter.net

EXHIBIT "A"

LOT: 4-B

BLOCK: L.B. Lloyd Subdivision

SURVEY: # 24973 Ray Weygand - Alabama

RECORDED IN MAP BOOK 226, PAGE 45 IN THE
PROBATE OFFICE OF Jefferson COUNTY, ALABAMA.



COUNTY ZONING: JC E-1

COMPATIBLE CITY ZONING: UHE-2

LEGAL DESCRIPTION (METES AND BOUNDS):

See Attached survey

IN WITNESS WHEREOF, the undersigned have hereunto set their hands and seals, or caused these presents to be executed by their duly authorized representatives, with full authority.


<u>SIGNATURE(S)</u>	<u>DESCRIPTION OF PROPERTY</u>
	Lot <u>4B</u> Block _____ Survey _____
	Lot <u>4B</u> Block _____ Survey _____
_____	Lot _____ Block _____ Survey _____

(Use reverse side hereof for additional signatures and property descriptions, if needed).

STATE OF ALABAMA

Jefferson COUNTY

Deborah Standifer being duly sworn says: I am one of the persons who signed the above petition, and I certify that said petition contains the signatures of all the owners of the described property.


Signature of Certifier

Subscribed and sworn before me this the 12 day of December, 2018.




Notary Public

My commission expires: April 18, 2022

EXHIBIT "B"

VESTAVIA HILLS BOARD OF EDUCATION

**1204 Montgomery Highway
Vestavia Hills AL 35216**

(To be completed by the City)

Date of Annexation Petition _____ Action Taken: Grant _____
Deny _____
Resolution: Date: _____ Number: _____
Overnight Ordinance: Date: _____ Number: _____
90 Day Final Ordinance: Date: _____ Number: _____

(To be completed by Homeowner)

Name(s) of Homeowner(s): Jack and Deborah Standifer
Address: 2625 Red Bud Lane
City: Birmingham State: Al Zip: 35243

Information on Children:

children currently at Advent
Episcopal School

**Plan to Enroll In
Vestavia Hills School?**

possibly

	Name(s)	Age	School Grade	Yes	No
1.	Madison	11	7th grade fall 2019	✓	
2.	Peyton	8			✓
3.					
4.					
5.					
6.					

Approximate date for enrolling students in Vestavia Hills City Schools if above response is "yes": Fall 2019

ORDINANCE NUMBER 3060

AN ORDINANCE TO FURTHER AMEND THE ZONING ORDINANCE AND THE ZONING MAP OF THE CITY OF VESTAVIA HILLS, ALABAMA, ADOPTED SEPTEMBER 16, 1985, AND AS LAST AMENDED SO AS TO CHANGE THE CLASS OF DISTRICT ZONING OF PROPERTY FROM JEFFERSON COUNTY E-1 TO VESTAVIA HILLS E-2

BE IT ORDAINED by the City Council of the City of Vestavia Hills, Alabama, as follows: That the Zoning Ordinance and Zoning Map of the City of Vestavia Hills, Alabama, adopted September 16, 1985, and as last amended so as to change the class of district zoning of the following described property from Jefferson County E-1 (low density single-family residential district) to Vestavia Hills E-2 (low density single-family residential district):

2621 & 2621 Red Bud Lane
Jordan Hoffman and Jack & Deborah Standifer, Owners

More Particularly Described as follows:

Parcel 1 (2625 Red Bud Lane) – Lot 4BLB Lloyd Subdivision as recorded in Map Book 226, Page 45, Jefferson County Judge of Probate; and

Parcel 2: (2621 Red Bud Lane) – Lot 4A, Gary & Pam West Survey, LESS AND EXCEPT 40' strip located on the southern boundary of the lot, more particularly described as follows:

Parcel of land situated in northwest 1/4 of Section 33, Township 18 South, Range 2 West, Jefferson County, Alabama, and being a part of Lot 4A, according to the Gary and Pam West Survey, as recorded in Map Book 216, page 90, in the Probate office of Jefferson County, Alabama, and also being a part of Parcel 1 and Parcel 2, as recorded in Deed Book 914, page 5907, and being described as follows:

Commence at the southwest corner of Estate number 4, as recorded in Map Book 27, page 14 in the Probate office of Jefferson County, Alabama and further shown on Map Book 226, page 45. Being a 1 inch iron found, thence from said point run S 53 degrees 54'00"E along the southerly line of said Estate No. 4 for a distance of 179.40 feet to the point of beginning said point being a capped re bar set stamped "CARR 00010 LS" lying on the southerly line of Lot 4A; from said point run N 36 degrees 34'17" E for a distance of 184.92

feet to capped re bar found stamped RYS 21784 lying on the southerly line of a Red Bud Lane being 30 feet in width; thence run S 53 degrees 37'06" E along said southerly line of Red Bud Lane and along the northernly line of said Lot 4A for a distance of 262.72 feet to a capped rebar set stamped "CARR 000 IO LS"; thence leaving said Red Bud Lane run S 35 degrees 40'00"W for a distance of 183.59 feet to a capped rebar set stamped "CARR 000 I O LS" lying on the southerly line of said Lot 4A; thence run N 53 degrees 54'00"W along the southerly line of said Lot 4A for a distance of 265.62 feet to the Point of Beginning.

APPROVED and ADOPTED this the 22nd day of November, 2021.

Ashley C. Curry
Mayor

ATTESTED BY:

