

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
AGENDA
FEBRUARY 3, 2022
6:00 P.M.**

Roll Call.

Approval of minutes – January 6, 2022

- (1) **D-0222-01** Chick-Fil-A is requesting **Architectural Review, Lighting Review, and Final Review of Materials** for the property located at **513 Montgomery Hwy.** The purpose of this request is for renovation of an existing building. The property is owned by Rodney Jackson and is zoned Vestavia Hills B-2.
- (2) **D-0222-02** Cahaba Heights DQ is requesting **Architectural Review and Final Review of Materials** for the property located at **3134 Cahaba Heights Rd.** The purpose of this request is for renovation of an existing building. The property is owned by Cahaba Heights DQ and is zoned Vestavia Hills B-2.
- (3) **D-0222-03** Jones-C, LLC is requesting **Architectural Review, Landscape Review, and Final Review of Materials** for the property located at **3952 Crosshaven Dr.** The purpose of this request is for a new building. The property is owned by Jones-C, LLC and is zoned Vestavia Hills B-2.

Time of Adjournment.

CITY OF VESTAVIA HILLS

DESIGN REVIEW BOARD

MINUTES

JANUARY 6, 2022

The Vestavia Hills Landscape and Architectural Control Board met in a regular session on this date at 6:00 PM. The roll was called with the following:

MEMBERS PRESENT: Robert Thompson, Chairman
David Giddens
Mae Coshatt
Joe Ellis
Rip Weaver

MEMBERS ABSENT: Jeff Slaton
Chris Pugh

OTHER OFFICIALS PRESENT: Conrad Garrison, City Planner

APPROVAL OF MINUTES

The minutes for December 2, 2021 were presented for approval.

MOTION Motion to dispense with the reading of the minutes for December 2, 2021 was made by Mrs. Coshatt and 2nd was by Mr. Giddens. Motion as carried on a voice vote as follows:

Mrs. Coshatt– yes	Mr. Ellis – yes
Mr. Weaver– yes	Mr. Giddens – yes
Mr. Thompson – yes	Motion carries.

LANDSCAPING REVIEW

) **D-0521-08** Parker Ophthalmic Properties, LLC is requesting **Landscape Review** for the property located at **3745 Corporate Woods Dr.** The purpose of this request is for a new building. The property is owned by Parker Ophthalmic Properties, LLC and is zoned Vestavia Hills PB.

Mr. Garrison described the background of the request.

Brian Harris and Adam Kent were present to explain the plan.

The Board made alterations to which Mr. Harris and Mr. Kent agreed.

MOTION Motion to approve Landscape Review with non-invasive grass planted for the property located at 3745 Corporate Woods Dr.. was made by Mr. Weaver. Second was made by Mr. Giddens. Voice vote as follows:

Mrs. Coshatt– yes
Mr. Weaver– yes
Mr. Thompson – yes

Mr. Ellis – yes
Mr. Giddens – yes
Motion carries.

Conrad Garrison
City Planner

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
APPLICATION**

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: Chick-Fil-A
Address: 5200 Buffington Ave
Atlanta, GA 30349
Phone #: _____ Other #: _____
E-Mail: _____

Billing/Responsible Party (This Section Must Be Completed)

Name: Frank Gawdun
Address: 1743 E McNair Dr Ste 200
Tempe, AZ 85283
Phone #: 480-755-0959 Other #: _____
E-Mail: gawdun@esencia.org or alvarez@esencia.org

Representing Attorney/Other Agent

Name: _____
Address: _____

Phone #: _____ Other #: _____
E-Mail: _____

II. DESCRIPTION OF PROPERTY:

LOCATION: 513 Montgomery Hwy Vestiva Hills, AL 35216
Street Address

Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST:

- | | | |
|----|-------------------------------------|---------------------------|
| 1. | <input type="checkbox"/> | Preliminary Review |
| 2. | <input type="checkbox"/> | Landscape Review |
| 3. | <input checked="" type="checkbox"/> | Architectural Review |
| 5. | <input type="checkbox"/> | Final Review of Materials |
| 6. | <input type="checkbox"/> | Other - Explain _____ |
-

IV. PROCESS:

- | | | |
|----|--------------------------|---|
| 1. | <input type="checkbox"/> | New Building |
| 2. | <input type="checkbox"/> | Renovation of Existing Building |
| 3. | <input type="checkbox"/> | New Landscape Plan |
| 4. | <input type="checkbox"/> | Renovation to Existing Landscaping Plan |
| 7. | <input type="checkbox"/> | Other - Explain _____ |

V. ZONING

Vestavia Hills Zoning for the subject property is _____.

VI. OWNER AFFIDAVIT:

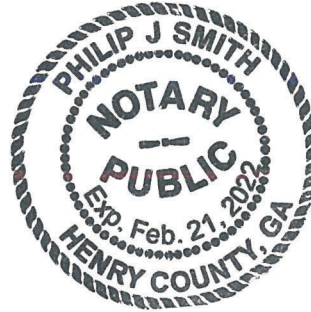
I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. ***This application must be signed by the property owner before a Notary and the original application shall be submitted (no copies allowed).***


Owner Signature/Date 12/20/21

Representing Agent (if any)/date

Given under my hand and seal
this 20 day of Dec, 2021.


Notary Public



My commission expires 02
day of 21, 2022.

Review Requirements

The following information and exhibits shall be provided and presented on your proposed project for review. The Board will review the three project components at the meeting. The Board must approve all three components before any permit is issued. A design professional, owner, or owner representative with knowledge of design elements and project provisions should represent the project to the committee.

- General: Provide three copies and one digital copy (pdf format) of all drawings or plans required below for review. Drawings must be to scale. These drawings should be turned in with the application. Drawings shall be folded to size 8 ½” by 11”.
1. Architectural Review
 - a. Site plan showing roadways, entrances, exits and parking.
 - b. Building elevations showing construction material, material colors, context, and protrusions. Color rendering is preferred. Roof design must be detailed.
 - c. Presentation by architect or owner with knowledge of compatibility with adjacent structures, city context, etc.
 2. Landscape Review
 - a. Site plan showing contours, drainage containment areas, parking spaces, sidewalks, buffers, site lighting and details, etc.
 - b. Landscape plan showing planting materials, designations, size, potted planting, window boxes, vines, etc. Trees will be identified by botanical name, quantity, and caliper. Shrubs will be identified by botanical name, quantity, and container size. Differentiate between existing and new landscaping.
 - c. Parking lots: Provide calculations of total square footage and square footage designated for landscaping. Indicate handicapped spaces. Indicate size of parking spaces.
 - d. Irrigation plan for all landscaped areas.
 - e. Statement of maintenance policy and provisions.



Chick-File-A
 1000 BIRCHWOOD ROAD
 ATLANTA, GEORGIA 30349
 (404) 785-8000

esencia
 1743 E. MOBILE DRIVE, SUITE 200
 ATLANTA, GEORGIA 30316
 Telephone: 404-755-0569



Rev	Date	By	Description

Project Name: **CHICK-FILE-A STORE #3339 CANOPY PROGRAM**
 513 MONTGOMERY HWY.
 VESTAVIA HILLS, AL 35216

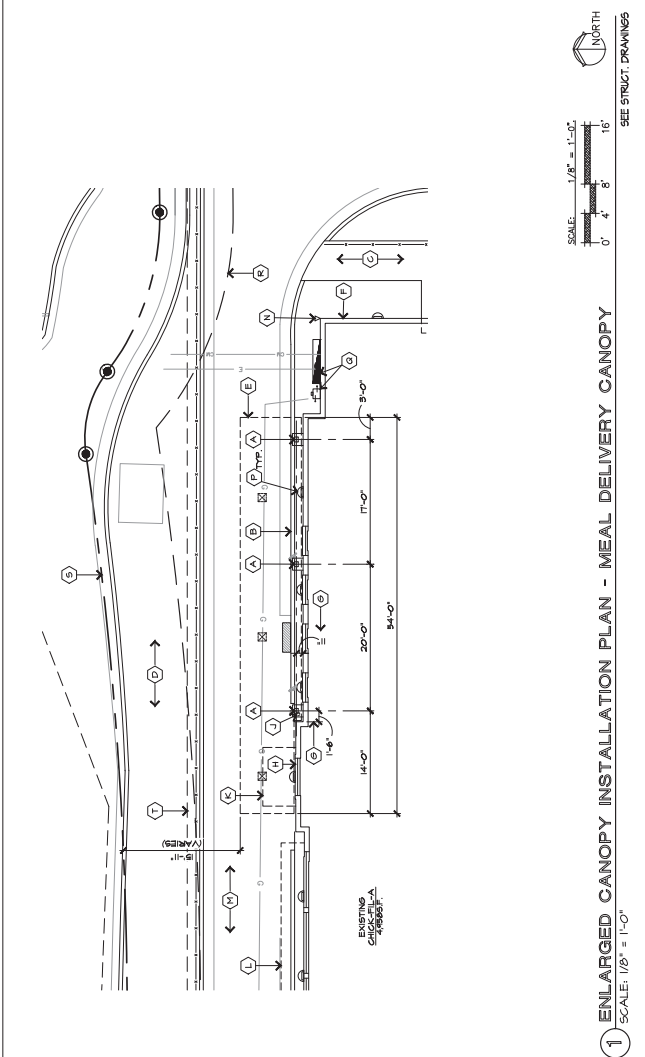
Issue Date: 12-08-2021
 Drawn By: EB
 Job Number: 1900

Sheet Title: **Enlarged Canopy Plan**
 Scale: As Indicated

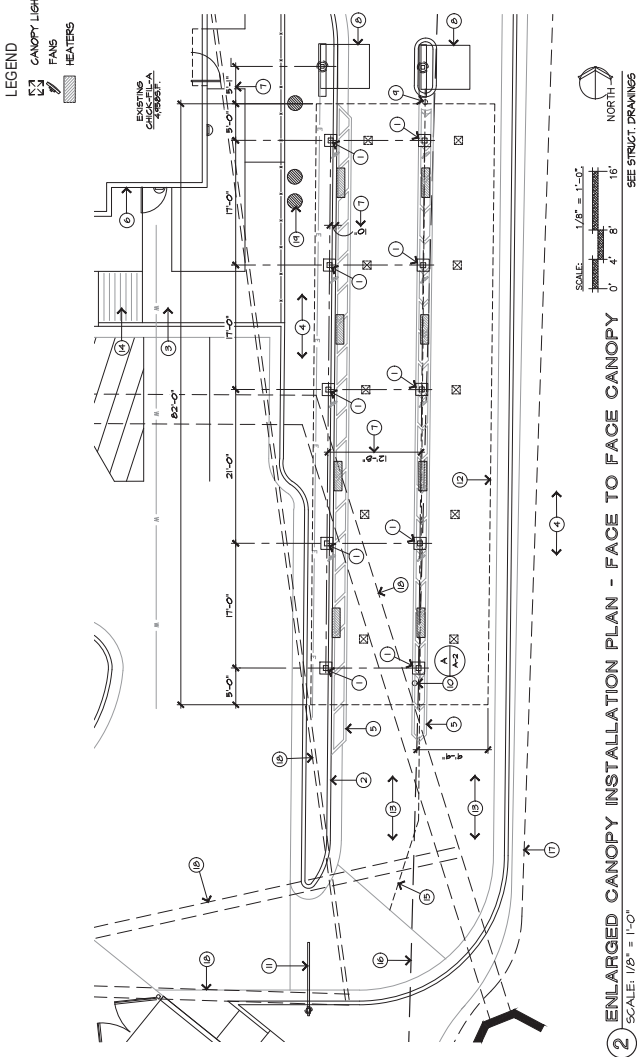
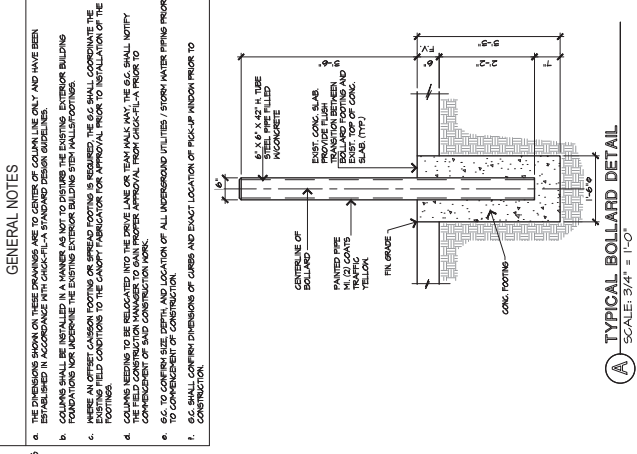
Sheet Number: **A-2**

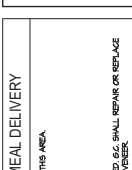
- GENERAL NOTES**
- THE DIMENSIONS SHOWN ON THESE DRAWINGS ARE TO CENTER OF COLUMN LINE ONLY AND HAVE BEEN ESTABLISHED IN ACCORDANCE WITH CHICK-FILE-A STANDARD DESIGN GUIDELINES.
 - COLUMNS SHALL BE INSTALLED IN A MANNER AS NOT TO DISTURB THE EXISTING EXTERIOR WALLS/FOOTINGS.
 - WHERE AN OFFSET COLUMN FOOTING OR SPREAD IS REQUIRED, THE EXISTING FIELD CONDITIONS TO BE MAINTAINED SHALL BE MAINTAINED PRIOR TO INSTALLATION OF THE FOOTINGS.
 - COLUMNS BEING TO BE RELOCATED INTO THE EXISTING FIELD SHALL BE RELOCATED TO THE CENTER OF THE COLUMN LINE. ALL UNDERGROUND UTILITIES, STORM WATER CONDUITS, AND CONDUITS SHALL BE MAINTAINED TO COMPLETION OF CONSTRUCTION.
 - 6.C. SHALL CONFIRM DIMENSIONS OF GASES AND EXACT LOCATION OF PICK-UP INDOOR PRIOR TO CONSTRUCTION.

- CONSTRUCTION NOTES - MEAL DELIVERY**
- REINFORCE CANOPY STEEL SUPPORT COLUMN WITH CONCRETE FOOTING BELOW SEE STRUCTURAL DRAWINGS FOR FURTHER DETAILS. EXISTING FOUNDATION FOR INDOOR BUILDING SHALL BE MAINTAINED. PROVIDE FLUSH TRANSITION BETWEEN NEW AND EXIST. CONCRETE SURFACES.
 - EXISTING CONCRETE GABS TO REMAIN. SAK OUT AND REMOVE PORTION OF GABS AS REQUIRED FOR INSTALLATION OF NEW FOOTING. SAK AS REQUIRED PROVIDE SMOOTH TRANSITION BETWEEN NEW AND EXIST. CONCRETE SURFACES. ANY WORK CRACKED OR DAMAGED ON SITE SHALL BE REPAIRED.
 - EXISTING CONCRETE HALFWAY TO REMAIN.
 - EXISTING LANDSCAPE AREA TO REMAIN.
 - DASHED LINE INDICATING OUTLINE OF CANOPY. REFER TO CANOPY SHOP DRAWINGS FOR FURTHER DETAILS.
 - FACE OF EXISTING EXTERIOR BUILDING SHALL DO NOT DISTURB.
 - VERIFY EXACT LOCATION AND NOTIFY CHICK-FILE-A PROJECT TEAM IF CANOPY LOCATION CHANGES AND IMPACTS OTHER CONSTRUCTION.
 - EXISTING MEAL DELIVERY PICK-UP INDOOR. DO NOT DISTURB.
 - EXISTING BOLLARD TO BE REMOVED.
 - DASHED LINE INDICATING EXISTING ANCHOR TO BE REMOVED. 6.C. TO VERIFY EXACT LOCATION OF ANCHOR. PROVIDE FLUSH TRANSITION FOR ALL PICK-UP WORK.
 - EXISTING ANCHOR TO REMAIN. INDICATED BY DASHED LINE.
 - EXISTING DRIVE THRU LINE TO REMAIN. TYP.
 - EXISTING SECURITY CAMERA TO REMAIN (HEIGHT 10'-4").
 - EXISTING SECURITY LIGHTS TO REMAIN (HEIGHT 11'-0").
 - LOCATION OF EXISTING ELECTRICAL AND GAS EQUIPMENT TO REMAIN.
 - EXISTING BUILDING SETBACK LINE SHOWN FOR REFERENCE. SEE SITE PLAN.
 - EXISTING PROPERTY LINE SHOWN FOR REFERENCE. SEE SITE PLAN.
 - EXISTING SPUR EASEMENT LINE SHOWN FOR REFERENCE. SEE SITE PLAN.