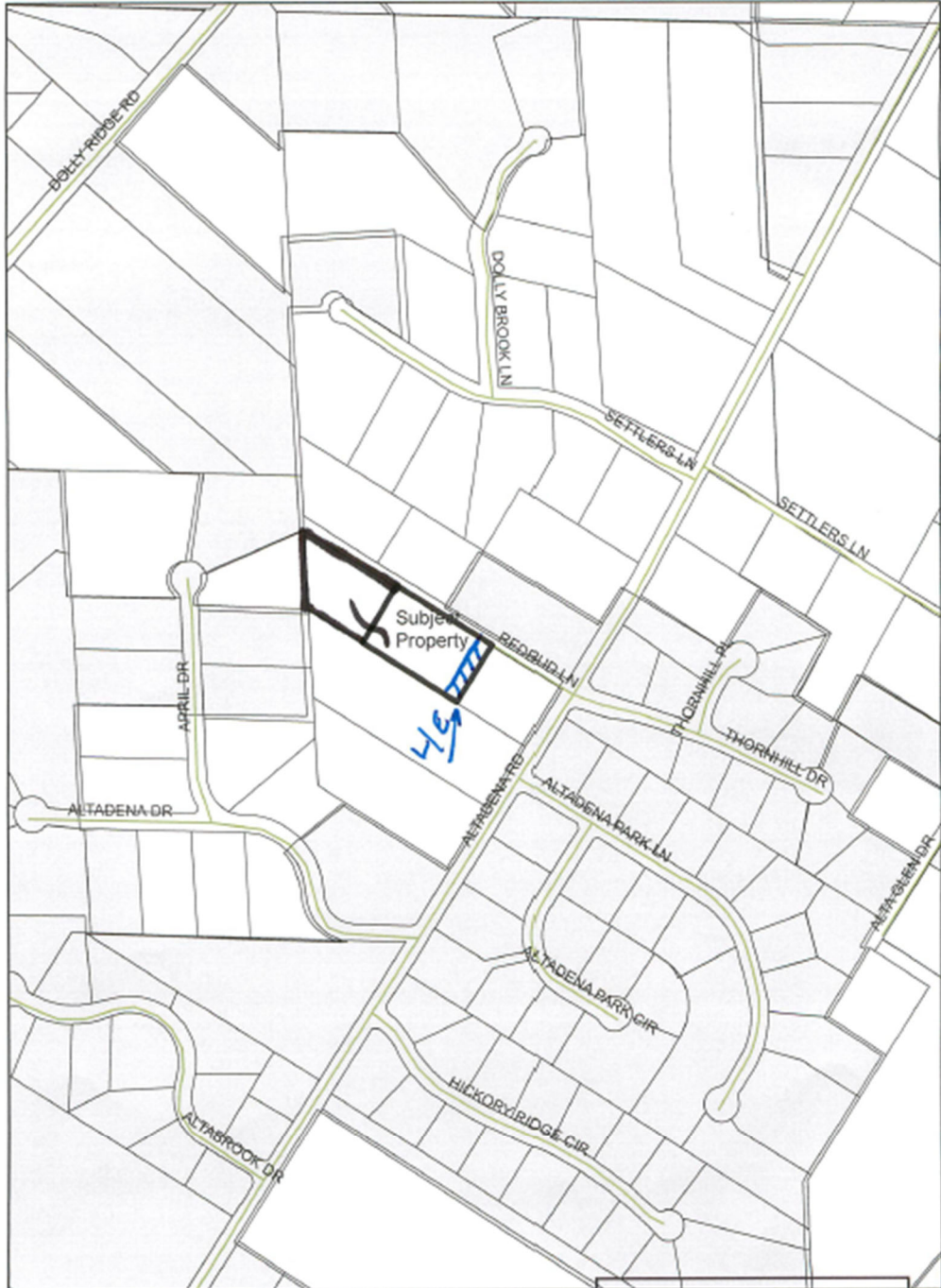
Rebecca Leavings
City Clerk

CERTIFICATION:


I, Rebecca Leavings, as City Clerk of the City of Vestavia Hills, Alabama, hereby certify that the above and foregoing copy of 1 (one) Ordinance # 3060 is a true and correct copy of such 22nd day of November, 2021, as same appears in the official records of said City.

Posted at Vestavia Hills City Hall, Vestavia Hills Library in the Forest, New Merkle House and Vestavia Hills Recreational Center this the _____ day of _____, 2021.

Rebecca Leavings
City Clerk



Legend

 Vestavia_Hills_City_Limits

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: **OCTOBER 7, 2021**

- **CASE:** P-1021-39
- **REQUESTED ACTION:** Rezoning JC E-1 to Vestavia Hills E-2
- **ADDRESS/LOCATION:** 2621 & 2625 Red Bud Ln.
- **APPLICANT/OWNER:** Jordan Huffman and Jack & Deborah Stadifer
- **GENERAL DISCUSSION:** This is a compatible rezoning of annexed property on Red Bud Ln. from JC E-1 to VH E-2. Property was annexed overnight by Ordinance 3026 & 3027 on 8/9/21.
- **STAFF REVIEW AND RECOMMENDATION:**

1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: No recommendation

2. **City Engineer Review:** I have reviewed the application and I have no issues with this request.
3. **City Fire Marshal Review:** I have reviewed the application and I have no issues with this request.
4. **Building Safety Review:** I have reviewed the application and I have no issues with this request.

MOTION Mr. Larson made a motion to recommend Rezoning from JC E-1 to Vestavia Hills E-2 for the property located at 2621 & 2625 Red Bud Ln. Second was by Mr. Romeo. Motion was carried on a roll call; vote as follows:

Mr. Maloof – yes
Mr. Romeo – yes
Mr. Sykes – yes
Mr. Honeycutt – yes
Motion carried.

Mr. Farrell – yes
Mr. Larson – yes
Mr. Vercher – yes
Mrs. Barnes – yes



Zoning 1	
PARCELID	2800332001024000
DISTRICT	002
ESN_NUM	504
PROPADD	2621 REDBUD LN
TAX_TOWNSH	28
SECTION	33
CSECTION	2
BLOCK	001
PARCEL	024000
VH_ZONING	
ZNG_ORD	
ZNG_ORD_DT	
ZNG_ORD2	
ZOOMLVL	

ORDINANCE NUMBER 3061

**AN ORDINANCE GRANTING A CONDITIONAL USE APPROVAL
FOR A HOME OCCUPATION**

WHEREAS, on December 13, 2010, the City Council of the City of Vestavia Hills, Alabama approved and adopted Ordinance Number 2331 re-establishing a Zoning Code for the City of Vestavia Hills, Alabama; and

WHEREAS, Mike Mahaffey has submitted application for conditional use approval for grooming, bathing services and veterinarian care for dogs by appointment only (excluding overnight boarding to be operated in a tenant space in Lot 1, Vestavia Hills City Center North, more specifically in 678 Montgomery Highway, Vestavia Hills, Alabama; and

WHEREAS, Mr. Mahaffey has indicated in his application for conditional use approval that he will operate a veterinarian clinic with services such as medical, grooming and bathing services of dogs by-appointment, with the exclusion of overnight boarding; and

WHEREAS, a copy of said application dated August 26, 2021 is attached and hereby incorporated into this Ordinance Number 3061.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF
THE CITY OF VESTAVIA HILLS, ALABAMA, AS FOLLOWS:**

1. Conditional Use Approval is hereby approved for Mike Mahaffey for a veterinarian clinic with services such as medical, grooming and bathing services of dogs by-appointment, with the exclusion of overnight boarding for the property described as Lot 1 Vestavia Hills City Center North, Vestavia Hills, Alabama located in the tenant space described as 678 Montgomery Highway:
 - (1) Conditional use is hereby granted for operation of a veterinarian clinic with services such as medical, grooming and bathing services of dogs; and
 - (2) Services shall be conducted by appointment and or walk-in only; and
 - (3) There shall be no overnight boarding of animals at any time; and
 - (4) A City of Vestavia Hills Business License shall be issued upon application and payment by Mr. Mahaffey working to the rules and regulations outlined

in the Vestavia Hills Business License Code and shall be renewed each year that the veterinarian business is operated from the location at 678 Montgomery Highway, Vestavia Hills, Alabama; and

- (5) At any time should Mr. Mahaffey vacate the premises, discontinue or relocate his business, this conditional use approval shall be nullified and said Ordinance Number 3061 shall be automatically repealed

ADOPTED and APPROVED this the 22nd day of November, 2021.

Ashley C. Curry
Mayor

ATTESTED BY:

Rebecca Leavings
City Clerk

CERTIFICATION:

I, Rebecca Leavings, as City Clerk of the City of Vestavia Hills, Alabama, hereby certify that the above and foregoing copy of 1 (one) Ordinance # 3061 is a true and correct copy of such Ordinance that was duly adopted by the City Council of the City of Vestavia Hills on the 22nd day of November, 2021 as same appears in the official records of said City.

Posted at Vestavia Hills Municipal, Vestavia Hills Library in the Forest, Vestavia Hills New Merkle House and Vestavia Hills Recreational Center this the _____ day of _____, 2021.

Rebecca Leavings
City Clerk

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE PLANNING AND ZONING COMMISSION

Date: **OCTOBER 7, 2021**

- **CASE: P-1021-41**
- **REQUESTED ACTION:** Conditional Use Approval for a Veterinary Clinic and Pet Grooming Located At 678 Montgomery Hwy.
- **ADDRESS/LOCATION:** 678 Montgomery Hwy.
- **APPLICANT/OWNER:** Mike Mahaffey
- **GENERAL DISCUSSION:** The applicant is seeking to establish a small veterinary practice and pet grooming facility in the City Center shopping center in the vacated Subway space. All services would be by appointment only and no overnight boarding offered. As per and agreement with the property owner, the greenspace behind the building would be utilized. A description of the applicant's business is attached.
- **VESTAVIA HILLS COMPREHENSIVE PLAN:** This request is consistent with plan for commercial core.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** I have looked at all of the relevant zoning / subdivision requirements related to this proposal, including application, notification, setbacks, area of lot development, etc. Notification has been sent to property owners pursuant to Alabama law. I have reviewed this request and find it does meet the minimum requirements of the proposed zoning.

City Planner Recommendation: Conditioned on no overnight boarding.
 2. **City Engineer Review:** I have reviewed the application and I have no issues with this request.
 3. **City Fire Marshal Review:** I have reviewed the application and I have no issues with this request
 4. **Building Safety Review:** I have reviewed the application and I have no issues with this request.

With the Commission finding that the application met all nine criteria as defined in Section 13.3.4 of the Vestavia Hills Zoning Ordinance

MOTION Mr. Farrell made a motion to recommend Conditional Use Approval for a veterinary clinic and pet grooming for 678 Montgomery Hwy. with the following conditions:

1. Overnight boarding of animals is prohibited.

Second was by Mr. Romeo. Motion was carried on a roll call; vote as follows:

Mr. Maloof – yes

Mr. Romeo – yes

Mr. Sykes – yes

Mr. Honeycutt – yes

Motion carried.

Mr. Farrell – yes

Mr. Larson – yes

Mr. Vercher – yes

Mrs. Barnes – yes

Determination. Conditional Uses shall only be approved upon a finding that all of the following criteria are satisfied:

1. The use will not, under the circumstances of the particular case, be detrimental to the health, safety or general welfare of the surrounding area.
2. The use is necessary or desirable and provides a service or facility that contributes to the general well-being of the surrounding area.
3. The request is consistent with all applicable provisions of the Comprehensive Plan.
4. The request shall not adversely affect adjacent properties.
5. The request is compatible with the existing or allowable uses of adjacent properties.
6. The request can demonstrate that adequate public facilities, including roads, drainage, potable water, sanitary sewer, and police and fire protection exist or will exist to serve the requested use at the time such facilities are needed.
7. The request can demonstrate adequate provision for maintenance of the use and associated structures.
8. The request has minimized, to the degree possible, adverse effects on the natural environment.
9. The request will not create undue traffic congestion.
10. That such development will comply with all applicable regulations and conditions specified within this Ordinance.

The Council shall describe and have recorded in the minutes, the conditions imposed on the development to assure satisfaction of these criteria.

CITY OF VESTAVIA HILLS
PLANNING AND ZONING COMMISSION
Conditional Use Application

I. INSTRUCTIONS AND INFORMATION:

- (1) The Vestavia Hills Planning and Zoning Commission meets regularly on the second Thursday of each month at 6:00 PM in Council Chambers at the Municipal Center.
- (2) All materials and information relating to a conditional use approval before the Planning and Zoning Commission must be submitted to the Office of the City Clerk no later than **25 working days prior to the scheduled meeting at which it shall be considered**. Applications must be completed in its entirety and must contain all pertinent information in order to be considered. Acceptance by the Clerk does not constitute acceptance of complete and proper filing. All applicants are encouraged to present their request to the Zoning Staff on any Tuesday at 9 AM in the Executive Conference Room, City Hall, prior to submitting for a Conditional use.
- (3) This application must be filled out in its entirety completely, including zip codes.
- (4) All applicable fees shall accompany this application prior to its being considered complete. Fees include an application fee of \$100.00 along with applicable postage per property owner to be notified for Commission meeting. Postage Fees for notification for Planning and Zoning and for City Council meetings along with applicable publication fees will be billed to applicant at a later date. The applicant is responsible for all notification fees. ****No permits will be issued until all fees have been paid.****
- (5) Appropriate plats and maps with proper legal description shall accompany this application. **Please refer to attached checklist.**

II. APPLICANT INFORMATION: (owner of property)

NAME: Mike Mahaffey

ADDRESS: 2828 Vestavia Forest Place

Vestavia Hills, AL 35216

PHONE: 205-229-3843 EMAIL: MIKEM35216@Gmail.com

NAME OF REPRESENTING ATTORNEY OR OTHER AGENT: _____

Mark McCoy

PHONE: 205-223-2527 EMAIL: _____

II. BILLING/RESPONSIBLE PARTY: (FOR PAYMENT OF FEES)

NAME: MIKE MAHAFFEY
ADDRESS: 2828 Vestavia Forest Place
Vestavia Forest Hills, AL 35216
PHONE: 205-229-3843 EMAIL: MIKEM35216@Gmail.com

III. ACTION REQUESTED

Request that the above described property be approved conditional use approval pursuant to Section _____ of the Vestavia Hills Zoning Code.

Current Zoning of Property: _____

Requested Conditional use For the intended purpose of: _____

if additional information is needed, please attached full description of request

IV. PROPERTY DESCRIPTION: (address, legal, etc.)

678 Montgomery Highway
Vestavia Hills, AL 35216
Property size: ^{space} 1,276 square feet X _____ feet. Acres: _____


All applications must contain a full legal description of subject property.

V. INFORMATION ATTACHED:

- Attached Checklist complete with all required information.
 Application fees submitted.

P1021-41//28-00-19-3-011-004.000
678 Montgomery Hwy.
Cond. Use for Dog Baths &
Grooming
Mike Mahaffey

VI. I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. **Application must be signed by the owner of the property before a Notary and original submitted to the Office of the Clerk; no copies will be accepted**

 8/26/21
Owner Signature/Date

Representing Agent (if any)/date

Given under my hand and seal
this 26 day of August, 2021.


Notary Public

My commission expires ~~June 25, 2022~~
25 day of June, 2022.



P1021-41//28-00-19-3-011-004.000
678 Montgomery Hwy.
Cond. Use for Dog Baths &
Grooming
Mike Mahaffey



**678 Montgomery Hwy
Vestavia Hills, AL 35216**

**CITY OF VESTAVIA
PLANNING AND ZONING PROPOSAL**

P1021-41//28-00-19-3-011-004.000
678 Montgomery Hwy.
Cond. Use for Dog Baths &
Grooming
Mike Mahaffey

DATE: September 7, 2021
TO: City of Vestavia, Zoning and Planning Commission
FROM: Mike Mahaffey, President/Owner, Pet Vet Grooming, LLC, DBA – Happy Dog Bath & Grooming
SUBJ: Happy Dog Baths & Grooming, 678 Montgomery Hwy, Vestavia Hills, AL 35216 (previous Subway location)

I am a 22-year business owner in Vestavia Hills. In December 2020, my wife, Kris Mahaffey, DVM, and I sold our veterinarian practices (Pet Vet Animal Hospital, 2021 Kentucky Avenue, Vestavia, and Pet Vet Express, 253 County Club Park, Mountain Brook) to a national corporation headquartered in Chicago, IL. The same month, I opened another business in Mountain Brook, Pet Vet Grooming, LLC (now known as Happy Dog Baths & Grooming). This business is a first-class, attractive and inviting grooming salon with three fulltime groomers and three bathers. We currently serve approximately 30 dogs per day, Monday through Friday, and have welcomed more than 300 clients, since our opening.

After the sale of both business locations, the new owners decided to no longer offer grooming and bathing services, which created an opportunity for us to offer these services to the sizable number of pet owners in Vestavia, while expanding our business in Mountain Brook.

Although many of our former Vestavia clients travel to the Mountain Brook location for grooming services, there remain clients, particularly elderly and disabled clients, who are unable to travel to Mountain Brook. The space we have identified (former Subway store) in Vestavia, offers a perfect location to expand the Happy Dog Baths and Grooming business. We plan on having the same staffing levels in the Vestavia location as we currently have in Mountain Brook, and are anticipating opening with approximately 150 former and new clients. This will help draw new customers and tax revenue to surrounding businesses in north Vestavia versus those customers traveling to adjacent cities for services.

As in our Mountain Brook location, Happy Dog Baths and Grooming in Vestavia plan to offer additional pet services and supplies, including veterinarian care. My wife, Dr. Kris, is currently offering mobile vet services, as well.

Kris and I are hoping to bring much needed services that are no longer available in north Vestavia. In addition to living and raising our family in Vestavia for more than 22 years, we want to continue to be a part of our community and support the local economy. The former Subway store location has been vacant for several years, and its floor plan and back-of-building green space perfectly lends itself to our needs for a successful grooming business. Business hours will be 8 a.m. to 4 p.m., Monday-Friday.