- GENERAL NOTES**
- THE DIMENSIONS SHOWN ON THESE DRAWINGS ARE TO CENTER OF COLUMN LINE ONLY AND HAVE BEEN ESTABLISHED IN ACCORDANCE WITH CHICK-FILE-A STANDARD DESIGN GUIDELINES.
 - FOUNDATIONS FOR INDOOR EXISTING EXTERIOR BUILDING SHALL BE MAINTAINED. PROVIDE FLUSH TRANSITION BETWEEN NEW AND EXIST. CONCRETE SURFACES.
 - EXISTING CONCRETE GABS TO REMAIN. SAK OUT AND REMOVE PORTION OF GABS AS REQUIRED FOR INSTALLATION OF NEW FOOTING. SAK AS REQUIRED PROVIDE SMOOTH TRANSITION BETWEEN NEW AND EXIST. CONCRETE SURFACES. ANY WORK CRACKED OR DAMAGED ON SITE SHALL BE REPAIRED.
 - EXISTING CONCRETE HALFWAY TO REMAIN.
 - EXISTING LANDSCAPE AREA TO REMAIN.
 - FACE OF EXISTING EXTERIOR BUILDING SHALL DO NOT DISTURB.
 - VERIFY EXACT LOCATION OF COLUMN STARTING POINT. NOTIFY CHICK-FILE-A PROJECT TEAM IF CHANGES ARE REQUIRED. IMPACTS OTHER CONSTRUCTION.
 - EXISTING DRIVE THRU ORDER POINT. HELL BOUND. DO NOT DISTURB.
 - TRANSITION BETWEEN ALL EXIST. AND NEW CONCRETE FINISHES.
 - LOCATION OF NEW BOLLARD PER CHICK-FILE-A DESIGN STANDARD. INSTALL CANOPY COLUMN AS SHOWN ON DRAWINGS. REFER TO DETAIL DRAWING FOR FURTHER DETAILS.
 - EXISTING CLEARANCE BARK TO REMAIN. DO NOT DISTURB.
 - DASHED LINE INDICATING OUTLINE OF CANOPY. REFER TO CANOPY SHOP DRAWINGS FOR FURTHER DETAILS.
 - EXISTING DRIVE THRU LINE TO REMAIN. TYP.
 - EXISTING ADA COMPLIANT CONCRETE GABS RAMP TO REMAIN. DO NOT DISTURB.
 - EXISTING SETBACK LINE SHOWN FOR REFERENCE. SEE SITE PLAN.
 - EXISTING SPUR EASEMENT LINE SHOWN FOR REFERENCE. SEE SITE PLAN.
 - DASHED LINE INDICATING LOCATION OF UNDERGROUND STORM WATER PIPING. 6.C. TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION.
 - EXISTING UNDERGROUND UTILITIES. VERIFY EXACT LOCATION PRIOR TO START OF CONSTRUCTION.





esencia
 1743 E. MAIN ST. SUITE 200
 ATLANTA, GEORGIA 30339
 Telephone: 404-765-0609

SEAL OF ALABAMA REGISTERED ARCHITECT
 APRIL W. WINTER
 7017

Revision Schedule
 Rev. Date By Description

12-08-2021

Project Name: CANOPY PROGRAM
 STORE #3339
 513 MONTGOMERY HWY.
 VESTAVIA HILLS, AL 35216

Issue Date: 12-08-2021
 Drawn By: EB
 Job Number: 19003

Sheet Title: Elevation Plan
 Scale: As Indicated

Sheet Number: A-3

CONSTRUCTION NOTES - MEAL DELIVERY

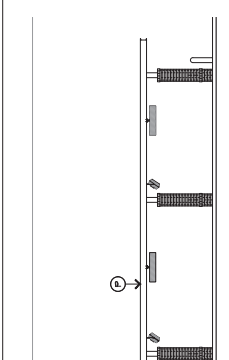
- EXISTING BUILDING AND FINISHES TO REMAIN TO WORK IN THIS AREA.
- MEAL DELIVERY PICK UP WINDOW NO CHANGE.
- TOP OF EXISTING CONCRETE PAVEMENT TO REMAIN.
- TOP OF EXISTING DRIVE THRU LANE TO REMAIN.
- PAVED LINE INDICATING EXISTING FINISHES TO BE REMOVED 6.0' SHALL BE REPAIRED OR REPLACED EXISTING FINISHES TO REMAIN WITHIN EXISTING DRIVE THRU LANE.
- EXISTING FINISHES TO REMAIN TO CHANGE.
- FOR EACH DETAIL, SUPPORT COLUMN - SEE FINISH SCHEDULE REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
- NEW BRICK VENEER 1000 AZOP METAL FRAMING SYSTEM COLUMN ENCLOSURE SEE DETAILS.
- NEW BRICK VENEER 1000 BRICK SEE DETAILS.
- INDICATING LINE FOR COLONNADAS SHALL BE FINISHED TO MATCH EXISTING COLONNADAS.
- NEW CANOPY INDUSTRIAL MOUNTED BY TAN TPI CORPORATION MODEL - IJA-16 REFER TO THE FINISH SCHEDULE FOR FINISHES.
- NEW CANOPY OVERHEAD HEATER BY SUPRESE SUSHANK MODEL - 2052 IN OUTDOOR REFER TO THE FINISH SCHEDULE FOR FINISHES.
- NEW MEAL DELIVERY METAL CANOPY - REFER TO CANOPY DRAWINGS FOR FINISH SCHEDULE FOR FINISHES.
- NEW FACE TO FACE METAL CANOPY REFER TO CANOPY DRAWINGS FOR FINISH SCHEDULE FOR FINISHES.
- EXISTING ORDER VIEW BOARD TO REMAIN NO CHANGE.

CONSTRUCTION NOTES - FACE TO FACE

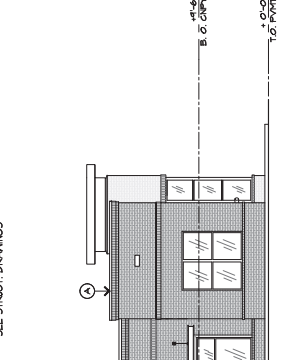
- EXISTING BUILDING AND FINISHES TO REMAIN TO WORK IN THIS AREA.
- TOP OF EXISTING DRIVE THRU LANE TO REMAIN.
- EXISTING VAIN ENTRY.
- PAVED LINE INDICATING EXISTING FINISHES TO BE REMOVED 6.0' SHALL BE REPAIRED OR REPLACED EXISTING FINISHES AS REQUIRED MATCH EXISTING DRIVE THRU LANE.
- EXISTING FINISHES TO REMAIN TO CHANGE.
- NEW CANOPY STEEL SUPPORT COLUMN - SEE FINISH SCHEDULE REFER TO STRUCTURAL DRAWINGS FOR FINISH SCHEDULE.
- NEW BRICK VENEER 1000 BRICK SEE DETAILS.
- NEW CANOPY OVERHEAD HEATER BY SUPRESE SUSHANK MODEL - 2052 IN OUTDOOR REFER TO THE FINISH SCHEDULE FOR FINISHES.
- NEW CANOPY ROOF DECK / FASCIA / RAIN COUPLERS - SEE FINISH SCHEDULE FOR FINISHES.
- NEW CANOPY INDUSTRIAL MOUNTED BY TAN TPI CORPORATION MODEL - IJA-16 REFER TO THE FINISH SCHEDULE FOR FINISHES.
- NEW CANOPY OVERHEAD HEATER BY SUPRESE SUSHANK MODEL - 2052 IN OUTDOOR REFER TO THE FINISH SCHEDULE FOR FINISHES.
- NEW CANOPY STEEL SUPPORT COLUMN - SEE FINISH SCHEDULE REFER TO CANOPY DRAWINGS FOR FINISH SCHEDULE FOR FINISHES.
- EXISTING ORDER VIEW BOARD TO REMAIN NO CHANGE.

FINISH SCHEDULE

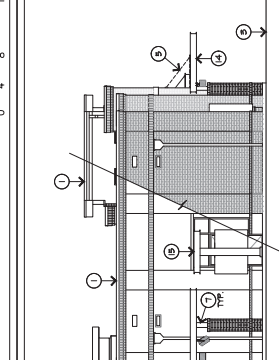
MARK	DESCRIPTION
CS1	CANOPY MANUFACTURER: BRUNNEN COLOR: 4744468 HIGH GLOSS WHITE
CS2	CANOPY ROOF DECK/FASCIA EXPOSED COLLARS LOCATION: 187-2075 OIL RUBBED BRONZE TEXTURED PUP POWDER COAT FINISH
CS3	CANOPY FINISH AND COLUMN CAP - PRE-ENGINEERED MANUFACTURER: BRUNNEN COLOR: 4744468 HIGH GLOSS WHITE
CS4	CANOPY OVERHEAD HEATER BY SUPRESE SUSHANK MODEL - 2052 IN OUTDOOR REFER TO THE FINISH SCHEDULE FOR FINISHES.
CS5	CANOPY STEEL SUPPORT COLUMN - PRE-ENGINEERED MANUFACTURER: BRUNNEN COLOR: 4744468 HIGH GLOSS WHITE



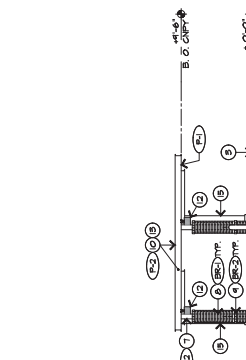
1 FRONT ELEVATION (WEST) - MEAL DELIVERY CANOPY
 SCALE: 1/8" = 1'-0"



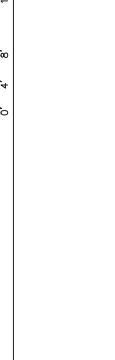
2 DRIVE THRU ELEVATION (NORTH) - MEAL DELIVERY CANOPY
 SCALE: 1/8" = 1'-0"

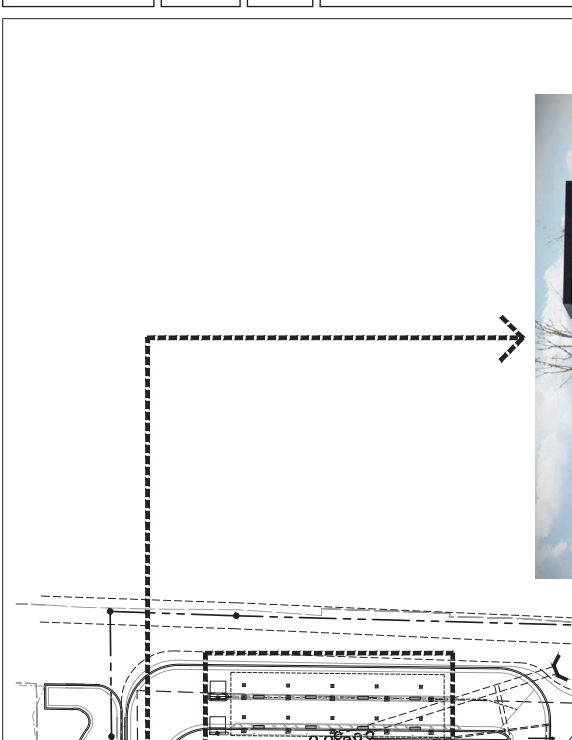


3 REAR ELEVATION (EAST) - FACE TO FACE CANOPY
 SCALE: 1/8" = 1'-0"



4 SIDE ENTRY ELEVATION (SOUTH) - FACE TO FACE CANOPY
 SCALE: 1/8" = 1'-0"





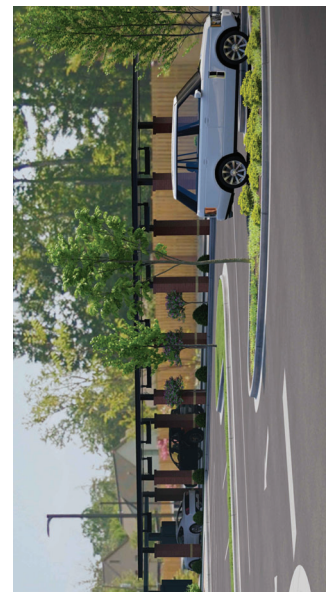
MEAL DELIVERY CANOPY, 9'-6" CLEAR ABOVE PAVEMENT - FRONT VIEW.



MEAL DELIVERY CANOPY, 9'-6" CLEAR ABOVE PAVEMENT - UNDER CANOPY VIEW.



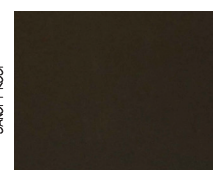
FACE TO FACE CANOPY (DUAL LANE), 9'-6" CLEAR ABOVE PAVEMENT - FRONT VIEW.



FACE TO FACE CANOPY (DUAL LANE), 9'-6" CLEAR ABOVE PAVEMENT - UNDER CANOPY VIEW.

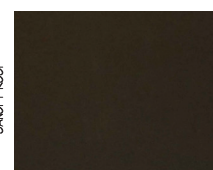
MATERIAL SAMPLES

CANOPY DECK - INDSIDE FACE



CANOPY LINE SUPPLY, INC.
COLOR: DARK BRONZE WHITE

CANOPY ROOF



CANOPY LINE SUPPLY, INC.
COLOR: DARK BRONZE WHITE

CANOPY LIGHT



LED CANOPY LIGHT - LEGACY (SIBU)
MODEL: LIGHT OUTPUT - CRUS
COLOR: COOL WHITE

OVERHEAD PATIO HEATER



SUPREME SCHWANK
MODEL: 2992 N OUTDOOR

INDUSTRIAL MOUNTED NON-STATION FAN



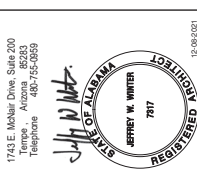
TFC CORPORATION
MODEL: UL-6-TE
FAN SIZE: 18"



Chick-fil-A
5300 BIRCHMOUNT ROAD
ATLANTA, GEORGIA 30349
(404) 785-8000

THIS PLAN AND SPECIFICATIONS ARE THE PROPERTY OF CHICK-FIL-A. NO PART OF THIS PLAN OR SPECIFICATIONS ARE TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CHICK-FIL-A. THIS PLAN AND SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.

esencia
1743 E. MOHAR Drive, Suite 200
Atlanta, Georgia 30316
Telephone: 404-755-0559



Rev	Date	By	Description

Revision Schedule

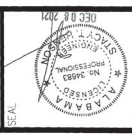
Project Name: CANOPY PROGRAM
CHICK-FIL-A
STORE #3339
513 MONTGOMERY HWY.
VESTAVIA HILLS, AL 35216

Issue Date: 12-08-2021
Drawn By: BB
Job Number: 19003

Sheet Title: Products & Materials
Scale: As Indicated
Sheet Number: A-6



Revisions:
 Mark Date By
 Δ
 Δ
 Δ



INTERPLAN
 2024 CENTER ROAD, SUITE 1000
 ALPHARETTA, GA 30621
 (770) 770-1100
 WWW.INTERPLAN.COM

STORE:
 CANDY ROLLOUT
 PROGRAM FSU 3339
 513 MONTGOMERY
 HWY
 VESTAVIA HILLS, AL
 35216

PHOTOMETRIC
 LIGHTING PLAN

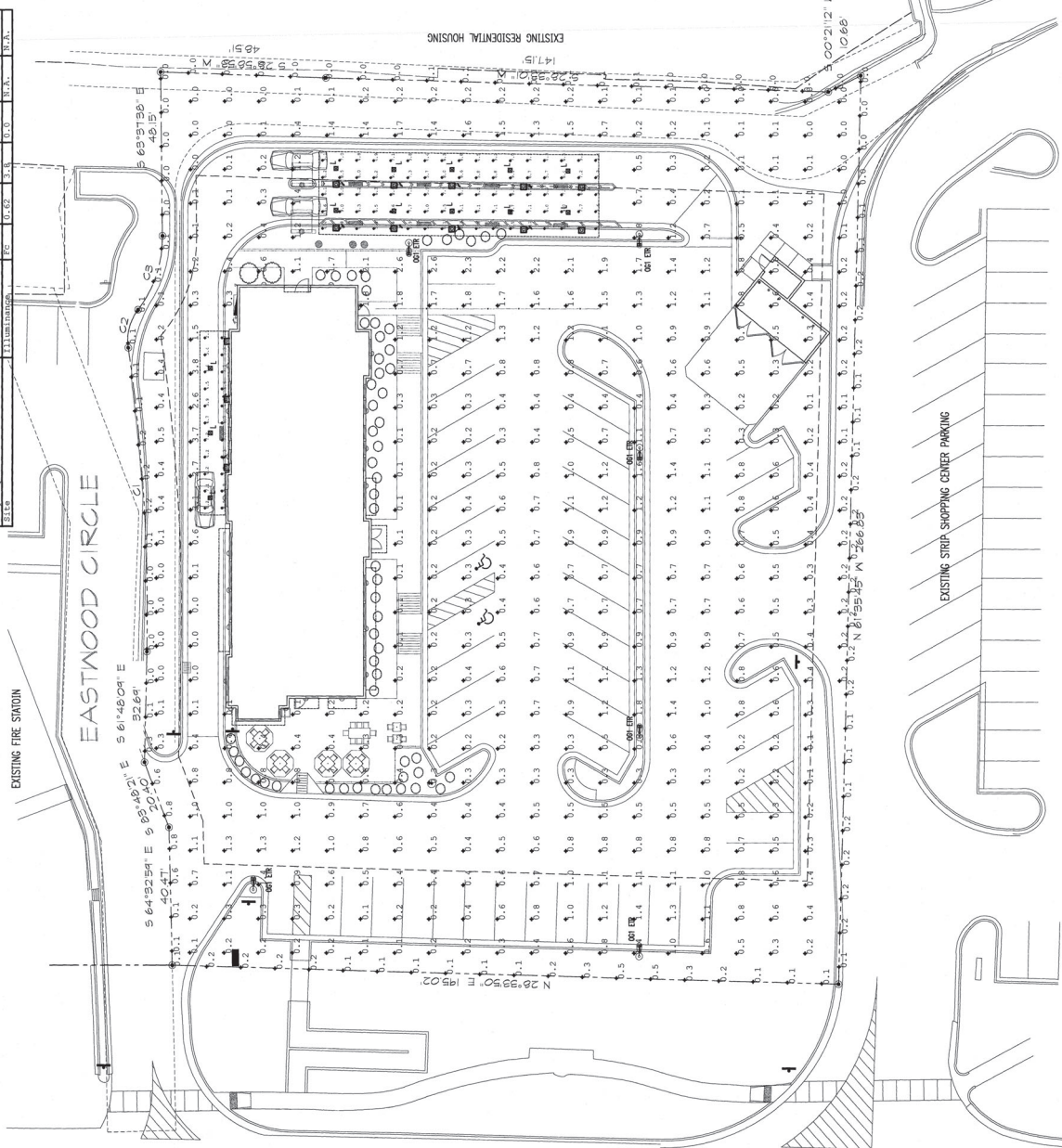
VERSION: 17.005
 ISSUE DATE: 12-2021
 Job No.: 211245
 Store: 3339
 Date: 12/2021
 Drawn By: BEN
 Checked By: EAF
 Sheet

ES-1.0

JANOR - 12/20/2021 12:56:48 PM

Symbol	Qty	Label	Arrangement	LF	Description	Mounting Ht	Foot. Luminaire
1	1	OP-1	STR	SINGLE	1-000	8530	207-3P

Calculation	Value	Unit	Calculation	Value	Unit
11 LUMINANCE	3.32	fc	11 LUMINANCE	2.21	fc
11 LUMINANCE	6.39	fc	11 LUMINANCE	5.7	fc
11 LUMINANCE	10.42	fc	11 LUMINANCE	10.0	fc



Category	Item	Page	Type
1	1	1	1



Scottsdale® Legacy (CRUS SM)
 LED Surface Mount Canopy Luminaire
 IP68

QUICK LINKS
 Ordering Guide | Performance | Dimensions

FEATURES & SPECIFICATIONS

Construction
 - Anodized aluminum housing
 - Polycarbonate lens
 - Gasketed for weather-tight seal
 - 100% aluminum construction

Electrical
 - LED
 - 120V AC
 - 100W
 - 1000lm
 - 100lm/W

Lighting
 - 100lm/W
 - 1000lm
 - 1000lm/W

ORDERING GUIDE

Model: CRUS SM, 100W, 1000lm, 100lm/W

Options:
 - Lens: Clear, Frosted
 - Mounting: Standard, Flush Mount

PERFORMANCE

Beam Angle	Beam Diameter (ft)	Beam Diameter (m)	Footcandle (fc)	Lumen (lm)
30°	1.0	0.305	1000	1000
45°	1.5	0.457	444	1000
60°	2.0	0.610	278	1000
75°	2.5	0.762	178	1000
90°	3.0	0.914	139	1000

NEW CANOPY FIXTURE L

Item	Qty	Unit Price	Total Price
1	1	100.00	100.00

PHOTOMETRIC LIGHTING PLAN

3 of 7

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
APPLICATION**

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: CANADA HEIGHTS DA LLC

Address: 361 SUMMIT BLVD SUITE 110
35243

Phone #: 205-790-3424 Other #: _____

E-Mail: Will@WILL@CGPRE.COM

Billing/Responsible Party (This Section Must Be Completed)

Name: LOCAL ROOTS LLC

Address: 1665 McFARLAND BLVD N.

Phone #: 205-742-1245 Other #: _____

E-Mail: DUSTY@LOCALROOTS.COM

Representing Attorney/Other Agent

Name: _____

Address: _____

Phone #: _____ Other #: _____

E-Mail: _____

II. DESCRIPTION OF PROPERTY:

LOCATION: 3134 Cahaba Heights Road; Vestavia, AL 35243
Street Address

Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST:

- | | | |
|----|-------------------------------------|---------------------------|
| 1. | <input type="checkbox"/> | Preliminary Review |
| 2. | <input type="checkbox"/> | Landscape Review |
| 3. | <input checked="" type="checkbox"/> | Architectural Review |
| 5. | <input type="checkbox"/> | Final Review of Materials |
| 6. | <input type="checkbox"/> | Other - Explain _____ |

IV. PROCESS:


- | | | |
|----|-------------------------------------|---|
| 1. | <input type="checkbox"/> | New Building |
| 2. | <input checked="" type="checkbox"/> | Renovation of Existing Building |
| 3. | <input type="checkbox"/> | New Landscape Plan |
| 4. | <input type="checkbox"/> | Renovation to Existing Landscaping Plan |
| 7. | <input type="checkbox"/> | Other - Explain _____ |

V. ZONING

Vestavia Hills Zoning for the subject property is _____.

VI. OWNER AFFIDAVIT:

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. ***This application must be signed by the property owner before a Notary and the original application shall be submitted (no copies allowed).***



Owner Signature/Date

11/19/22

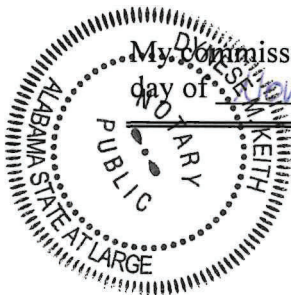
Representing Agent (if any)/date

Given under my hand and seal
this 19th day of January, 2022.



Notary Public

My Commission expires 15th
day of November, 2022.



**My Commission Expires
November 15, 2025**

INDEX OF DRAWINGS

SHT. NO.	SHEET TITLE
CS	COVER SHEET SURVEY
A1.0	ARCHITECTURAL EXISTING/DEMOLITION PLAN AND EXISTING ELEVATIONS
A2.1	EXISTING/DEMOLITION WALL SECTIONS & SCHEDULES
A2.2	ENLARGED RESTROOMS, ELEVATIONS & SCHEDULE
A2.3	MECHANICAL ELECTRICAL SCHEDULES & SCHEDULE
A2.4	MECHANICAL ELECTRICAL SCHEDULES & SCHEDULE
A2.5	MECHANICAL ELECTRICAL SCHEDULES & SCHEDULE
A2.6	MECHANICAL ELECTRICAL SCHEDULES & SCHEDULE
S2.0	STRUCTURAL NOTES
M3.1	MECHANICAL LEGENDS, SCHEDULES & ABBREVIATIONS
M3.2	MECHANICAL DETAILS & CONTROL DIAGRAMS
M3.3	MECHANICAL SCHEDULES & SCHEDULES
M3.4	MECHANICAL ROOF PLAN DEMOLITION
M3.5	MECHANICAL ROOF PLAN DEMOLITION
M3.6	MECHANICAL ROOF PLAN NEW WORK
P1.1	PLUMBING LEGENDS, SCHEDULES & DETAILS
P1.2	PLUMBING FLOOR PLAN & ROOF PLAN DEMOLITION GRAVITY
P1.3	PLUMBING FLOOR PLAN & ROOF PLAN DEMOLITION GRAVITY
P1.4	PLUMBING FLOOR PLAN & ROOF PLAN DEMOLITION GRAVITY
P1.5	PLUMBING FLOOR PLAN NEW WORK GRAVITY
ED.1	ELECTRICAL LEGEND, NOTES & DETAILS
ED.2	ELECTRICAL LEGEND, NOTES & DETAILS
ED.3	ELECTRICAL LUMINAIRE SCHEDULE, NOTES & DETAILS
ED.4	ELECTRICAL SCHEDULES & SCHEDULES
E1.1	ELECTRICAL ROOF PLAN DEMOLITION
E1.2	ELECTRICAL ROOF PLAN DEMOLITION
E2.1	ELECTRICAL FLOOR PLAN POWER & AUXILIARY
E2.2	ELECTRICAL FLOOR PLAN POWER & AUXILIARY
FS-2	KITCHEN EQUIPMENT FOOD SERVICE KITCHEN EQUIPMENT FLOOR PLAN

VICINITY MAP



BUILDING LOCATION

GENERAL NOTES

- DIMENSIONS: ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- EXISTING CONDITIONS: THE GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL CONDITIONS AND THE ARCHITECT IS NOT RESPONSIBLE FOR THE EXISTING CONDITION AND THE DRAWINGS OCCUR. THE G.C. IS TO NOTIFY THE ARCHITECT IF TENANT IMMEDIATELY UPON DISCOVERY.
- SCOPE OF WORK: THE SCOPE OF WORK IS LIMITED TO THE AREAS INDICATED ON THE DRAWINGS.
- WORKMANSHIP: ALL WORK SHALL CONFORM WITH ALL APPLICABLE LOCAL ORDINANCES & VESTAVIA HILLS, WORKMANSHIP SHALL BE HELD TO BE STANDARD PRACTICES WITH WORK PERFORMED BY SKILLED CRAFTSMEN ONLY. IT WILL BE ASSUMED THAT EACH TRADE HAS OBTAINED ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING WORK UNLESS THE ARCHITECT/TENANT IS INFORMED TO THE CONTRARY AT LEAST 24 HOURS BEFORE COMMENCING WORK.
- OTHER WORK: ALL TRADES SHALL FURNISH ALL LABORS AND PERFORM ALL WORK NECESSARY TO COMPLETE THE SCOPE OF WORK TO A COMPLETE AND PROPER FINISHED JOB.
- MATERIALS AND EQUIPMENT STANDARDS: ALL MATERIALS AND EQUIPMENT SHALL BE USED IN ACCORDANCE WITH THE STANDARDS SPECIFIED IN THE DRAWINGS.
- OTHER MATERIALS: ALL MATERIALS NOT SPECIFICALLY DESCRIBED BUT REQUIRED FOR A COMPLETE AND PROPER INSTALLATION AS INDICATED ON THE DRAWINGS SHALL BE NEW, SUITABLE FOR THE INTENDED USE AND SUBJECT TO THE APPROVAL OF THE ARCHITECT. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY UPON DISCOVERY OF ANY OTHER MATERIALS OR ITEMS AS CLOSELY TO THE EXISTING EQUIPMENT AS POSSIBLE.

CONSTRUCTION NOTES

- ROOF REPAIR WORK TO BE COMPLETED BY THE LANDLORD. G.C. TO COORDINATE WITH THE LANDLORD AND LANDLORD'S ROOF INSTALLER. LEAK SOLUTIONS: 100 WEST OXFORD ROAD PAUL SPRINGER - lakewood@gs.com 205-924-0300 205-924-0296
- MARK ALL EXISTING STRUCTURE WITH THE LANDLORD TO COORDINATE WITH THE LANDLORD TO ORDER THE CORRECT RUL. SEE MECHANICAL DRAWINGS.
- FIRE PROTECTION: VERIFY THE EXISTING FIRE RATED G.C. TO LOCATE THE EXISTING FIRE PROTECTION SYSTEM LOCATIONS AND DETERMINE THE MOST ECONOMIC EFFICIENT AND SAFE SYSTEM TO PROVIDE PROTECTION TO THE MOST ECONOMIC EFFICIENT AND SAFE SYSTEM ADDITIONALLY IT IS THE RESPONSIBILITY OF THE G.C. TO CONFORM TO ALL APPLICABLE CODES. SEE ELECTRICAL DRAWING FOR ADDITIONAL INFORMATION.
- HOTEL RESTAURANT SUPPLY WILL PROVIDE THE NEW VENTILATION HOOD AND EXHAUST SYSTEM. G.C. TO DETAIL VENTILATION HOOD PER MANUFACTURER'S SPECIFICATIONS.
- WORKING CONDITIONS: ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL ORDINANCES. ALL NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO COMMENCING WORK. ALL NEW CEILING TO MATCH EXISTING CEILING HEIGHTS UNLESS OTHERWISE NOTED ON THE DRAWINGS. SHOULD DISCREPANCIES OCCUR DUE TO HVAC OR ELECTRICAL REQUIREMENTS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY. SEE POP FOR ADDITIONAL INFORMATION ON CEILING MATERIALS AND CEILING HEIGHTS.

CODE REVIEW

- APPLICABLE CODES:
 - CITY OF VESTAVIA HILLS, ALABAMA: (IBC) 2015
 - INTERNATIONAL PLUMBING CODE (IPC) 2015
 - INTERNATIONAL MECHANICAL CODE (IMC) 2015
 - INTERNATIONAL ELECTRICAL CODE (NEC) 2015
 - NATIONAL FIRE CODE (NFC) 2015
 - NATIONAL ELECTRICAL CODE (NEC) 2014
 - INTERNATIONAL BUILDING CODE (IBC) 2012
 - NATIONAL STATES DEPARTMENT OF JUSTICE (NFPA 70)
 - AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)
- EXISTING BUILDING AREA 2,489 S.F.
- OCCUPANCY CLASSIFICATION: ASSEMBLY GROUP - A2 (IBC, 303.3)
- CONSTRUCTION TYPE: ITC, ONE (1) STORY MAX. NSR (608 S.F. PER FLOOR MAX. (TABLES 603.4, 603.4.1, 603.2.1))
- STRUCTURAL COMPONENT FIRE RESISTANCE RATING (TABLE 601.1B):
 - COLUMNS: GORBES BEAMA (STRUCTURAL FRAME) 0 HR
 - INTERIOR NONLOAD BEARING WALLS / PARTITIONS 0 HR
 - EXTERIOR NONLOAD BEARING WALLS / PARTITIONS 0 HR
 - INTERIOR NONLOAD BEARING WALLS / PARTITIONS 0 HR
 - FLOOR CONSTRUCTION / SECONDARY MEMBERS 0 HR
 - ROOF CONSTRUCTION / SECONDARY MEMBERS 0 HR
- MEANS OF EGRESS: OCCUPANT LOAD PER OCCUPANCY CLASSIFICATION - (TABLE 1004.1.2):

A. ASSEMBLY (TABLES 6. CHAIRS - (6 U.S.F. / OCCUPANT))	SF	1,150 U.S.F.	OCCUPANT		6
B. KITCHEN (200 U.S.F. / OCCUPANT)	SF	420 U.S.F.	OCCUPANT		6
TOTAL AREA: 2,489 S.F.					
- PLUMBING/FITURE REQUIREMENTS (IBC, TABLE 2902.1):

MALE / FEMALE OCCUPANTS	92 + 50% FOR MEN AND WOMEN	# REQUIRED	MALE	FEMALE
			46	46
REQUIRED FIXTURES FOR BUSINESS (IBC, TABLE 2902.1)				
MALE WATER CLOSERS (1 / 7)			1	1
MALE WATER CLOSERS (1 / 20)			1	1
FEMALE WATER CLOSERS (1 / 20)			1	1
SERVICE SINKS (1 REQUIRED)				

A RENOVATION FOR



Of An Existing Dairy Queen, Inc.
 At 3134 Cahaba Heights Road

ADAMS DESIGN ASSOCIATES

ARCHITECTURE INTERIORS PLANNING
 2 - 20th Street North, Suite 940
 Birmingham, Alabama 35203
 205 / 328-1100
 www.adamsdesignassociates.com



REVISIONS

NO.	DATE	DESCRIPTION

SHEET TITLE COVER SHEET	
DATE	11-11-2021
ISSUE DATE	11-11-2021
PROJECT NUMBER	1633
RPS	LPR

CS

ADAMS DESIGN ASSOCIATES
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DESIGN TEAM

TENANT:
 LOCAL ROOTS, LLC
 CONTACT: JUSTIN SPRULL
 TELEPHONE: (205) 242-1245

ARCHITECT:
 ADAMS DESIGN ASSOCIATES, INC.
 2 - 20TH STREET NORTH, SUITE 940
 BIRMINGHAM, ALABAMA, 35203
 TELEPHONE: (205) 328-1100
 E-MAIL: rtr@adamsdesignassociates.com

ELECTRICAL ENGINEER:
 HAYS CHEATWOOD CONSULTING, INC.
 3120 8TH AVENUE SOUTH
 BIRMINGHAM, ALABAMA 35233
 TELEPHONE: (205) 942-0896 x 103
 E-MAIL: greg.mullina@hayscheatwood.com

CONTACT: GREG MULLINAX

STRUCTURAL ENGINEER:
 TP ENGINEERING
 P.O. BOX 600
 WETUMPA, AL 36171
 TELEPHONE: (205) 565-0992
 FACSIMILE: (205) 817-9222
 E-MAIL: charmon@tpengineering.com

CONTACT: CHRIS HARMON

KITCHEN DESIGNER:
 HOTEL & RESTAURANT SUPPLY
 13021 WINN LUTHER KING JR. BLVD.
 NORTHPORT, ALABAMA 35131
 TELEPHONE: (205) 733-8888
 FACSIMILE: (205) 409-9369
 E-MAIL: cheering@hrsupply.com

CONTACT: CODY HEARING

LEGEND OF SYMBOLS

①	DOOR SYMBOL	OWNER FINISHED / CONTRACTOR INSTALLED
②	WINDOW SYMBOL	
③	ROOM NUMBER	
④	WALL OR DETAIL SECTION KEY	
⑤	OWNER FINISHED / CONTRACTOR INSTALLED	
⑥	DETAIL SECTION KEY	
⑦	BUILDING SECTION	
⑧	BUILDING ELEVATIONS	
⑨	ABOVE FINISHED FLOOR	

ARCHITECTURAL ABBREVIATIONS

SYMBOL	ABBREVIATION	DESCRIPTION
⑩	FINISH	FACE OF MASONRY
⑪	OPM	OPESHIM
⑫	H.C.	HANDWRAPPED
⑬	INSUL	INSULATION
⑭	M.S.	MASONRY OPENING
⑮	M.E.	MECHANICAL
⑯	C.J.	CONTROL JOINT
⑰	C.M.U.	CONCRETE MASONRY UNIT
⑱	P.I.	PRESSURE TREATED
⑲	D.C.	DRINKING CUP
⑳	D.S.	DOWN SPOUT
㉑	D.W.	DRAINAGE
㉒	D.M.	DAMPENER
㉓	E	EQUIPMENT
㉔	E.V.C.	ELECTRIC WATER COOLER
㉕	E.W.	ELECTRIC WIRE
㉖	BRG.	BARING
㉗	AL.T.	ALTERNATE
㉘	RM	ROOM
㉙	M.TG.	MEETING
㉚	S.C.	SHOULDER CORE
㉛	S.M.	SIMILAR
C. TO C.		CORNER TO CORNER