P1021-41//28-00-19-3-011-004.000
678 Montgomery Hwy.
Cond. Use for Dog Baths &
Grooming
Mike Mahaffey

9/7/2021

To: City of Vestavia – Planning and Rezoning

From: Mike Mahaffey – President/Owner Pet Vet Grooming, LLC, (DBA Happy Dog Grooming)

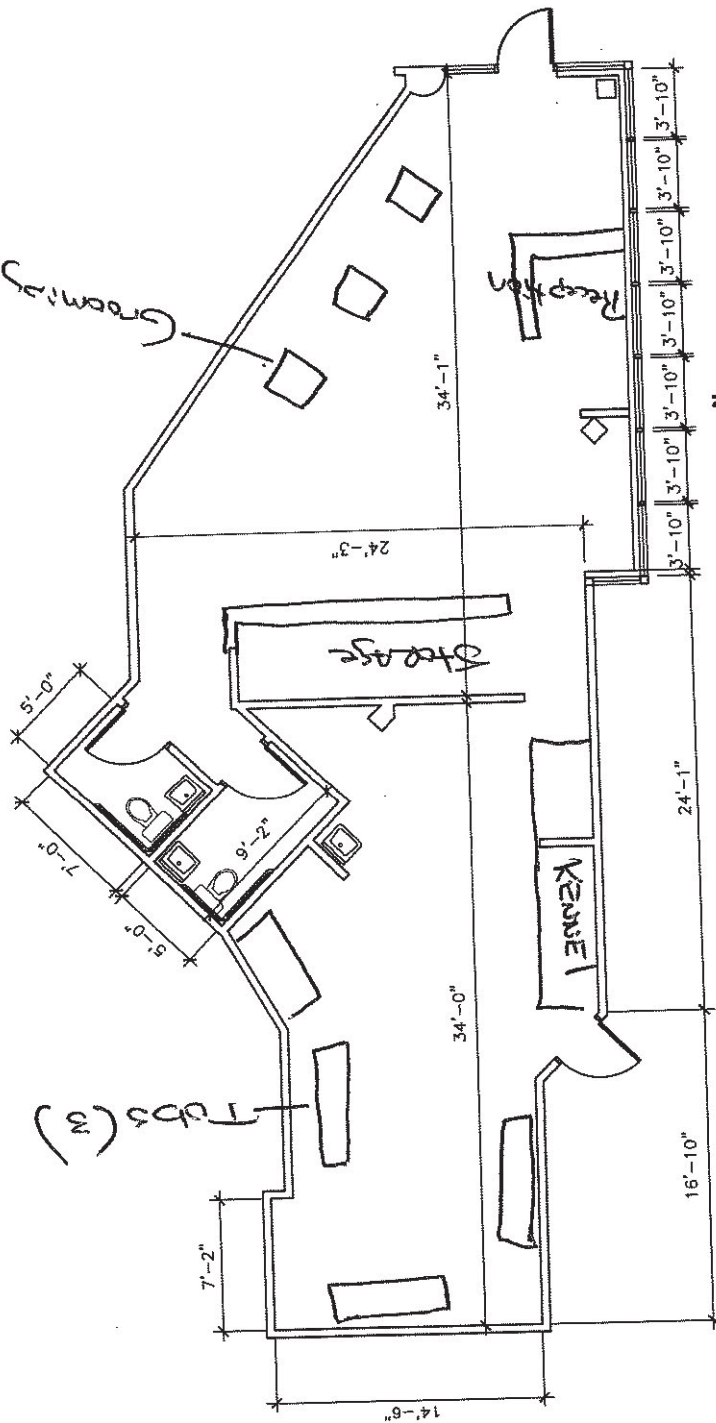
Subject: Request for variance of 678 Montgomery Hwy

This is a formal request to allow a variance on 678 Montgomery Hwy to allow a dog grooming facility. All business will be conducted between 8-5 pm Monday – Friday. All dogs will come in in the morning and all dogs will leave before closing. No dogs will be kept overnight. All dogs will be walked in the green space behind the facility and not on city property.

This space has been vacant for several years. This new business would bring over 7k clients a year to the upper Vestavia business area.

P1021-41//28-00-19-3-011-004.000
678 Montgomery Hwy.
Cond. Use for Dog Baths &
Grooming
Mike Mahaffey

Grooming Table (3)

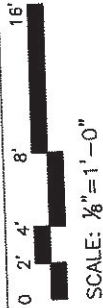


TODS (3)



FLOOR PLAN SUITE 678 - 1,435 RSF

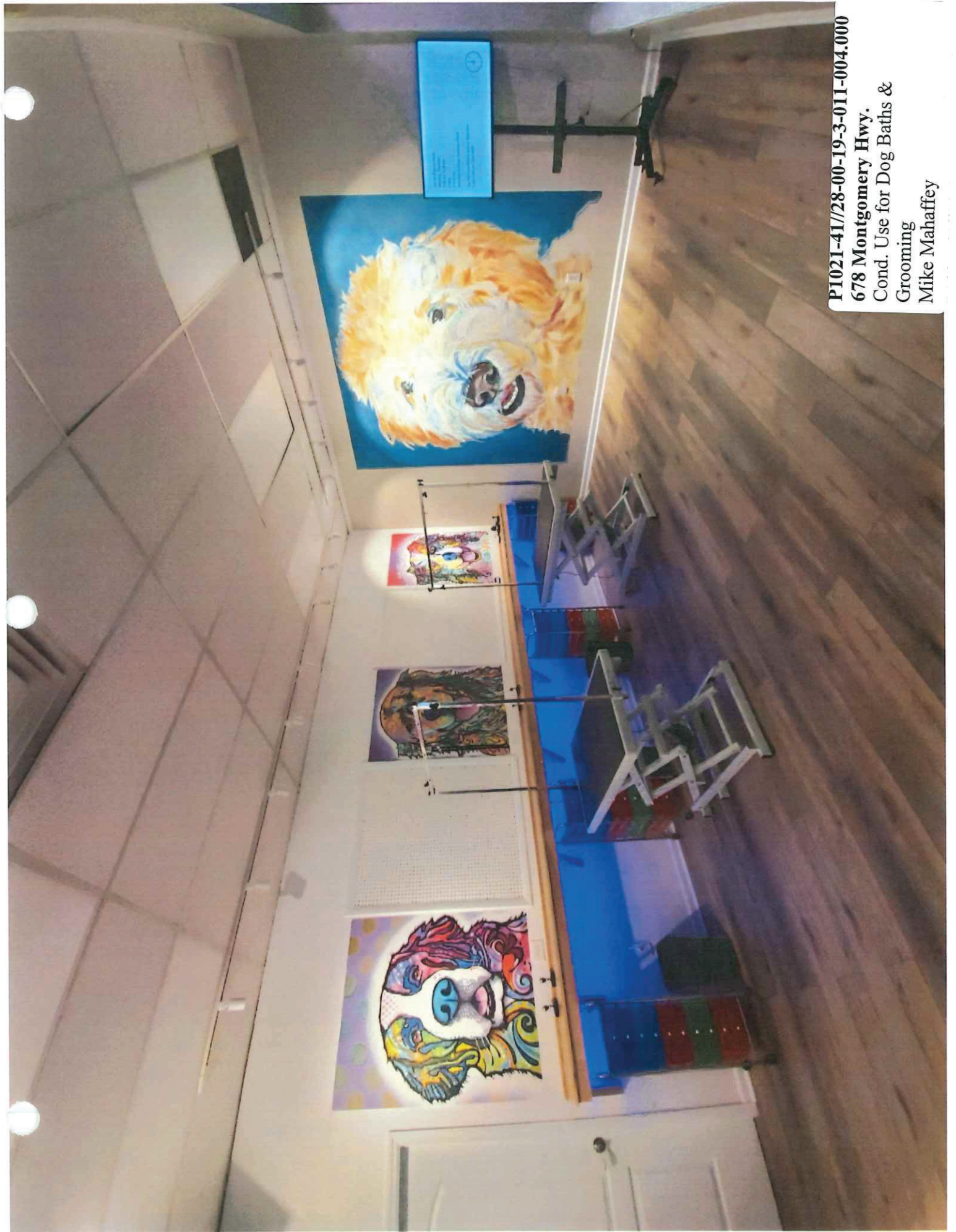
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678 Montgomery Hwy.
Cond. Use for Dog Baths &
Grooming
Mike Mahaffey

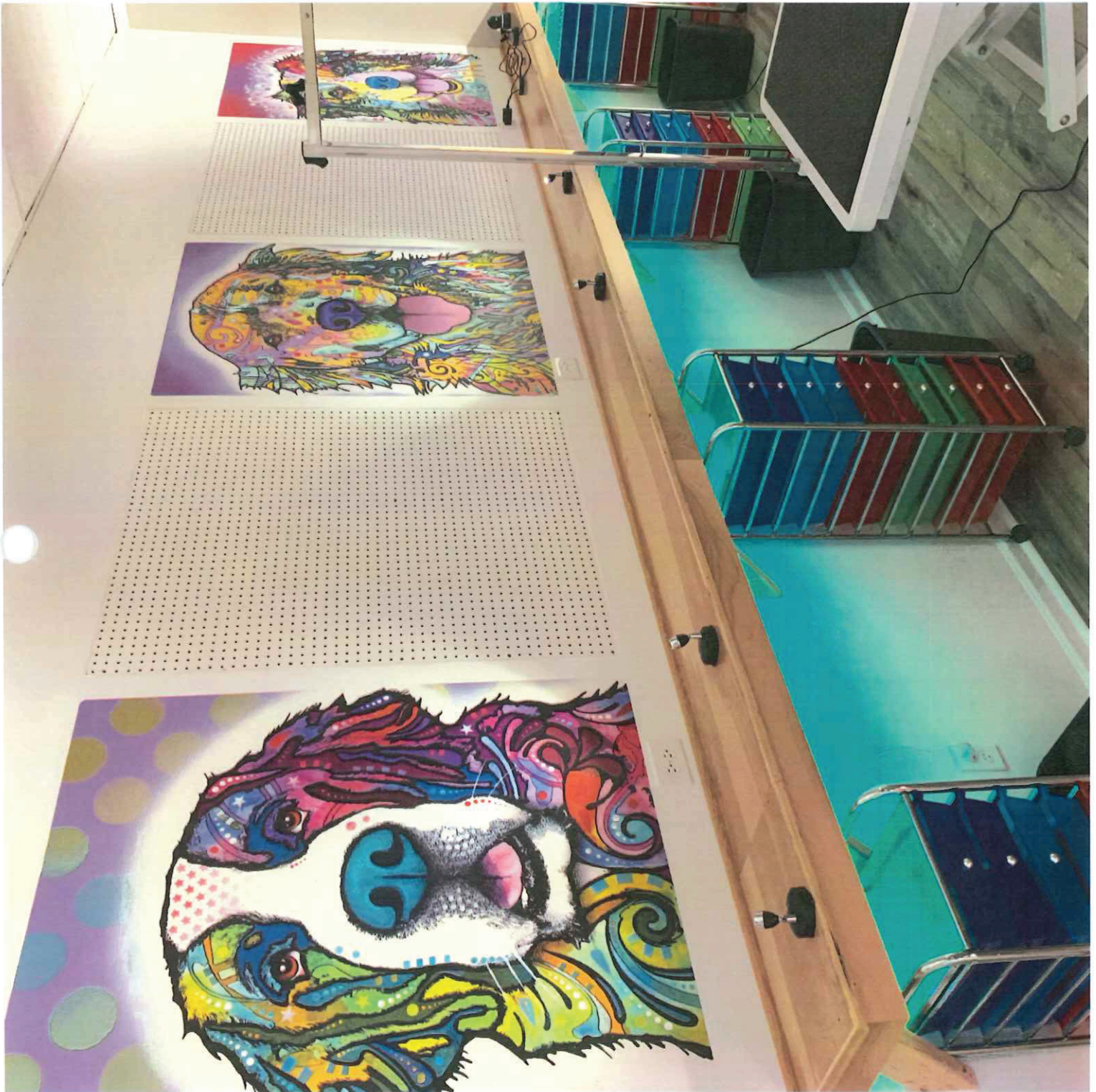


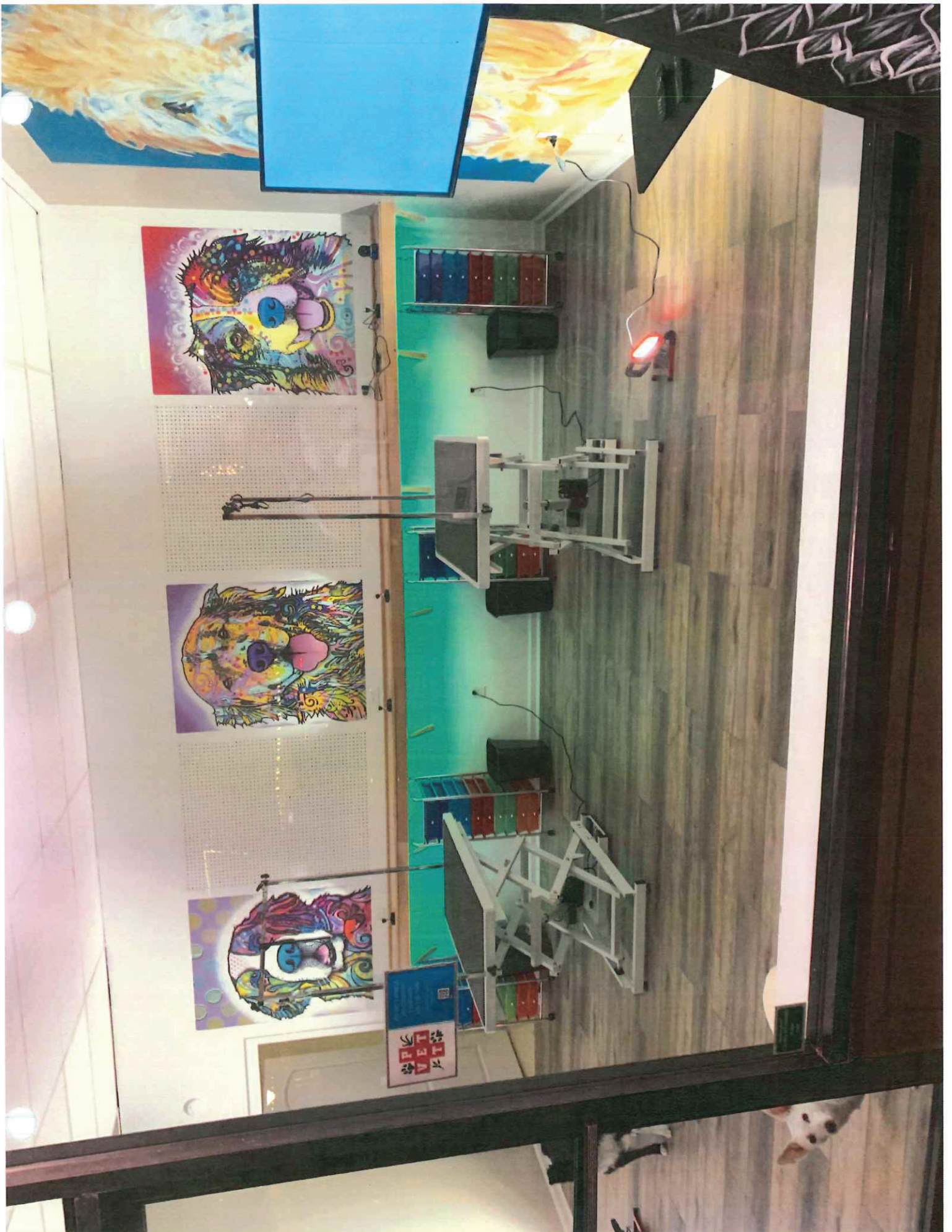
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678 Montgomery Hwy.
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Grooming
Mike Mahaffey