ATF = ABOVE FINISHED FLOOR

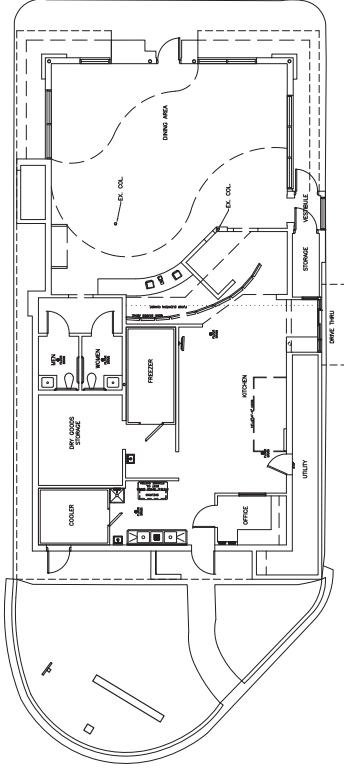


REVISIONS

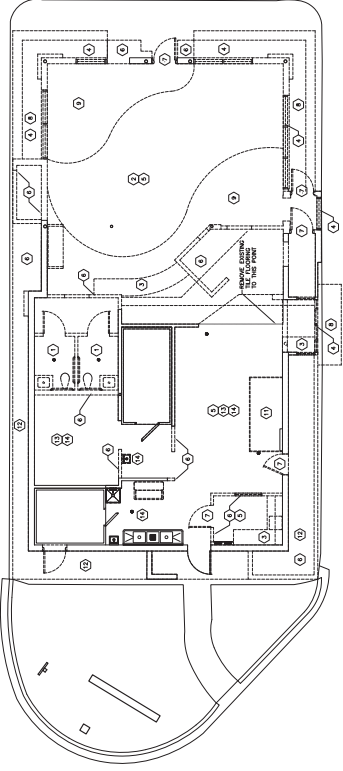
SHEET TITLE
EX/DEMO BUILDING FLOOR PLAN & EXTERIOR ELEVATIONS

DATE: 11-11-2021
PROJECT NUMBER: 1633
ISSUE DATE: 11-11-2021
SHEET NUMBER

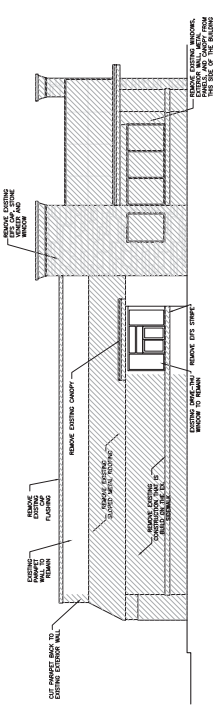
A1.0



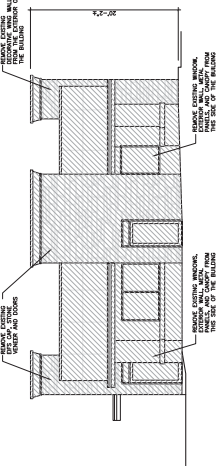
1 EXISTING FLOOR PLAN
SCALE: 1/8" = 1'-0"



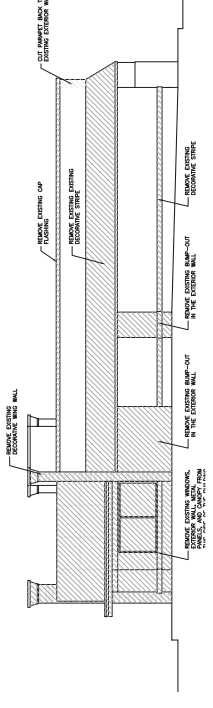
2 DEMO FLOOR PLAN
SCALE: 1/8" = 1'-0"



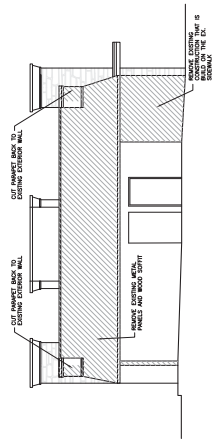
3 EXISTING ELEVATION
SCALE: 1/8" = 1'-0"



4 EXISTING ELEVATION
SCALE: 1/8" = 1'-0"



5 EXISTING ELEVATION
SCALE: 1/8" = 1'-0"



6 EXISTING ELEVATION
SCALE: 1/8" = 1'-0"

- DEMO GENERAL NOTES:**
- IN THE BACK OF HOUSE REMOVE CHIPS/BROKEN FRP AND TRIM WHERE FRP IS REMOVED PREP EXISTING WALLS FOR NEW FRP PANELS/TRIM. WHERE POSSIBLE REUSE EXISTING STAINLESS STEEL WALL PANELS. SEE KITCHEN EQUIPMENT DRAWING FOR STAINLESS STEEL LOCATIONS.
 - REMOVE EXISTING STONE VENEER ON THE EXTERIOR.
 - REMOVE THE METAL PANELS, CANOPIES, AND ALL DO BRAND RELATED ELEMENTS ON THE EXTERIOR OF THE BUILDING.
 - REMOVE DECORATIVE EIFS CORNICES AND TRIM BRANDS FROM THE EXISTING BUILDING.
 - REMOVE EXISTING METAL SLOPED FASCIA AND WOOD SOFFITS.
- DEMO NOTES:**
- REMOVE EXISTING RESTROOMS
 - REMOVE EXISTING FLOORING. PREP CONCRETE SLAB FOR NEW FLOORING.
 - REMOVE EXISTING CABINETS/ COUNTERS.
 - REMOVE EXISTING WINDOWS AND STOREFRONT.
 - REMOVE EXISTING CEILING, GRIDS, DIFFUSERS, LIGHTS AND ALL EXPOSED CEILING MOUNTED EQUIPMENT.
 - REMOVE EXISTING WALL
 - REMOVE EXISTING DOOR AND FRAME
 - REMOVE EXISTING CANOPY
 - REMOVE GYP. BD. CEILING
 - NOT USED
 - REMOVE EXISTING HOOD
 - REMOVE EXISTING SOFFIT AND SLOPED METAL ROOFING
 - REMOVE EX. BROKEN/CHIPPED FRP AND TRIM. STAINLESS STEEL PANELS TO REMAIN. (CLEAN PANELS TO REMAIN)
 - REMOVE EXISTING KITCHEN EQUIPMENT

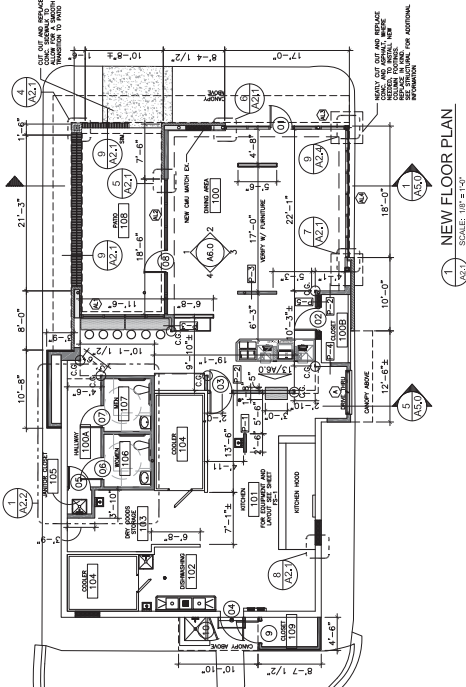


REVISIONS

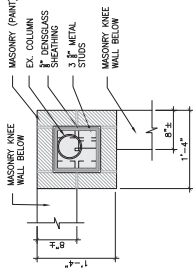
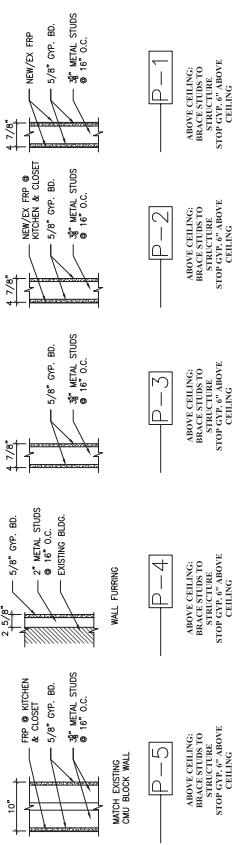
SHEET TITLE
**NEW WORK
FLOOR PLAN
RCP, & ROOF PLAN,
NOTES & DETAILS**

REVISION
NO. / RPS / RPS
PROJECT NUMBER
16333
ISSUE DATE
11-11-2021
SHEET NUMBER

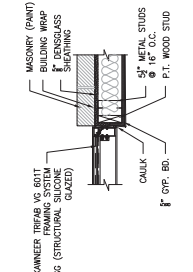
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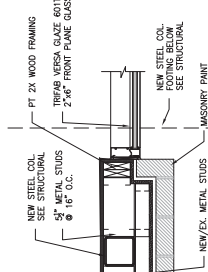
1 NEW FLOOR PLAN
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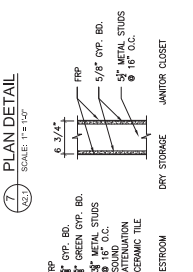
4 PLAN DETAIL
SCALE: 1" = 1'-0"



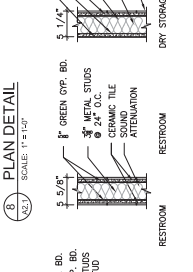
5 PLAN DETAIL
SCALE: 1" = 1'-0"



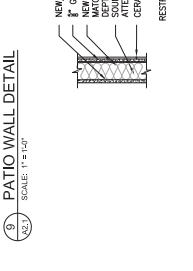
6 PLAN DETAIL
SCALE: 1" = 1'-0"



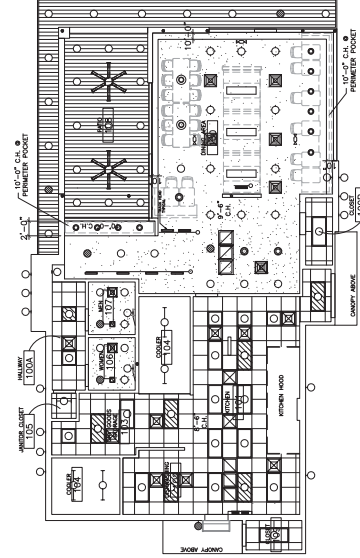
7 PLAN DETAIL
SCALE: 1" = 1'-0"



8 PLAN DETAIL
SCALE: 1" = 1'-0"



9 PATIO WALL DETAIL
SCALE: 1" = 1'-0"



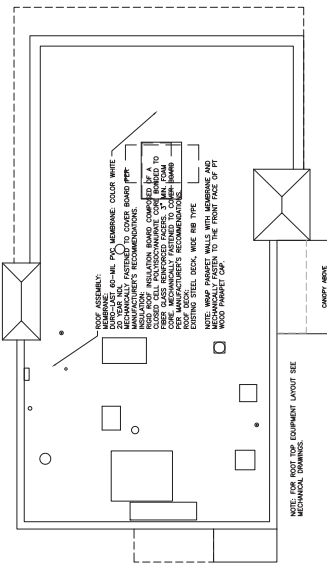
2 NEW RCP
SCALE: 1/8" = 1'-0"

	2x4 LED FIXTURES (SEE ELECTRICAL)
	2x4 LED FIXTURES (SEE ELECTRICAL)
	LINEAR LED FIXTURE SURFACE MOUNTED W/ ADJUSTABLE HEAD (SEE ELECTRICAL)
	6" RECESSED LED FIXTURE (SEE ELECTRICAL)
	LARGE PENDANT FIXTURE (SEE ELECTRICAL)
	WALL MOUNTED EXTERIOR FIXTURE (SEE ELECTRICAL)
	EXHAUST FAN GRILL (SEE MECHANICAL)
	SUPPLY AIR DIFFUSERS (SEE MECHANICAL)
	RETURN AIR DIFFUSERS (SEE MECHANICAL)

	ARMSTRONG CEILING & WALL KITCHEN ZONE, 2'x2' SQUARE LAY-IN 15/16
	GYPSUM BOARD - SEMI GLOSS
	WOOD CEILING T&G - CLEAR FINISH

REFLECTED CEILING PLAN NOTES

- WHERE POSSIBLE, IN THE KITCHEN, DISHWASHING, AND DRY GOODS STORAGE REUSE THE EXISTING CEILING, DIFFUSERS AND TILE. NEW LIGHTING, DIFFUSERS AND TILE.
- WHERE NEW CEILING GRIDS ARE INSTALLED, CENTER ON THE ROOM UNLESS SPECIFICALLY NOTED OTHERWISE. CEILING TILE DIMENSIONS SHALL NOT BE LESS THAN 6" IN WIDTH INSTALLED.
- INTERIOR LIGHTING, MECHANICAL DIFFUSERS, A/V CENTER ON THE ROOM UNLESS SPECIFICALLY NOTED OTHERWISE. COORDINATE WITH ELECTRICAL CONTRACTOR FOR QUANTITY AND LOCATIONS FOR CEILING MOUNTED EQUIPMENT.



3 NEW ROOF PLAN
SCALE: 1/8" = 1'-0"

NOTE: NEW ROOF TOP COMPONENT LAYOUT SEE MECHANICAL DRAWINGS.



REVISIONS

SHEET TITLE
ENLARGED RESTROOM FLOOR PLANS & SCHEDULE

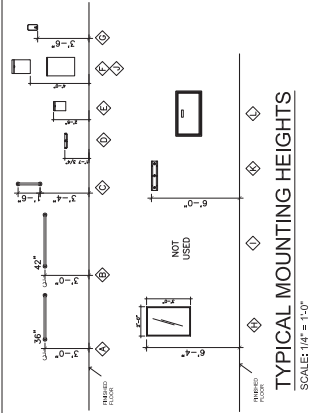
ISSUED FOR	REVISION
RPS	LPR
PROJECT NUMBER	1633
ISSUE DATE	11-11-2021
SHEET NUMBER	

A2.2

TOILET ACCESSORIES SCHEDULE

SYMBOL	ITEM	NO.	NOMINAL SIZE		REMARKS
			W	D	HGT
◇	36" GRAB BAR	B-4320X36	1-1/4" DIA.	3" FROM WALL	
◇	42" GRAB BAR	B-4320X42	1-1/4" DIA.	3" FROM WALL	
◇	18" GRAB BAR	B-4320X18	1-1/4" DIA.	3" FROM WALL	
◇	TOILET PAPER DISPENSER				OWNER FURNISHED
◇	SANITARY MARKIN DISPOSAL				OWNER FURNISHED
◇	PAPER TOWEL DISPENSER				OWNER FURNISHED
◇	SOAP DISPENSER				OWNER FURNISHED
◇	ANGLED MIRROR	B-293_24X6	24"		36"
◇	NOT USED				
◇	TUSH CAN	B-43644	17"		27"
◇	MOP AND BROOM HOLDER	B-223	24"		5"
◇	BABY CHANGING TABLE	48X30	41 1/2"	2 3/4"	26 1/2"

NOTES:
1. ACCESSORY NUMBERS INDICATED ARE MADE BY BORBICK, UNLESS OTHERWISE SPECIFIED, OR SIMILAR.
2. ALL TOILET ACCESSORIES TO BE STAINLESS STEEL WITH #4 SATIN FINISH UNLESS OTHERWISE NOTED.
3. GENERAL CONTRACTOR TO VERIFY MOUNTING HEIGHTS COMPLY WITH ALL CODES.
4. ALL MOUNTING HEIGHTS TO BE VERIFIED PER MANUFACTURER'S RECOMMENDATIONS.
5. GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.

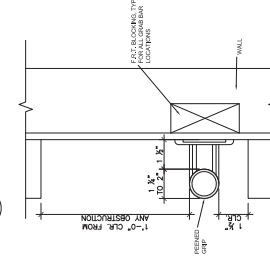


TYPICAL MOUNTING HEIGHTS
SCALE: 1/4" = 1'-0"

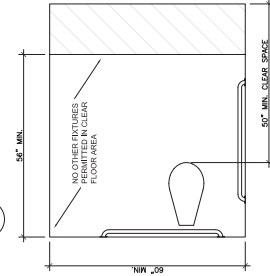
NOTE: FABRICATION PRIOR TO ORDER ANY WORK. VERIFY MOUNTING HEIGHTS AND FINISH. IF DISCREPANCY BETWEEN THE EXISTING CONDITIONS AND THE DRAWINGS EXIST CONTACT THE ARCHITECT IMMEDIATELY FOR CLARIFICATION AND DIRECTION.

NOT USED

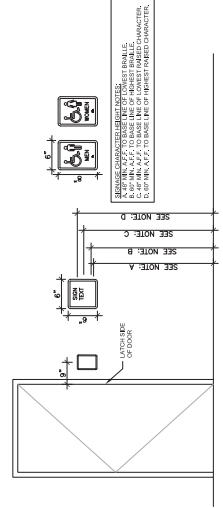
2 DETAIL
SCALE: 1/2" = 1'-0"



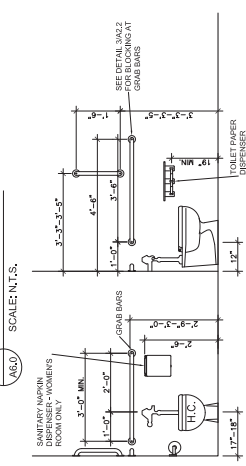
3 GRAB BAR SECTION
SCALE: 1/2" = 1'-0"



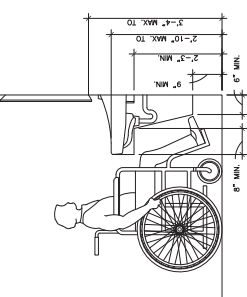
4 ACCESSIBLE TOILET
SCALE: 1/2" = 1'-0"



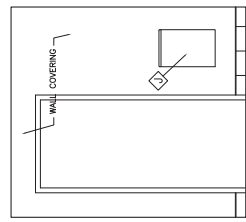
5 TYPICAL RESTROOM SIGNS
SCALE: N.T.S.