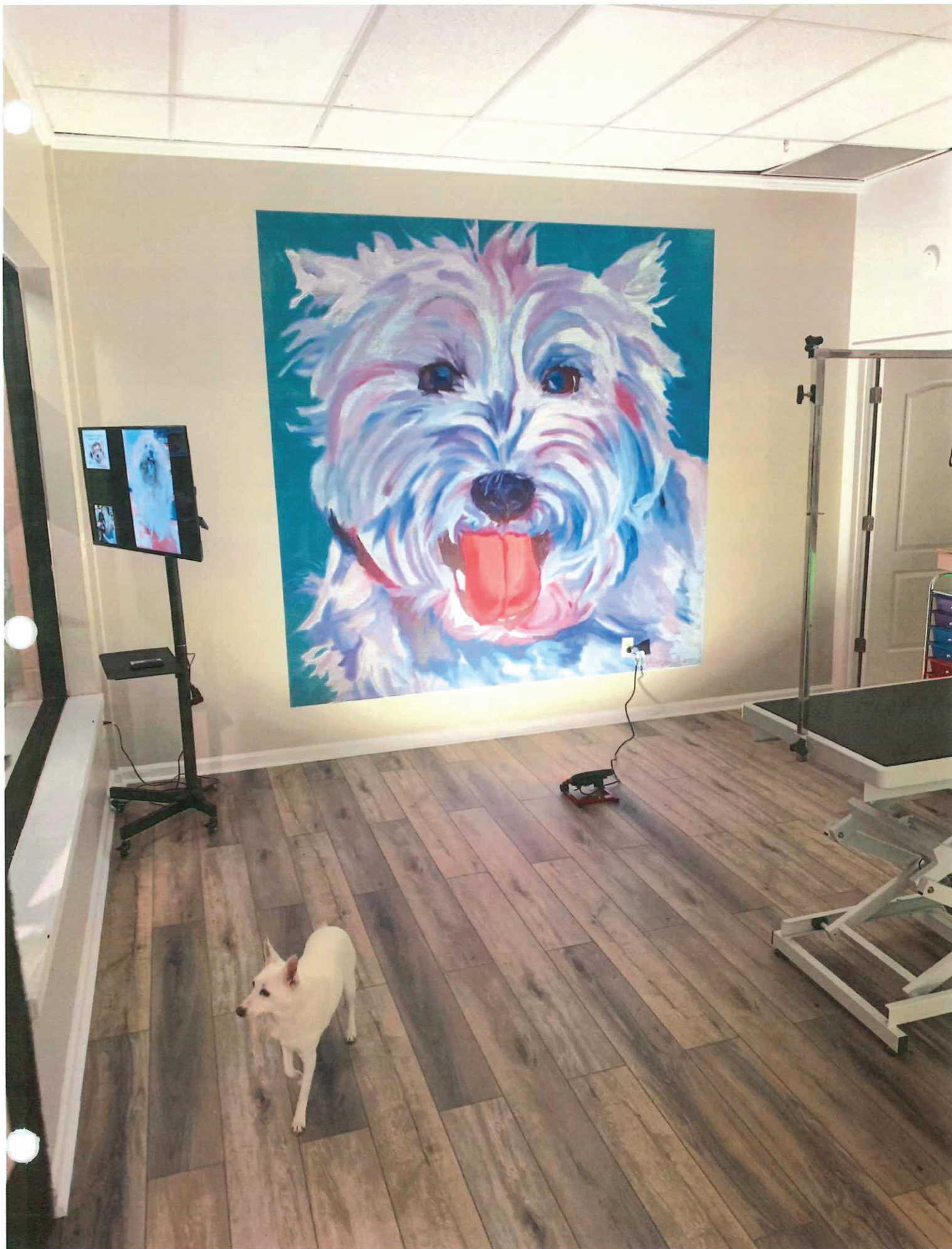


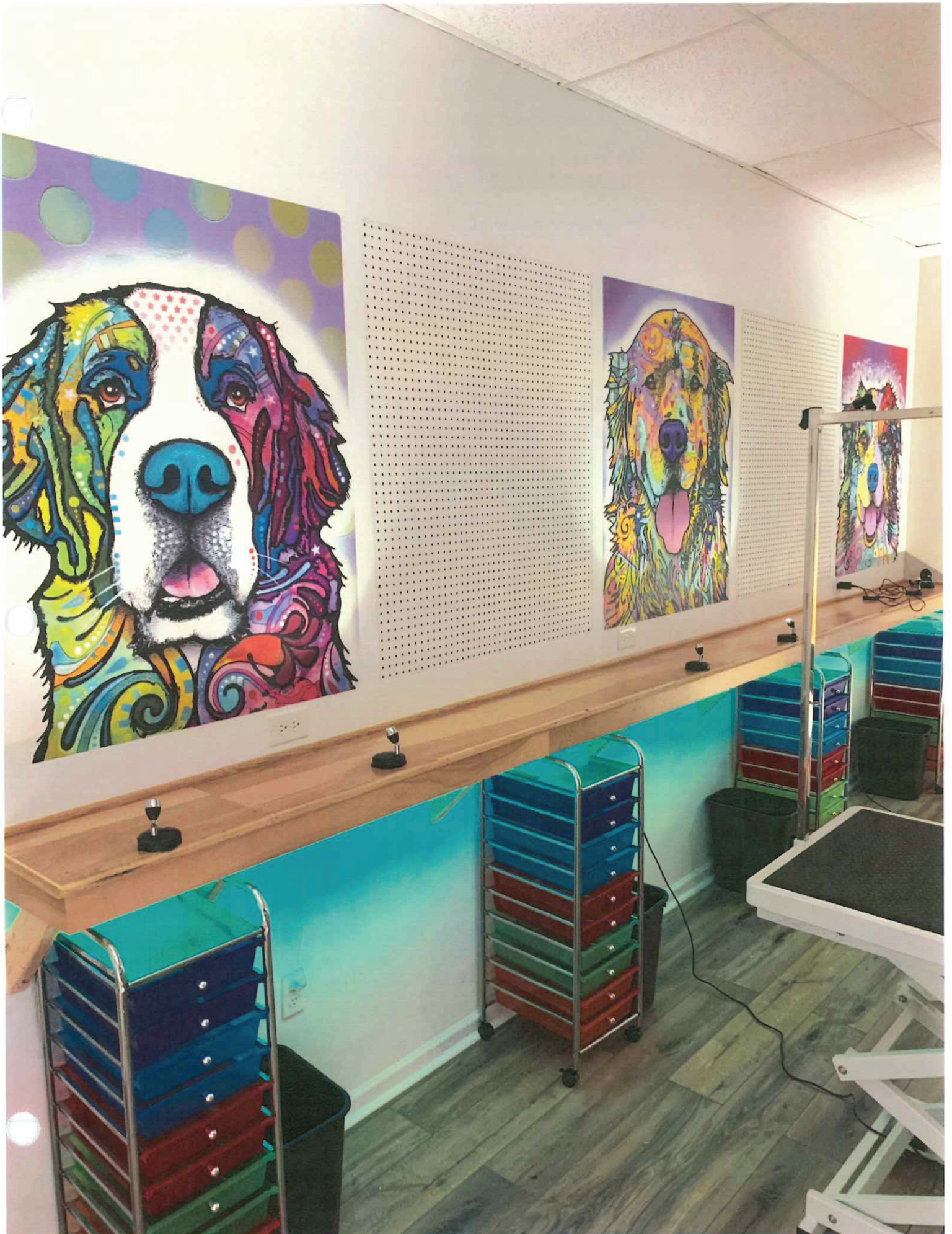
P1021-41//28-00-19-3-011-004.000
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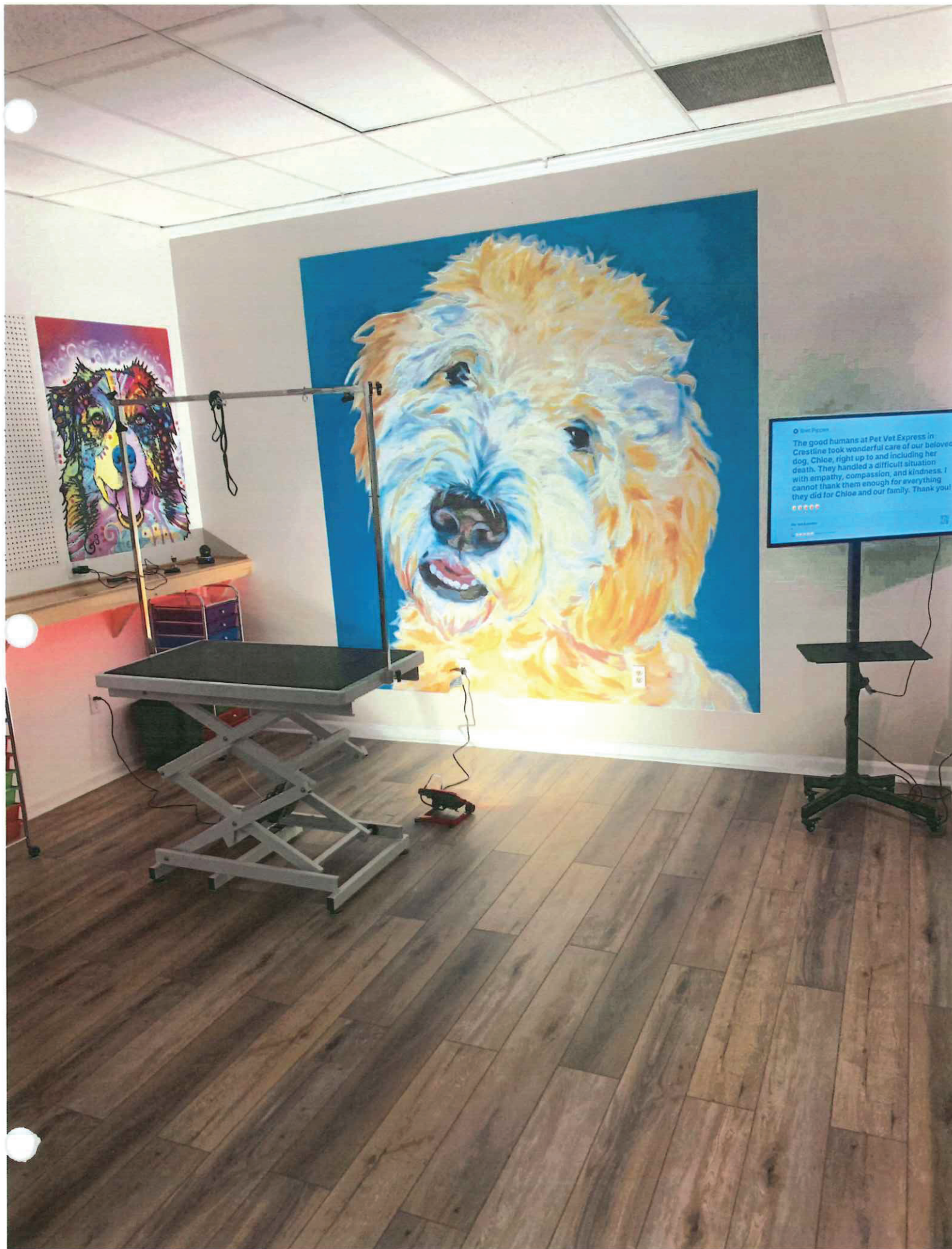
P1021-41//28-00-19-3-011-004.000
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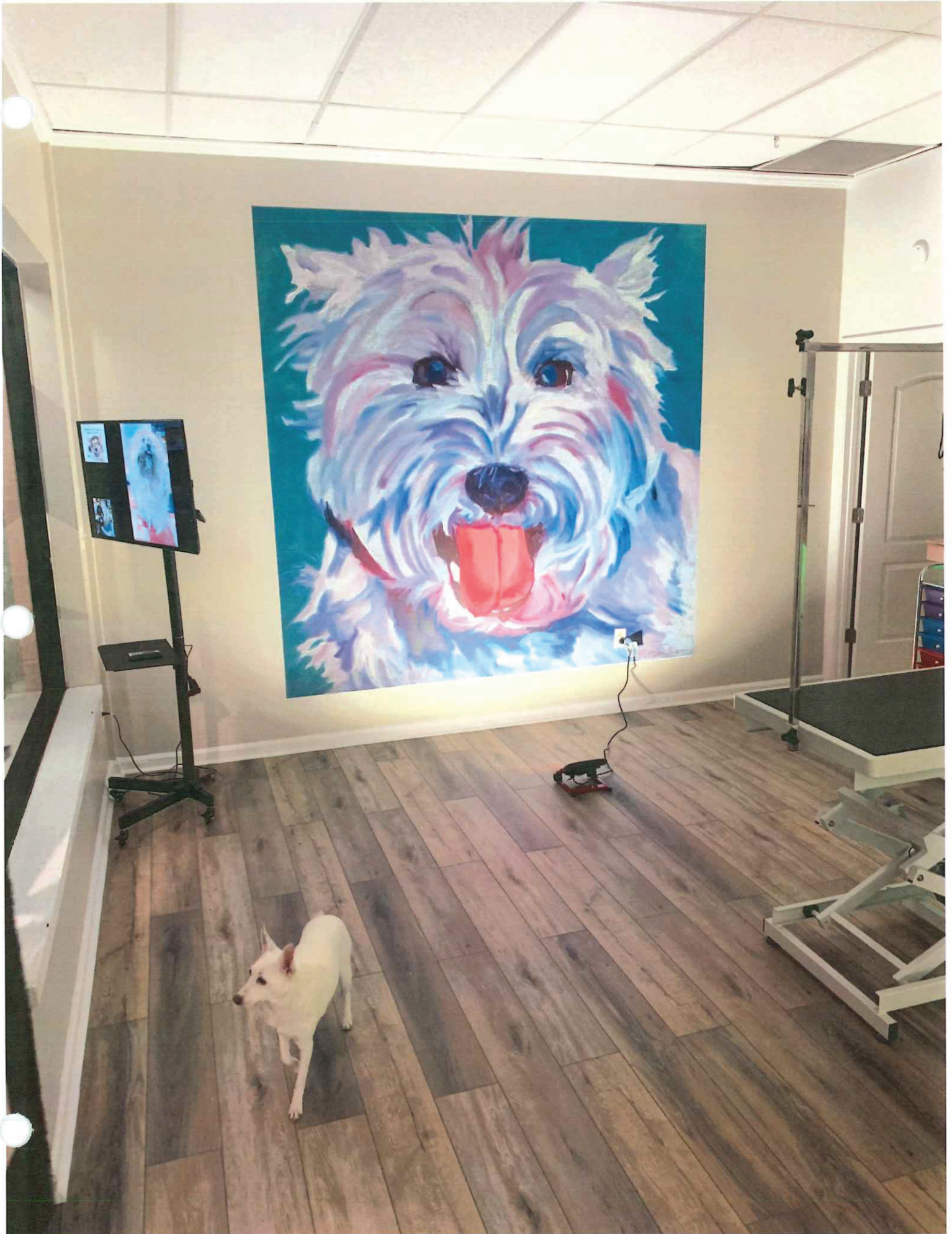