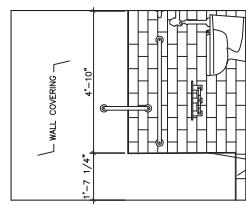
6 ACCESSIBLE WATER CLOSET ELEVATIONS
SCALE: 1/2" = 1'-0"



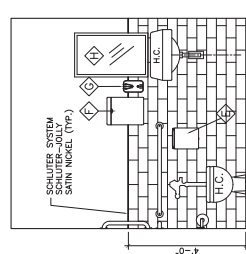
7 ACCESSIBLE LAVATORY ELEVATION
SCALE: 1/2" = 1'-0"



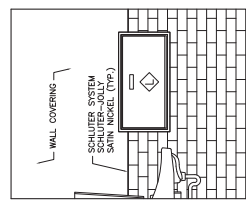
8 TRESTROOM ELEV.
SCALE: 1/2" = 1'-0"



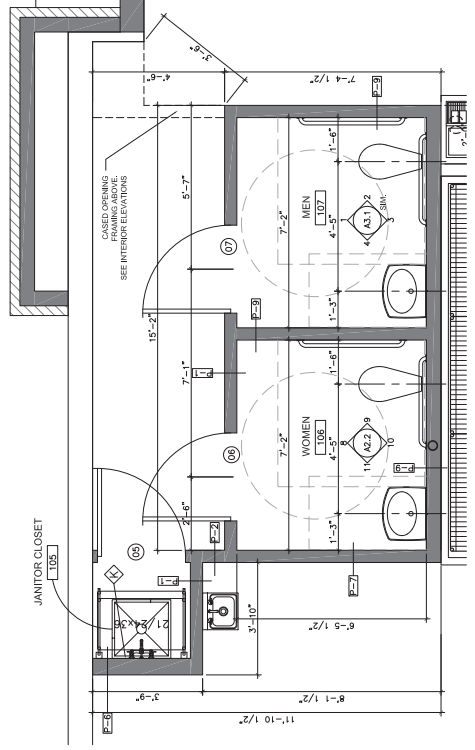
9 TRESTROOM ELEV.
SCALE: 1/2" = 1'-0"



10 TRESTROOM ELEV.
SCALE: 1/2" = 1'-0"



11 TRESTROOM ELEV.
SCALE: 1/2" = 1'-0"



1 ENLARGED RESTROOM FLOOR PLAN
SCALE: 1/2" = 1'-0"

NOTE: COORDINATE SCHLUTER-JOLLY DEPTH WITH TILE THICKNESS

DOOR SCHEDULE

DOOR NO.	TYPE	DOOR		FRAME			REMARKS	
		SIZE (WxH)	THK.	LABEL	HWD	TYPE		MAT.
01	A	ALUM.	3'-0" x 7'-0"	1 1/2"	#A1	#A1	ALUM.	
02	B	WOOD	3'-0" x 7'-0"	1 1/2"	#4	#1	HU	
03	C	S.S.	3'-0" x 7'-0"	1 1/2"	#1	#1	HU	
04	B	HM	3'-0" x 7'-0"	1 1/2"	#2	EX.	EX. HM	
05	B	WOOD	3'-0" x 7'-0"	1 1/2"	#4	#1	HU	
06	B	WOOD	3'-0" x 7'-0"	1 1/2"	#5	#1	HU	
07	B	WOOD	3'-0" x 7'-0"	1 1/2"	#5	#1	HU	
08	A	ALUM.	3'-0" x 6'-0"	1 1/2"	#A1	#A1	ALUM.	
09	B	HM	3'-0" x 7'-0"	1 1/2"	#4	#1	HU	
10	REPLACE WOOD GATE WITH FT. WOOD DOOR MATCH EXISTING (PAINT)							

DOOR HARDWARE

HARDWARE SET #1	
DOOR NO. 03	STAINLESS STEEL RESTAURANT KITCHEN DOUBLE SWING TRAFFIC DOOR - HARDWARE BY MANUFACTURER
HARDWARE SET #2	
DOOR NO. 04	
3	BUTTS
1	LENT DEVICE
1	CLOSER (W/ HOLD OPEN)
1	DROP PLATE / SPACER
1	KICKPLATE
1	THRESHOLD
HARDWARE SET #3	
DOOR NO. 06 & 07	
3	BUTTS
1	PULL
1	INDICATOR LOCK
1	CLOSER
1	DROP PLATE / SPACER
3	SILENCERS
HARDWARE SET #4	
DOOR NO. 02 & 05	
3	BUTTS
1	LOCK SET
3	SILENCERS

AL. DOOR HARDWARE

HARDWARE SET #1	
DOOR NO. 01, 08	
1	CONT. HINGE
1	PUSH/PULLS
1	CYLINDER HOUSING
1	TEMP CORE
1	CONCEALED OVERHEAD
1	DOOR WEATHERSTRIPPING
1	THRESHOLD

Flooring (FOH)

Dining Area: 12x24 Matte Grey

Kitchen: 11 inch tile, ceramic

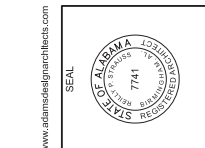
Restroom: 11 inch tile, ceramic

FINISH SCHEDULE

ROOM NO.	NAME	FLOOR	BASE	WALLS	CEILING		REMARKS
					FINISH	HEIGHT	
100	DINING AREA	CT-1	STAINLESS STEEL	STAINLESS STEEL	POP-1	9'-8 1/2" / 10'-0"	SEE FLOORING PATTERN. SEE INTERIOR ELEV.
100A	HALLWAY	CT-2	STAINLESS STEEL	NON-1 / POP-1	ACT-1	9'-0"	
100B	CLOSET	CT-1	RUBBER	FRP	ACT-1	9'-0"	
101	KITCHEN	NEW/EX. QUARRY	EX. QUARRY	NEW/EX. FRP	POP	MATCH EX.	PATCH EX. QUARRY AS NEEDED
102	DISHWASHING	NEW/EX. QUARRY	EX. QUARRY	NEW/EX. FRP	ACT-1	8'-6" / 9'-0"	PATCH EX. QUARRY AS NEEDED
103	DRY GOODS STORAGE	NEW/EX. QUARRY	NEW/EX. QUARRY	EX. FRP	ACT-1	8'-6" / 9'-0"	PATCH EX. QUARRY AS NEEDED
104	WALK-IN COOLER	N/A	N/A	N/A	N/A	N/A	
105	JANITOR CLOSET	EX. CONC.	RUBBER	FRP	ACT-1	9'-0"	
106	WOMEN'S RESTROOM	CT-3	CT-4 / WC	POP-3	POP-3	9'-0"	GREEN CYP. BOARD
107	MEN'S RESTROOM	CT-3	CT-4 / WC	POP-3	POP-3	9'-0"	GREEN CYP. BOARD
108	PATIO	CONCRETE	CONCRETE	WOOD	WOOD	11'-0"	
109	CLOSET	CONCRETE	RUBBER	FRP	ACT-1	9'-0"	

FINISH SCHEDULE LEGEND

FLOORS:	WALLS:	TRIMS:
CT-1	CERAMIC TILE SIZES: 12" x 24" COLORS: BLACK AND WHITE (SEE PATTERN)	HM TRIM
CT-2	CERAMIC TILE 12x24 SIZES: SLATE GRAY COLORS: BLACK AND WHITE (SEE PATTERN)	HM TRIM
CT-3	CERAMIC TILE 12x24 SIZES: SLATE GRAY COLORS: BLACK AND WHITE (SEE PATTERN)	HM TRIM
QUARRY	QUARRY TILE MATCH EXISTING SIZES: 606	DOOR STAIN:
BASE:	CERAMIC TILE POLISHED CERAMIC TILE (CUSTOM GROUT) SIZES: 3" x 12" COLORS: WHITE RUNNING BOND	DOORS
CT-4	STAINLESS STEEL COVE BASE SIZES: 3" x 12" COLORS: BLACK AND WHITE (MATCH EXISTING) INSTALL WITH FACTORY PRE-FORMED CORNERS	DOORS
RUBBER	RUBBER WALL BASE SIZES: 3" x 12" COLORS: BLACK AND WHITE (MATCH EXISTING) INSTALL WITH FACTORY PRE-FORMED CORNERS	DOORS
CORNER GUARDS:	CORNER GUARDS AT INDICATED JOB OUTSIDE 90° CORNERS SEE PLAN FOR INDICATED LOCATIONS. CORNER GUARDS TO BE ADJUSTED TO MATCH EXISTING CORNER GUARDS TO AT THE OTHER CORNER.	CEILING:
CEILING GUARDS:	CORNER GUARDS AT INDICATED JOB OUTSIDE 90° CORNERS SEE PLAN FOR INDICATED LOCATIONS. CORNER GUARDS TO BE ADJUSTED TO MATCH EXISTING CORNER GUARDS TO AT THE OTHER CORNER.	POP-1
CEILING:	CERAMIC TILE POLISHED CERAMIC TILE (CUSTOM GROUT) SIZES: 3" x 12" COLORS: WHITE RUNNING BOND	POP-3
DOOR STAIN:	DOOR STAIN	ACT-1
DOORS:	DOOR STAIN	ACCENT FINISHES: (SEE INTERIOR ELEVATIONS)
DOORS:	DOOR STAIN	ACCENT-1
DOORS:	DOOR STAIN	ACCENT-2
DOORS:	DOOR STAIN	NON-1



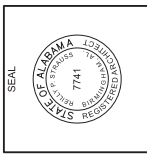
REVISIONS

SHEET TITLE
FINISH AND DOOR SCHEDULE AND DOOR HARDWARE

PROJECT NUMBER
1633

ISSUE DATE
11-11-2021

SHEET NUMBER
A2.3

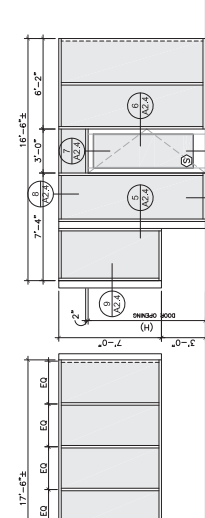
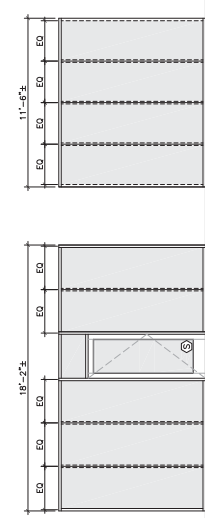


REVISIONS

SHEET TITLE
DOOR AND WINDOW DETAILS

REVISION	ISSUED
TB / RPS	RPS
PROJECT NUMBER	1633
ISSUE DATE	11-11-2021
SHEET NUMBER	

A2.4

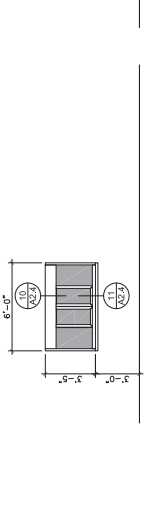
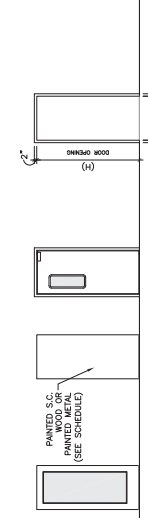


ALUMINUM STOREFRONT - SSG
SCALE: 1/4" = 1'-0"
TRIFAB™ VEG FRAMING SYSTEM
FRONT SET - STICKASSEMBLY - SSKAWATHERSEAL
OUTSIDE GLAZED TWO COLOR OPTION (F. INFILL)

ALUMINUM STOREFRONT
SCALE: 1/4" = 1'-0"
TRIFAB™ VEG FRAMING SYSTEM
FRONT SET - STICKASSEMBLY
OUTSIDE GLAZED TWO COLOR OPTION (F. INFILL)

ALUMINUM STOREFRONT
SCALE: 1/4" = 1'-0"
TRIFAB™ VEG FRAMING SYSTEM
FRONT SET - STICKASSEMBLY
OUTSIDE GLAZED TWO COLOR OPTION (F. INFILL)

ALUMINUM STOREFRONT
SCALE: 1/4" = 1'-0"
TRIFAB™ VEG FRAMING SYSTEM
FRONT SET - STICKASSEMBLY
OUTSIDE GLAZED TWO COLOR OPTION (F. INFILL)



H.M. DOOR FRAME
SCALE: 1/4" = 1'-0"

QUICKSERVE DRIVE THRU WINDOW
SCALE: 1/4" = 1'-0"

BREAK METAL @ COL.
SCALE: 1 1/2" = 1'-0"

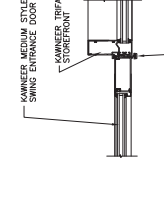
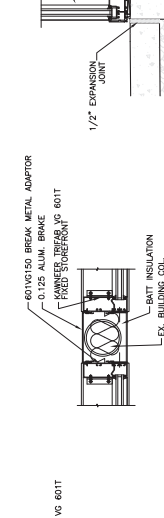
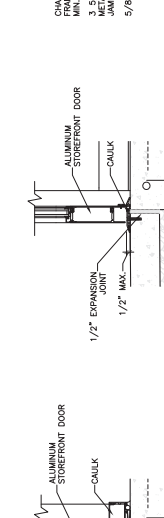
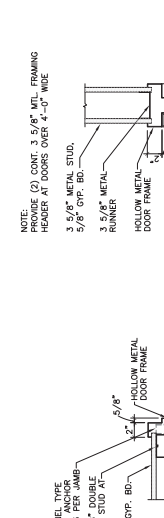
BREAK METAL @ COL.
SCALE: 1 1/2" = 1'-0"

DOOR TYPES
SCALE: 1/4" = 1'-0"

DOOR TYPES
SCALE: 1/4" = 1'-0"

DOOR TYPES
SCALE: 1/4" = 1'-0"

DOOR TYPES
SCALE: 1/4" = 1'-0"

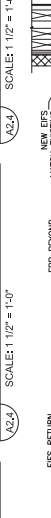
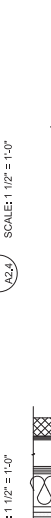


TYP. H.M. HEAD DETAIL
SCALE: 1 1/2" = 1'-0"

TYP. H.M. JAMB DETAIL
SCALE: 1 1/2" = 1'-0"

AL. DOOR THRESHOLD
SCALE: 1 1/2" = 1'-0"

STOREFRONT SILL
SCALE: 1 1/2" = 1'-0"



BREAK METAL @ COL.
SCALE: 1 1/2" = 1'-0"

STOREFRONT HEAD
SCALE: 1 1/2" = 1'-0"

AL. DOOR THRESHOLD
SCALE: 1 1/2" = 1'-0"

STOREFRONT CORNER
SCALE: 1 1/2" = 1'-0"

BREAK METAL @ COL.
SCALE: 1 1/2" = 1'-0"

STOREFRONT HEAD
SCALE: 1 1/2" = 1'-0"

AL. DOOR THRESHOLD
SCALE: 1 1/2" = 1'-0"

STOREFRONT CORNER
SCALE: 1 1/2" = 1'-0"

BREAK METAL @ COL.
SCALE: 1 1/2" = 1'-0"

STOREFRONT HEAD
SCALE: 1 1/2" = 1'-0"

AL. DOOR THRESHOLD
SCALE: 1 1/2" = 1'-0"

STOREFRONT CORNER
SCALE: 1 1/2" = 1'-0"

BREAK METAL @ COL.
SCALE: 1 1/2" = 1'-0"

STOREFRONT HEAD
SCALE: 1 1/2" = 1'-0"

AL. DOOR THRESHOLD
SCALE: 1 1/2" = 1'-0"

STOREFRONT CORNER
SCALE: 1 1/2" = 1'-0"

BREAK METAL @ COL.
SCALE: 1 1/2" = 1'-0"

STOREFRONT HEAD
SCALE: 1 1/2" = 1'-0"

AL. DOOR THRESHOLD
SCALE: 1 1/2" = 1'-0"

STOREFRONT CORNER
SCALE: 1 1/2" = 1'-0"

BREAK METAL @ COL.
SCALE: 1 1/2" = 1'-0"

STOREFRONT HEAD
SCALE: 1 1/2" = 1'-0"

AL. DOOR THRESHOLD
SCALE: 1 1/2" = 1'-0"

STOREFRONT CORNER
SCALE: 1 1/2" = 1'-0"

BREAK METAL @ COL.
SCALE: 1 1/2" = 1'-0"

STOREFRONT HEAD
SCALE: 1 1/2" = 1'-0"

AL. DOOR THRESHOLD
SCALE: 1 1/2" = 1'-0"

STOREFRONT CORNER
SCALE: 1 1/2" = 1'-0"

BREAK METAL @ COL.
SCALE: 1 1/2" = 1'-0"

STOREFRONT HEAD
SCALE: 1 1/2" = 1'-0"

AL. DOOR THRESHOLD
SCALE: 1 1/2" = 1'-0"

STOREFRONT CORNER
SCALE: 1 1/2" = 1'-0"

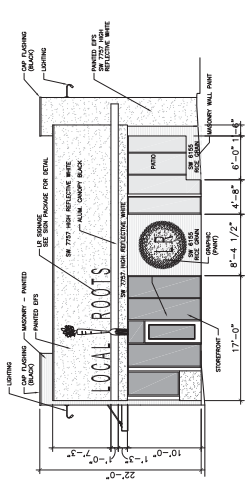


REVISIONS

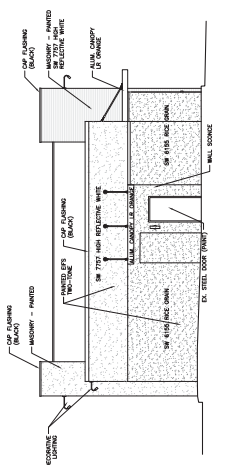
SHEET TITLE
**EXTERIOR
ELEVATIONS**

DATE REVISION
11-11-2021
PROJECT NUMBER
16333
ISSUE DATE
11-11-2021
SHEET NUMBER

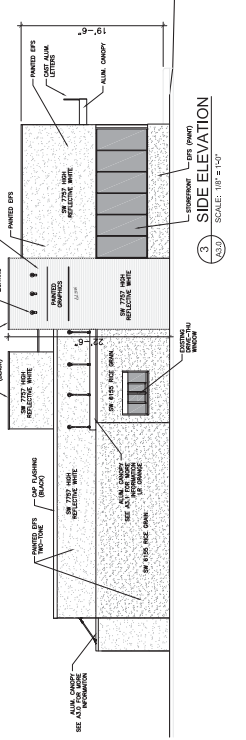
A3.0



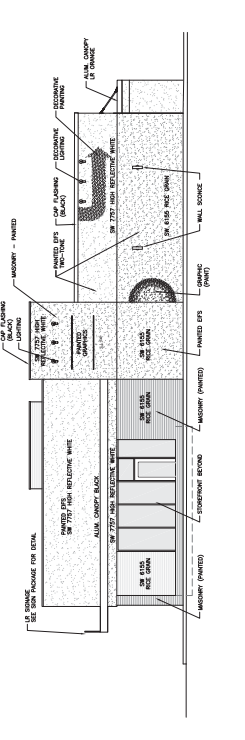
1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



2 REAR ELEVATION
SCALE: 1/8" = 1'-0"



3 SIDE ELEVATION
SCALE: 1/8" = 1'-0"



4 SIDE ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION NOTES:

1. ANODIZED ALUMINUM STOREFRONT (BLACK) - SEE STOREFRONT ELEVATIONS
2. GIFS: PAINT
3. ANODIZED ALUMINUM STOREFRONT (BLACK) - SEE STOREFRONT ELEVATIONS
4. SEE LOCAL ORDINANCES FOR SIZE
5. NEW PRE-ENGINEERED ALUMINUM CANOPY - SEE ELEVATIONS AND CANOPY DETAILS.
6. EXTERIOR LIGHTING, MAXIMUM SPACING.
7. PRE-FINISHED ALUM. CAP FLASHING

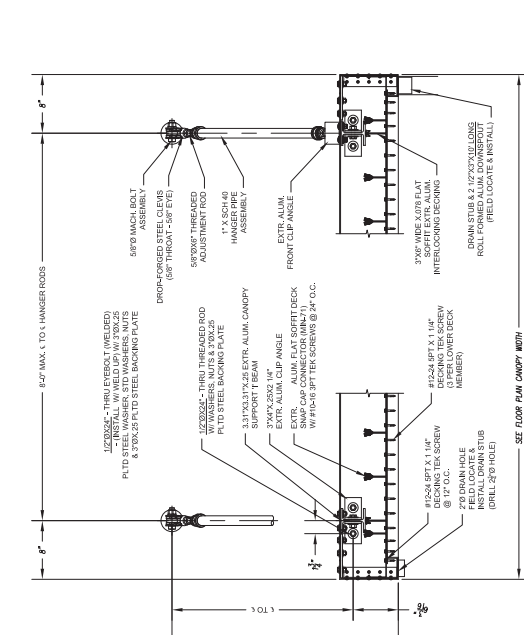
EXTERIOR COLORS:

MASONRY: MODULAR BRICK PAINTED
COLOR: SW 7757 HIGH REFLECTIVE WHITE (HIGH GLOSS)
COLOR: SW 6155 RICE GRAIN (HIGH GLOSS)

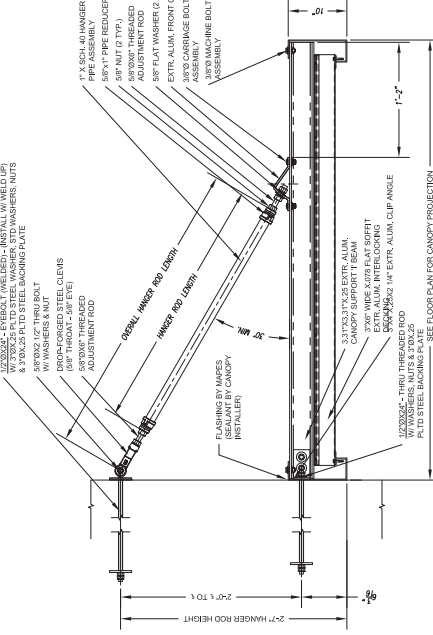
WALL EIFS:
COLOR: SW 7757 HIGH REFLECTIVE WHITE (SATIN)
COLOR: SW 6155 RICE GRAIN (SATIN)

ACCENT COLORS:
LR BRAND ORANGE - AVAILABLE FROM KNIGHT SIGNS
SW GRAY (MATCH LRT)
SW 6980 TRICORN BLACK (HIGH GLOSS)
BREAK METAL TRIM: BERGER OR SIM.
COLOR: BLACK

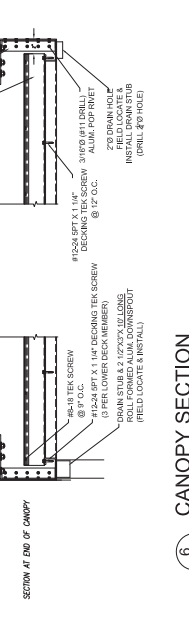
STOREFRONT: KAWNEER - TRIFAB 601T 24 SITE LINE & 6SS
COLOR: BLACK-ANODIZED ALUMINUM OR SIM.



5 CANOPY SECTION
SCALE: NTS



6 CANOPY SECTION
SCALE: NTS



SECTION AT END OF CANOPY





ADAMS
DESIGN
ASSOCIATES

PROJECT MANUAL



A Renovation for Local Roots
Of an Existing Dairy Queen

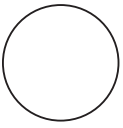
3134 Cahaba Heights Road
Vestavia Hills, Alabama 35243

Architect's Job Number 1633

Date: November 11th, 2021

Paint (FOH)

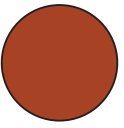
EXTERIOR



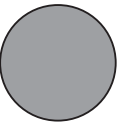
SW 7757 High Reflective White



SW 6155 Rice Grain



LR Brand Orange
(formula —available from Knight Signs)

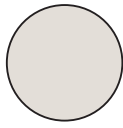


SW ** TBD gray (match LR1)

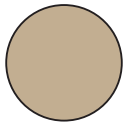


SW 6989 Tricorn Black (not spec'd for store 1)

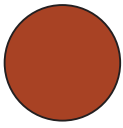
INTERIOR



SW 7014 Eider White



SW 6157 Favorite Tan



LR Brand Orange
(formula —available from Knight Signs)

**CITY OF VESTAVIA HILLS
DESIGN REVIEW BOARD
APPLICATION**

I. APPLICANT INFORMATION:

Owner of Property (This Section Must Be Completed)

Name: Jones - C LLC
Address: 1398 Bristol Manor
Birmingham, AL 35242
Phone #: 205-240-0939 Other #: _____
E-Mail: kheard2@gmail.com

Billing/Responsible Party (This Section Must Be Completed)

Name: Express Oil Change, LLC
Address: 1880 Southpark Dr.
Birmingham, AL 35244
Phone #: 205-945-1771 Other #: _____
E-Mail: jdavis@expressoil.com

Representing Attorney/Other Agent

Name: John Davis
Address: 1880 Southpark Dr.
Birmingham, AL 35244
Phone #: 205-377-1154 Other #: _____
E-Mail: jdavis@expressoil.com

II. DESCRIPTION OF PROPERTY:

LOCATION: 3950 Crosshaven Dr.
Street Address
Lot 4-A Block 1
Subdivision name, Lot #, Block #, etc.

III. REASONS FOR REQUEST:

- | | | |
|----|-------------------------------------|---------------------------|
| 1. | <input checked="" type="checkbox"/> | Preliminary Review |
| 2. | <input checked="" type="checkbox"/> | Landscape Review |
| 3. | <input checked="" type="checkbox"/> | Architectural Review |
| 5. | <input checked="" type="checkbox"/> | Final Review of Materials |
| 6. | <input type="checkbox"/> | Other - Explain _____ |

IV. PROCESS:

- | | | |
|----|-------------------------------------|---|
| 1. | <input checked="" type="checkbox"/> | New Building |
| 2. | <input type="checkbox"/> | Renovation of Existing Building |
| 3. | <input checked="" type="checkbox"/> | New Landscape Plan |
| 4. | <input type="checkbox"/> | Renovation to Existing Landscaping Plan |
| 7. | <input type="checkbox"/> | Other - Explain _____ |

V. ZONING

Vestavia Hills Zoning for the subject property is B2.

VI. OWNER AFFIDAVIT:


I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. ***This application must be signed by the property owner before a Notary and the original application shall be submitted (no copies allowed).***

Owner Signature/Date

 2/20/22

Representing Agent (if any)/date

Given under my hand and seal
this 20th day of January, 2022.



Notary Public



My commission expires By M 3rd
day of May, 2025.



DATE	JANUARY 18, 2022
CD FILE	EX00011-C2.0 SITE PLAN
PROJECT NO.	EX00011
CHECKED BY	RDT
DRAWN BY	CLG
ISSUE	ISSUED FOR PERMIT-1/18/2021
REVISIONS	1. ADDED PRIVACY FENCE ALONG BACK OF PROPERTY 1-18-2022

PROJECT LOCATION
TIRE ENGINEERS
VESTAVIA HILLS, ALABAMA

SHEET TITLE
SITE PLAN

PROJECT
TIRE ENGINEERS

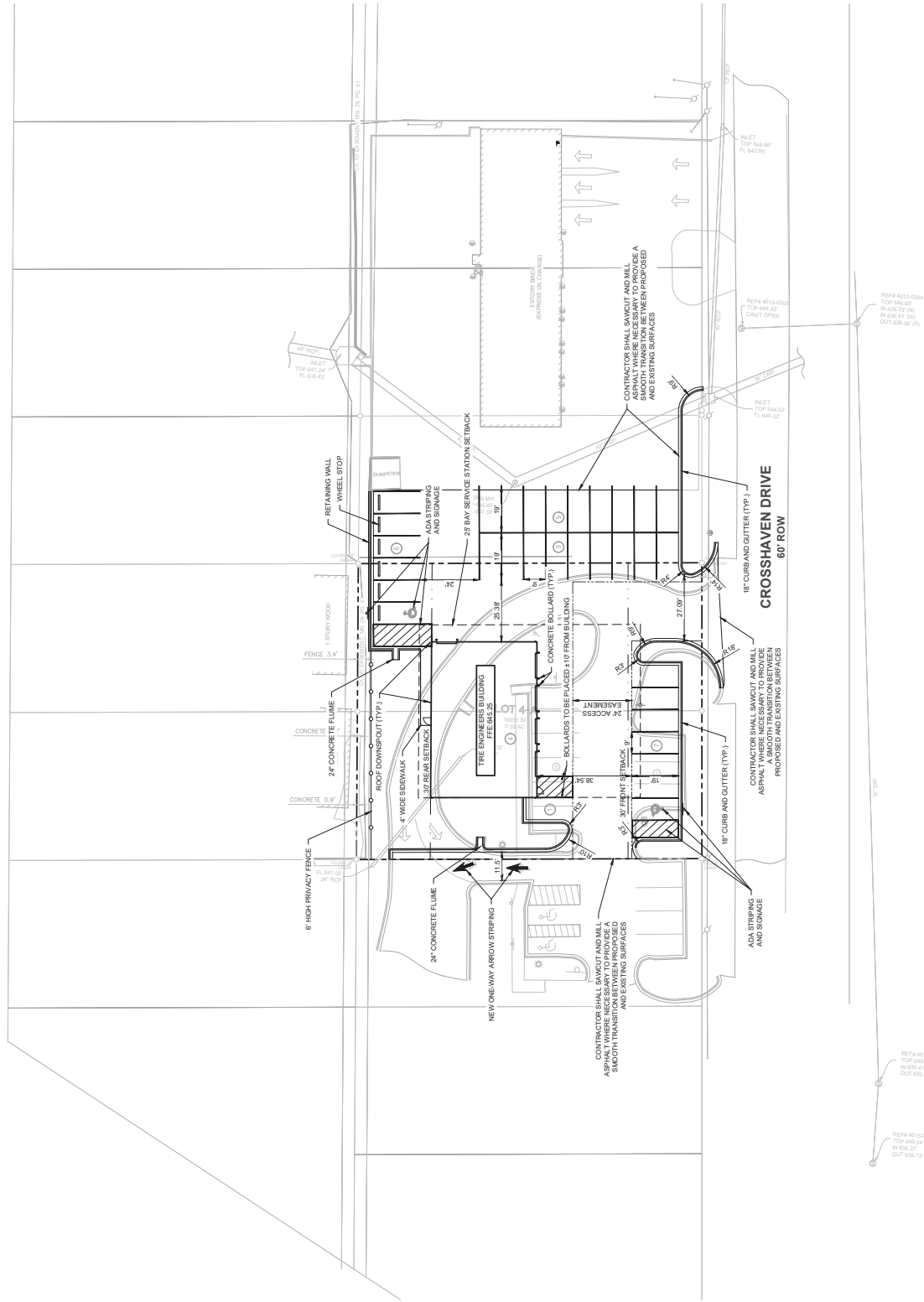
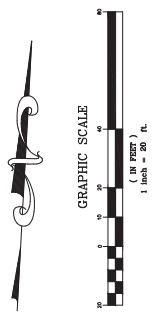
ENGINEERING DESIGN GROUP, LLC
 1205 OLD BRIDGE ROAD
 SUITE 100
 VESTAVIA HILLS, AL 35243
 (205) 973-9195
 www.edgdesign.com

EDG
 ENGINEERING DESIGN GROUP, LLC
 CIVIL ENGINEERING

PROJECT NO. **C2.0/R1.0**

NOT FOR CONSTRUCTION

SITE DATA TABLE	
PARCEL ID	2890 15 4 014 008 000
PARCEL ADDRESS	3862 CROSSHAVEN DR, VESTAVIA HILLS, AL 35243
PARCEL OWNER	TIRE ENGINEERS
OWNER ADDRESS	3862 CROSSHAVEN DR, VESTAVIA HILLS, AL 35243
MUNICIPALITY	CITY OF VESTAVIA HILLS
ZONING	B2
PARCEL AREA	0.39 AC
SETBACK	FRONT 30'
	SIDE 5'
	REAR 10'
PARKING REQUIREMENTS	5 SPACES PER BAY (20)
PARKING PROPOSED	36 SPACES
EXISTING IMPERVIOUS AREA	0.22 AC
POST DEVELOPED IMPERVIOUS AREA	0.39 AC
BUILDING AREA	2,381 S.F.
DISTURBED AREA	0.48 AC



REF# 4013-0003
 TOP 649.29'
 IN 655.47'
 OUT 655.19'

REF# 4013-0004
 TOP 649.62'
 IN 636.22 1/4'
 IN 636.45 2/3'
 OUT 636.36 2/5'