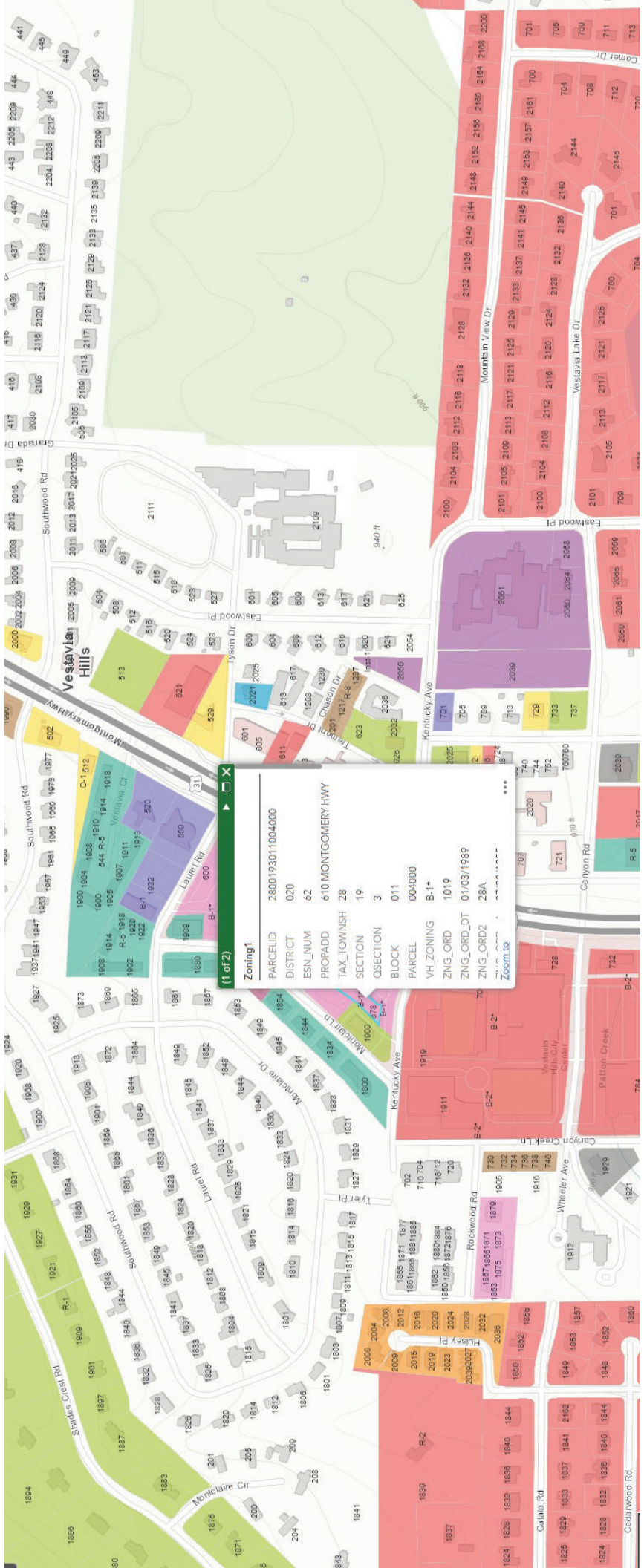






5 stars
The good humans at Pet Vet Express in Crestline took wonderful care of our beloved dog, Chloe, right up to and including her death. They handled a difficult situation with empathy, compassion, and kindness. I cannot thank them enough for everything they did for Chloe and our family. Thank you!





Zoning1

PARCELD	2800193011004000
DISTRICT	020
ESN_NUM	62
PROPADD	610 MONTGOMERY HWY
TAX_TOWNSH	28
SECTION	19
BLOCK	3
PARCEL	004000
VH_ZONING	B-1*
ZNG_ORD	1019
ZNG_ORD_DT	01/03/1989
ZNG_ORD2	28A

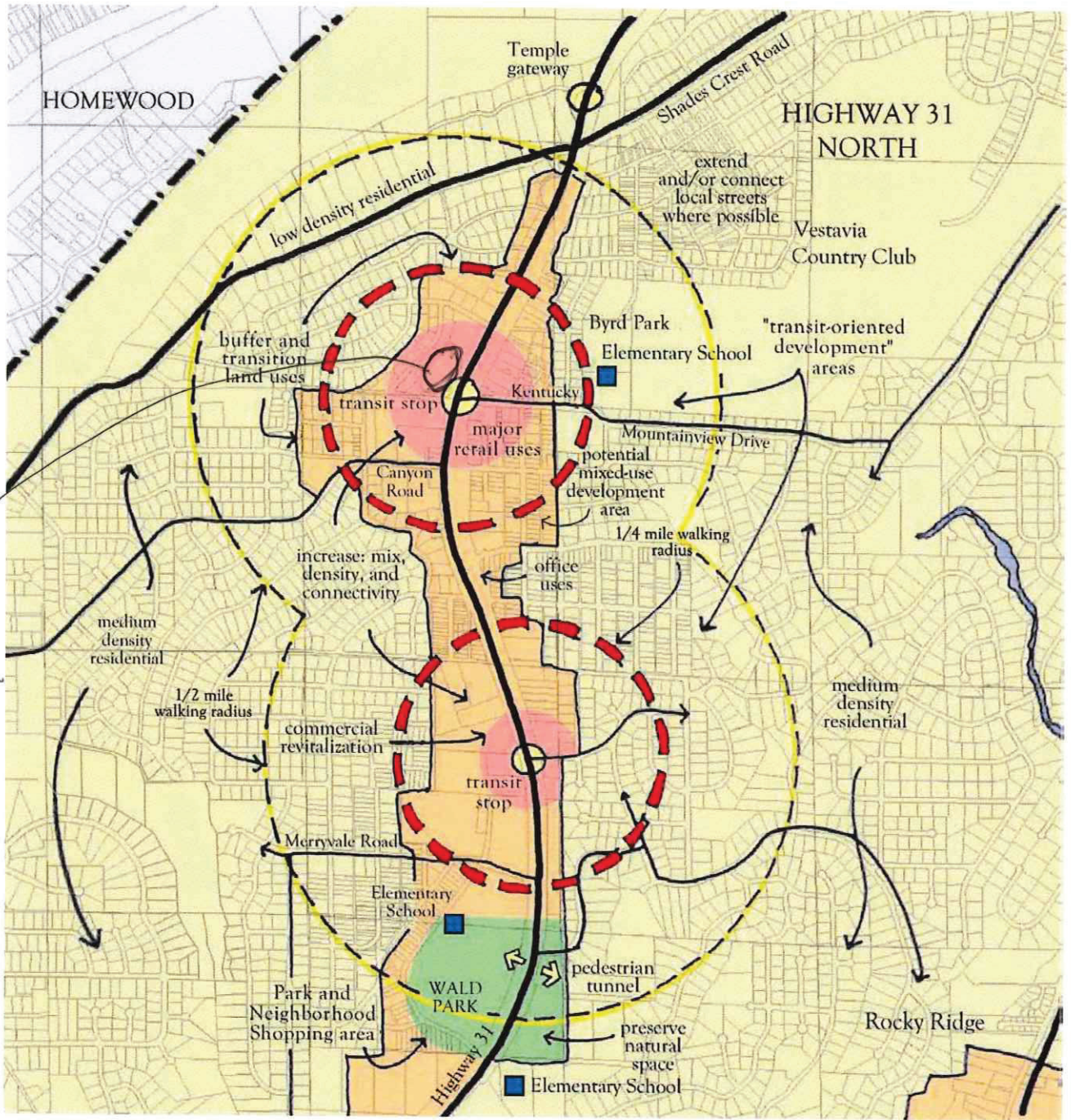


Figure 17: Highway 31 North
Land Use Analysis

- | | |
|---|---|
| <ul style="list-style-type: none"> Neighborhood - primarily low / medium density single-family residential areas with higher densities near village center(s). Other uses may include schools, places of worship, recreational areas, and open space. Village Center - mixed use centers with highest densities in core areas. Mix of uses should include retail and service businesses, professional offices, high density residential areas, institutions, recreation areas, and public spaces. Commercial Core - primarily high density, retail and service business areas with professional offices and multi-family residences on upper floors or on periphery. Other uses may include institutions and public space. Gateways and Nodes - Gateways are entryways into the community or village enhanced with consistent signage, landscaping, and other elements. Nodes are sites, such as transit stops, where public spaces, signage, and other public design elements should be considered. | <ul style="list-style-type: none"> Professional Offices - primarily professional office uses. Density should vary according to surroundings. Other uses may include retail and services (supporting offices and employees), places of worship, public spaces, and open space. Recreation and Open Space - public and private recreation facilities and preserved natural spaces. Recreation facilities may be active, passive or combined. Open spaces are areas preserved in a natural state and may include passive recreational uses. Trailheads - Trailheads are public sites along a trail, where bike racks, seating, parking, and public amenities are provided for trail users. Schools - School facilities administrated by the Vestavia Hills School System. |
|---|---|