11/18/2022 9:22:49 AM



Express Oil Change & Tire Engineers

Service Building
3950 Crosshaven Drive
Vestavia Hills, Alabama 35243

FINAL

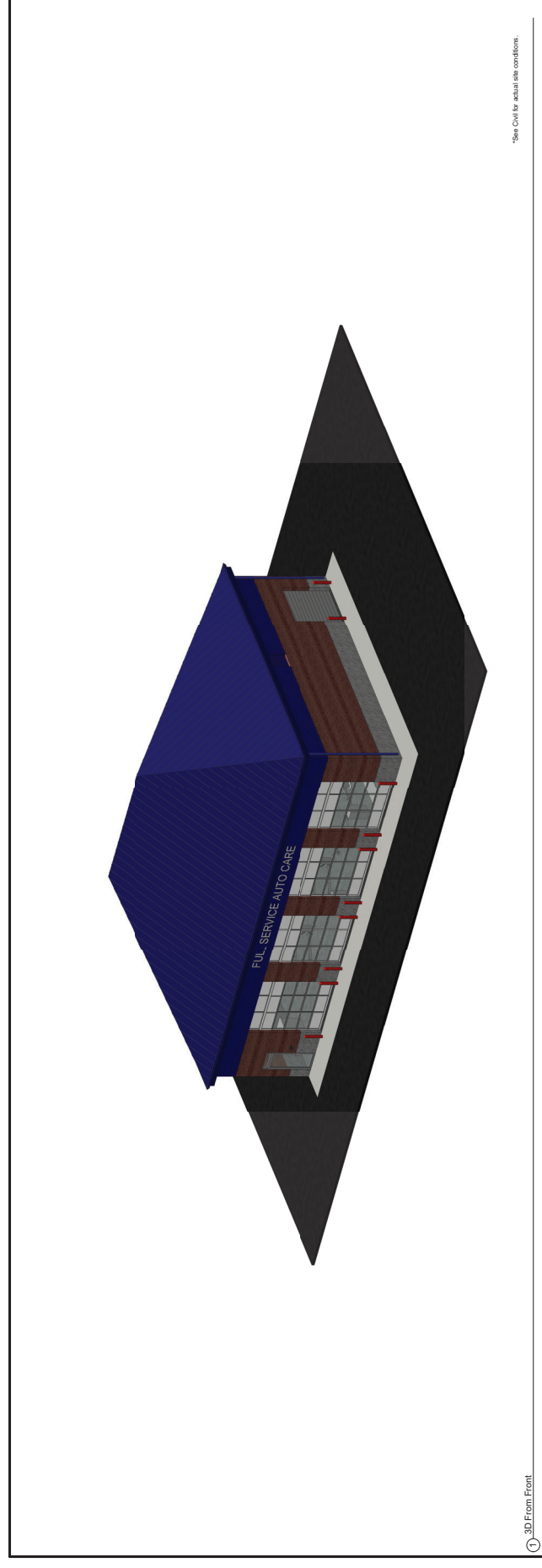
No.	Description	Date

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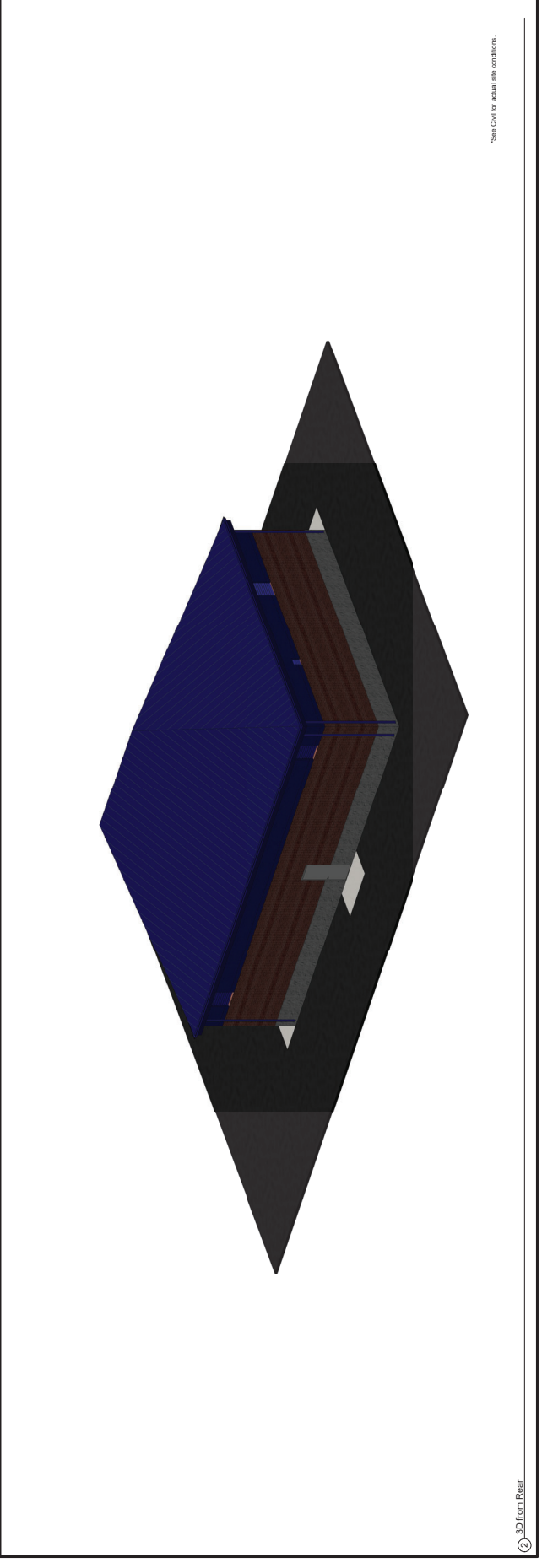
3D Views

Project number	21037
Date	11/18/2021
Drawn by	ARC
Checked by	TAA

SV-R100
Scale



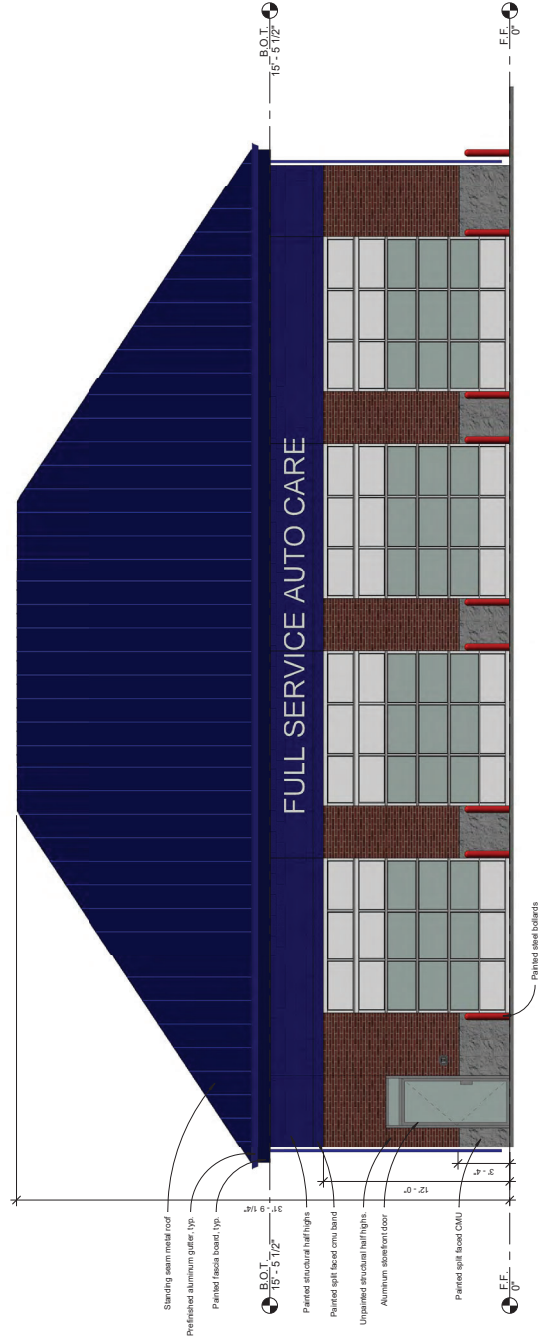
*See Civil for actual site conditions.



*See Civil for actual site conditions.

Exterior Building Materials

- Masonry: Painted structural half highs: Oak Bark Pickled (no flash)
- Painted structural half highs: SW 6966 Blueblood
- Painted split face CMU accent band: SW 6966 Blueblood.
- Painted split face CMU base: SW 7669 Summit Gray
- Control Joint Sealant: To match adjacent building material
- Aluminum Overhead Doors: Factory finished steel (White) and tempered glass (Clear)
- Aluminum Storefront: Clear Anodized
- Glazing: Tinted insulating glass units
- Hollow metal door and frame: SW7669 Summit Gray
- Steel coiling door: SW7669 Summit Gray
- Standing Seam Metal Roof: Berridge Royal Blue
- Pre-finished downspouts and gutters: to match roof
- Painted fascia board: to match roof
- Louvers: SW6966 Blueblood
- Bollards: Painted Safety Red
- Knox Box: Aluminum
- Lettering: White Acrylic



Express Oil Change & Tire Engineers
Service Building
3950 Crosshaven Drive
Vestavia Hills, Alabama 35243

No.	Description	Date

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Exterior Elevation -
Front

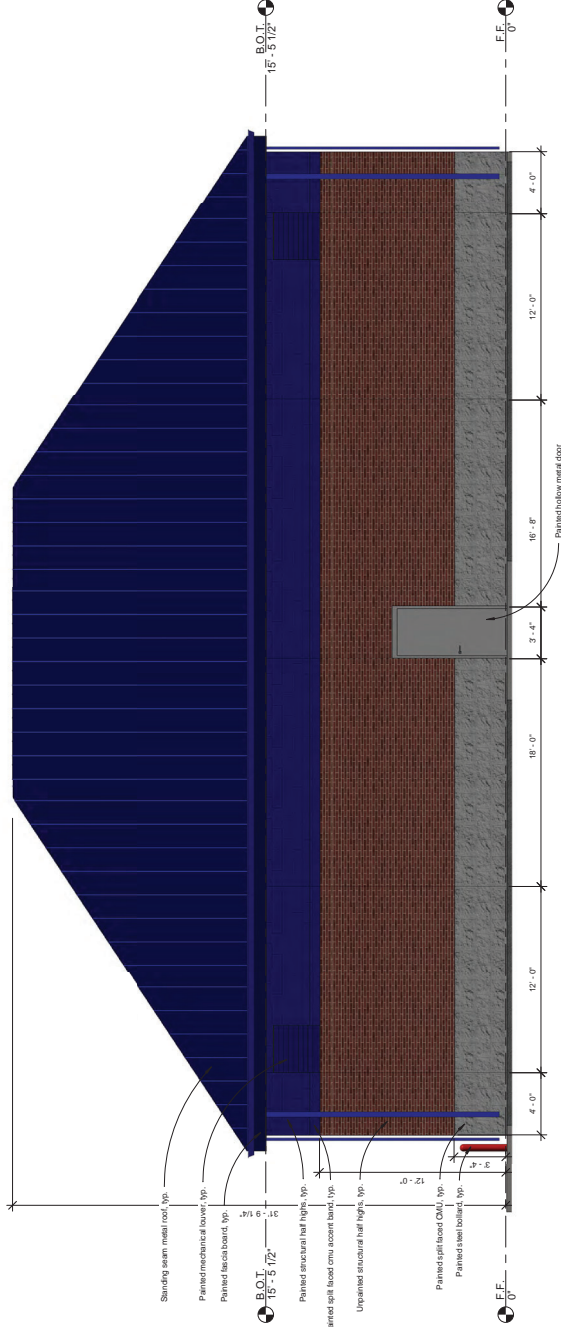
Project number	21037
Date	11/19/2021
Drawn by	ARC
Checked by	TAA

SV-A200
Scale 1/4" = 1'-0"

Front Elevation
1/4" = 1'-0"

Exterior Building Materials

Massing:
Unpainted structural half highs: Oak Brk Richfield (no flash)
Painted structural half highs: SW 6966 Blueblood
Painted split face CMU accent band: SW 6966 Blueblood
Painted split face CMU base: SW 7669 Summit Gray
Control joint Sealant: To match adjacent building material
Aluminum Overhead Doors: Factory finished steel (White) and tempered glass (Clear)
Aluminum Storefront: Clear Anodized
Glazing: Tinted insulating glass units
Hollow metal door and frame: SW7669 Summit Gray
Steel ceiling door: SW7669 Summit Gray
Standing Seam Metal Roof: Berridge Royal Blue
Pre-finished downspouts and gutters: to match roof
Painted fascia board: to match roof
Lowers: SW6966 Blueblood
Bollards: Painted Safety Red
Knox Box: Aluminum
Lettering: White Acrylic



1 Rear Elevation
1/4" = 1'-0"



Express Oil Change & Tire Engineers
Service Building
3950 Crosshaven Drive
Vestavia Hills, Alabama 35243

FINAL

No.	Description	Date

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Exterior Elevation -
Rear

Project number: 21037
Date: 11/18/2021
Drawn by: ARC
Checked by: TAA

SV-A201
Scale: 1/4" = 1'-0"

Exterior Building Materials

Masonry:
 Unpainted structural half highs: Quik Brick Richfield (no flash)
 Painted structural half highs: Quik Brick Richfield (no flash)
 Painted split face CMU accent band: SW 6866 Blueblood
 Painted split face CMU base: SW 7669 Summit Gray

Control Joint Sealant: To match adjacent building material
 Aluminum Overhead Doors: Factory finished steel (White) and
 tempered glass (clear)

Aluminum Storefront: Clear Anodized

Glazing: Tinted insulating glass units

Hollow metal door and frame: SW7669 Summit Gray

Steel ceiling door: SW7669 Summit Gray

Standing Seam Metal Roof: Benridge Royal Blue

Pre-finished downspouts and gutters: to match roof

Painted fascia board: to match roof

Louvers: SW6866 Blueblood

Bollards: Painted Safety Red

Knox Box: Aluminum

Lettering: White Acrylic



Express Oil Change & Tire Engineers
 Service Building
 3950 Crosshaven Drive
 Vestavia Hills, Alabama 35243

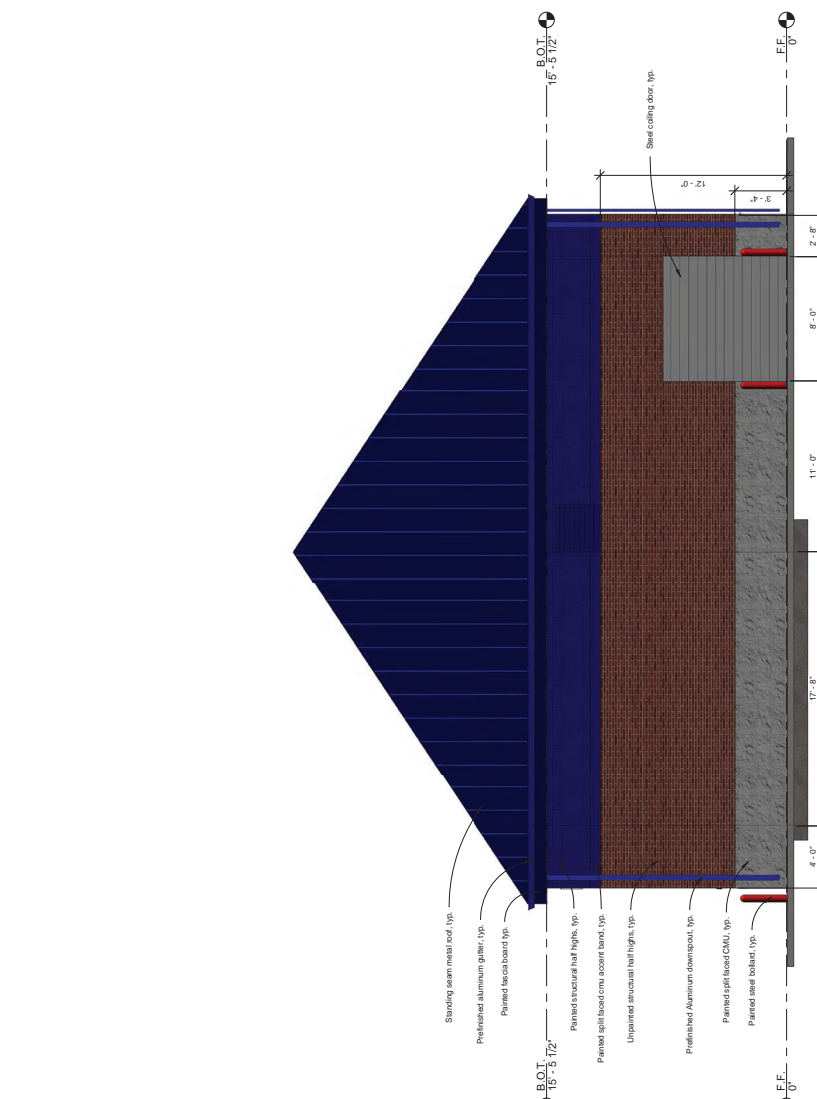
No.	Description	Date
FINAL		

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Exterior Elevation -
 Right

Project number: 21037
 Date: 11/18/2021
 Drawn by: ARC
 Checked by: TAA

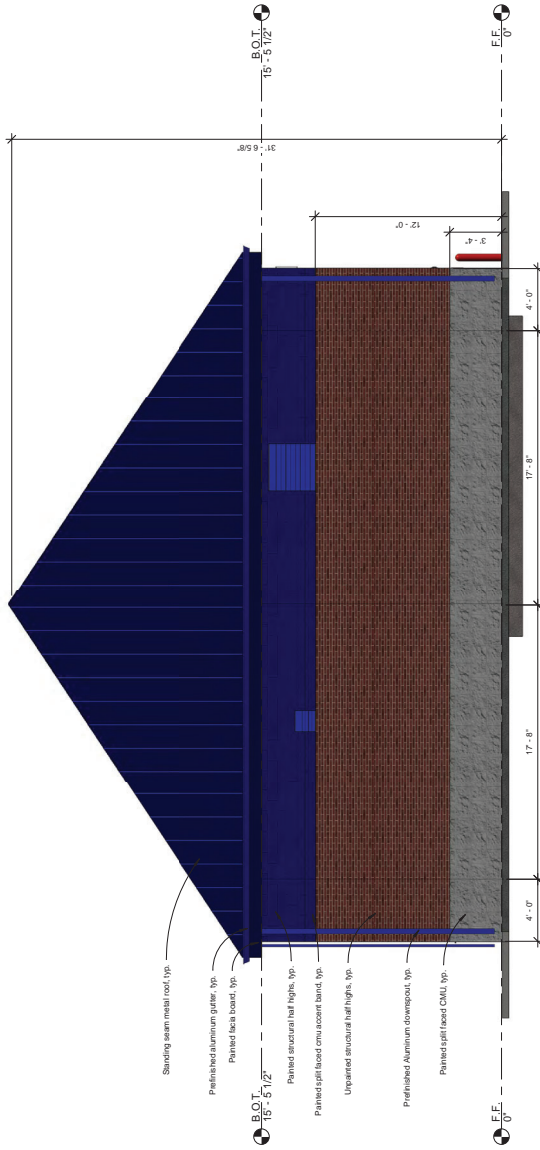
SV-A202
 Scale: 1/4" = 1'-0"



① Right Elevation
 1/4" = 1'-0"

Exterior Building Materials

- Masonry:
 - Unpainted structural half highs: Quik-Brik Richfield (no flash)
 - Painted structural half highs: SW7669 Blueblood
 - Unpainted structural half highs: SW7669 Blueblood
 - Painted split face CMU base: SW7669 Summit Gray
- Control joint Sealant: To match adjacent building material
- Aluminum Overhead Doors: Factory finished steel (White) and tempered glass (clear)
- Aluminum Storefront: Clear Anodized
- Glazing: Tinted insulating glass units
- Hollow metal door and frame: SW7669 Summit Gray
- Steel coiling door: SW7669 Summit Gray
- Standing Seam Metal Roof: Berridge Royal Blue
- Pre-finished downspouts and gutters: to match roof
- Painted fascia board: to match roof
- Louvers: SW6966 Blueblood
- Bollards: Painted Safety Red
- Knox Box: Aluminum
- Lettering: White Acrylic



① Left Elevation
1/4" = 1'-0"

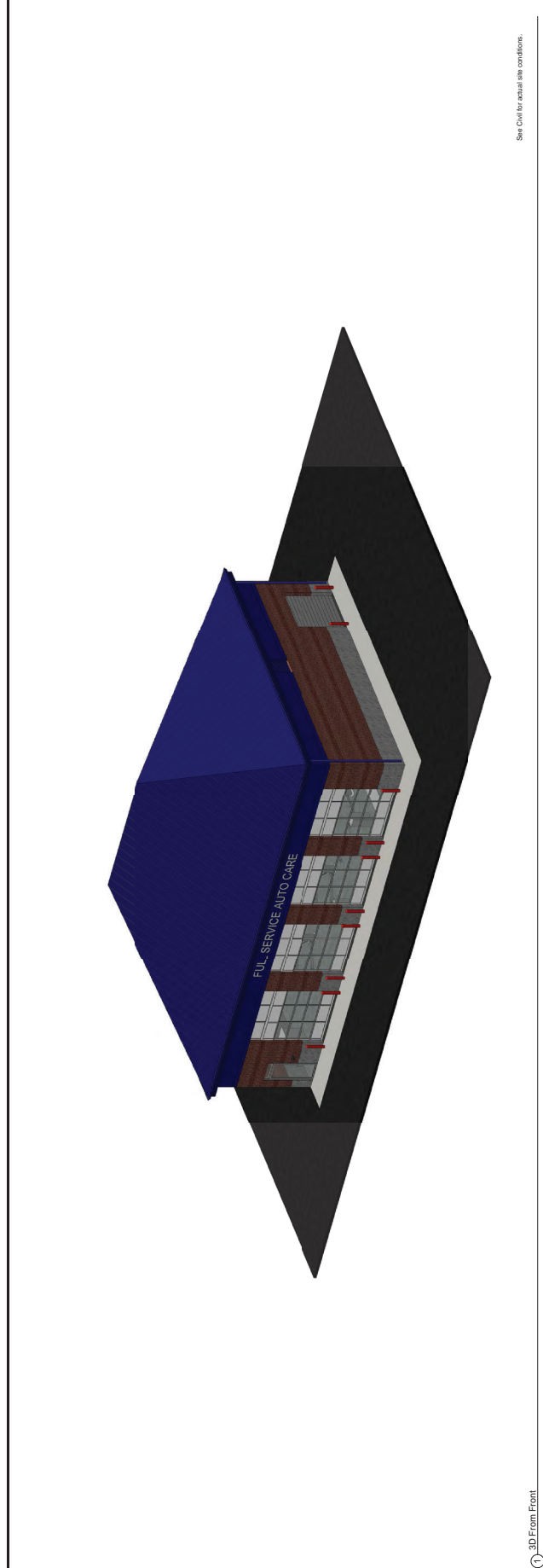
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No.	Description

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3D Views

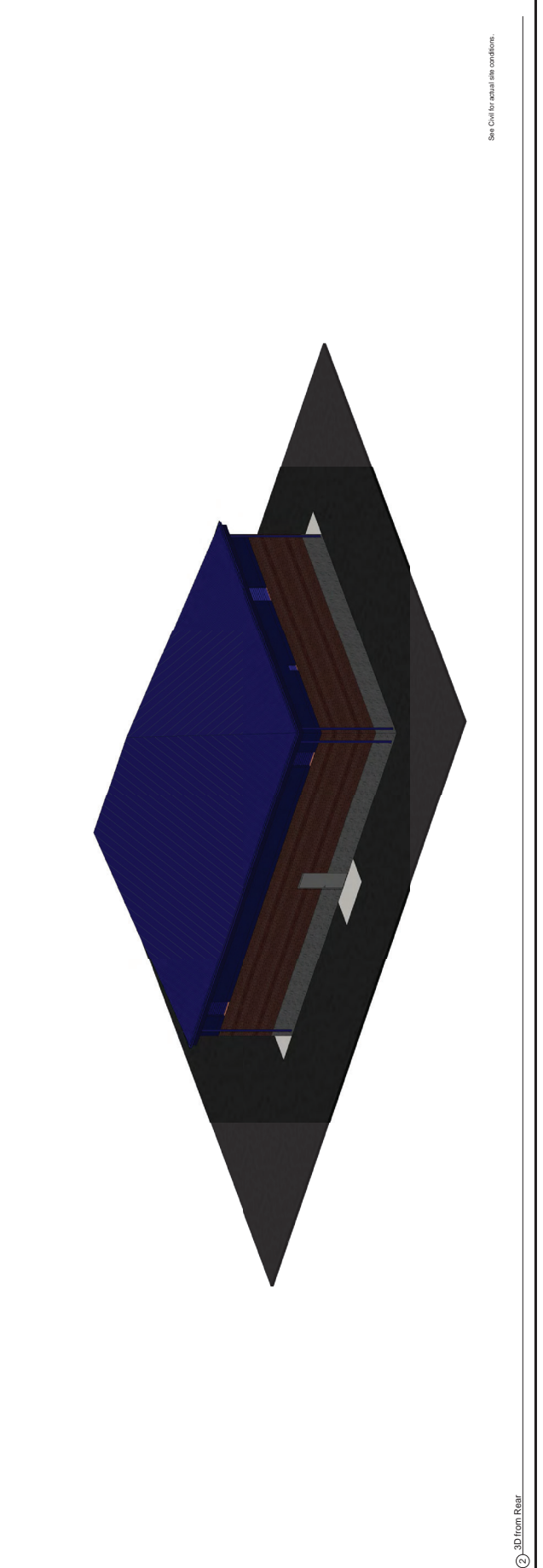
Project number 21037
Date 11/18/2021
Drawn by ARC
Checked by TAA

SV-R100
Scale



See Civil for actual site conditions.

① 3D From Front



See Civil for actual site conditions.

② 3D From Rear



Engineering Design Group Tire Engineers

3952 Crosshaven Drive, Vestavia Hills, Alabama 35243

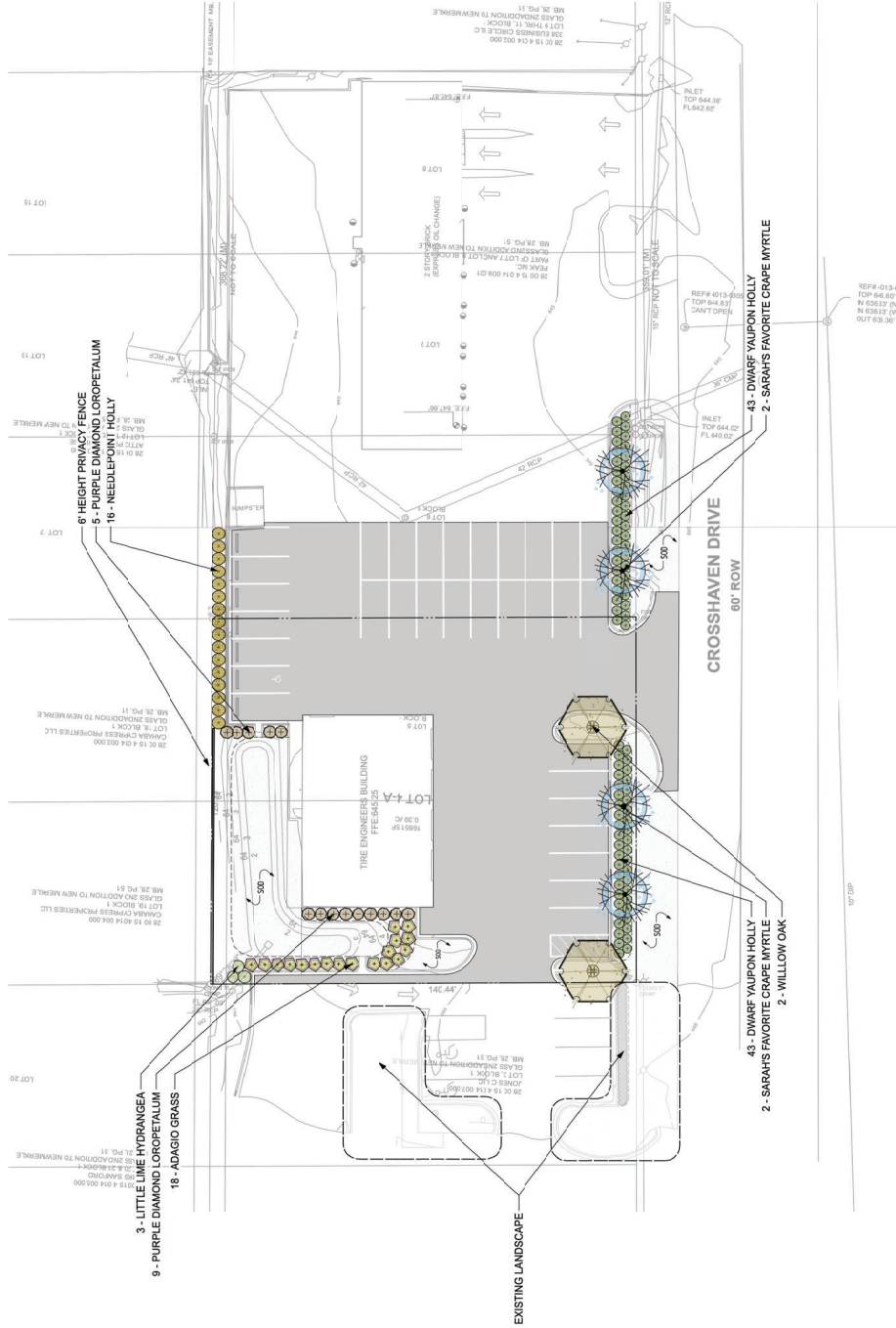
Per Engineer:
 1/18/22

DATE:	1/18/22
PROJECT NUMBER:	308
REVISION:	DRP
PROJECT NAME:	Project ID
SHEET TITLE:	

Planting Plan

SHEET NUMBER:
 L-1.0

2 of 3



1 Planting Plan
 Scale: 1" = 20'-0"

MINIMUM PLANTING REQUIREMENTS	
Frontage Shrubs (1-3 gal shrub per 3')	49
Frontage Shrubs Proposed	86
Frontage Trees (1' understorey tree per 40')	4
Frontage Trees Proposed	4

Count	Scientific Name	Common Name	Size	Spacing	Root	Remarks
4	<i>Liquidambar styraciflua</i>	Sarah's Favorite	10-12' Ht.	As Indicated	B&B	Multi-trunk, 3-5 ones, min. 1 cal. per case
2	<i>Quercus prinus</i>	Willow Oak	2-2 1/2' Cal.	As Indicated	B&B	Full Head, Strong Central Leader, Limited to 6' Ht.
3	<i>Hydrangea paniculata</i>	Little Limb Hydrangea	18-24" Ht.	4' o.c.	Cont.	Full Plant
16	<i>Ilex cornuta</i>	Needlepoint Holly	30" Ht.	4' o.c.	Cont.	Full Plant
16	<i>Ilex verticillata</i>	Purple Diamond	15-18" sp.	2' o.c.	Cont.	Full Plant
18	<i>Nicanthus sinensis</i>	Adagio Grass	18-24" Ht.	4' o.c.	Cont.	Full Plant
4575 SF	<i>Croton dictyon</i>	Bermuda Sod		Solid Sod		Solid sod



Engineering Design Group

Tire Engineers

3952 Crosshaven Drive, Vestata Hills, Alabama 35243

REVISIONS

DATE:	1/20/21
BY:	A. HUNTER
PROJECT NUMBER:	19
ISSUED:	19
REVISION:	DIP
PROJECT NO.:	Project 0
SHEET TITLE:	

Planting Details

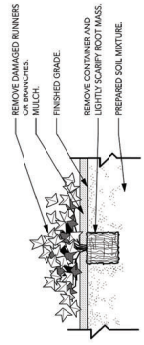
SHEET NUMBER:
L-2.0
 SOURCE: 3 of 3

GENERAL PLANTING NOTES

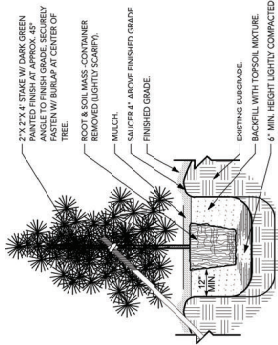
- CONTRACTOR SHALL HAVE FULL SIZE DRAWINGS ON SITE AT ALL TIMES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION AND INSTALLATION IN ORDER TO ACCOMMODATE ALL EXISTING UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO CONSTRUCTION AND INSTALLATION IN ORDER TO ACCOMMODATE ALL EXISTING UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO CONSTRUCTION AND INSTALLATION IN ORDER TO ACCOMMODATE ALL EXISTING UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO CONSTRUCTION AND INSTALLATION IN ORDER TO ACCOMMODATE ALL EXISTING UTILITIES.
- CONTRACTOR SHALL STAKE TREE LOCATIONS AND LAY OUT BEDLINES 48 HOURS PRIOR TO PLANTING AND NOTIFY LANDSCAPE ARCHITECT FOR REVIEW A MINIMUM 24 HOUR NOTICE PRIOR TO PLANTING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 2% SLOPE OR GREATER IN ALL PLANTING AREAS TO PREVENT WATER ACCUMULATION.
- CLEANUP AND DISPOSE OF OFF OWNERS PROPERTY ALL DEBRIS, WASTE AND EXCESS MATERIAL FROM ALL WORK INCLUDING COMPLETE LUMP AND LEAVE NEAR, CLEAN AND READY FOR REUSE.
- CONTRACTOR SHALL GUARANTEE ALL WORK AND PLANT MATERIAL, INCLUDING SEED AND SOIL, FOR ONE FULL YEAR FROM DATE OF INSTALLATION.
- ALL PLANTING AREAS SHALL RECEIVE TOPSOIL TO A MINIMUM DEPTH OF 3" UNLESS SPECIFIED OTHERWISE.
- ALL TURF BEING SOILED AREAS SHALL HAVE SOIL TESTED BY TESTING LAB.
- FERTILIZER AND LIME APPLICATION REGIME SHALL BE DEVELOPED AND FOLLOWED PER LANDSCAPE ARCHITECT'S RECOMMENDATIONS.
- ALL PLANTING BEES AND TREE PITS SHALL BE MULCHED WITH A 3" SETTLED LAYER OF MULCH.
- PLANTS SHALL BE WELL FORMED, VIGOROUS GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETY SPECIFIED AND SHALL BE FREE FROM INJURY, INSECT IS AND DISEASES. PLANTS SHALL BE PLANTED IN THE SAME MANNER AS SHOWN ON THE MANUFACTURER'S SPECIFICATIONS FOR PLANTING STOCK, AS PUBLISHED BY THE MANUFACTURER, INC.
- ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN. ALL PLANTS SHALL BE PLANTED WITH 100% MULCH.
- APPROVED NURSERIES ON THEIR EQUAL WHICH MUST BE APPROVED PRIOR TO ORDERING.
- FRONT ROW OF SHRUBS SHALL BE PLANTED MINIMUM 24" BEHIND BEDLINE AT LAWNS, WALKS, DRIVEWAYS AND DRIVEWAYS.
- BACK ROW OF SHRUBS PLANTING SHALL BE PLANTED 36" OFF FACE OF BUILDING WALL.
- SEASONAL COLOR SHALL BE PLANTED IN A LOWERING STATE.
- ALL PLANTING SHALL BE PLANTED TO A MINIMUM DEPTH OF 12" UNLESS SPECIFIED OTHERWISE.
- ALL PLANTING SHALL BE PLANTED AT THE TIME OF PLANTING WITH NUTRIENT FERTILIZATION TABLETS AT THE RATE RECOMMENDED BY THE MANUFACTURER.
- CONTRACTOR SHALL PROVIDE 12 MONTH WARRANTY FOR ALL WORK AND MATERIALS.
- CONTRACTOR SHALL PROVIDE STRAW MULCH, WATER STRAW MAT OR HYDROPOSED MULCH AS SPECIFIED TO PREVENT EROSION TO FINISHED GRADE AFTER SETTLEMENT.
- MULCHES REQUIRED TO PROVIDE SOLID 3" INCH OF GRASS, IN AREAS TO BE SEED.

IRRIGATION NOTES:

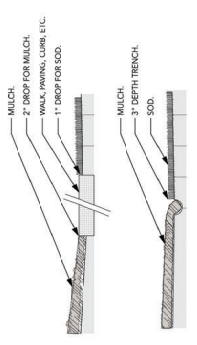
- VERIFY REQUIRED PRESSURE PRIOR TO CONSTRUCTION. INCLUDE PRESSURE REQUIREMENTS IN ALL CONTRACT DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE POWER SUPPLY REQUIREMENTS.
- SYSTEM INCLUDING TAP FEES, PIPE HEADS, CONTROLLER, ETC.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SEEVING AS REQUIRED PER SITE CONDITIONS.
- PROVIDE ALL LABOR, MATERIALS, APPLIANCES, EQUIPMENT, SERVICES AND INCIDENTALS NECESSARY FOR TURNING, INSTALLING AND TESTING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT AND EACH SECTION PRIOR TO PLANTING.
- INDIVIDUAL PLANTING AREA COVERAGE. NOTIFY LANDSCAPE ARCHITECT FOR VERIFICATION OF LAYOUT PRIOR TO CONSTRUCTION.
- DEPTH OF 12" MINIMUM.
- EACH SHALL BE PROVIDED WITH THEIR OWN ZONE, SOIL, SHRUBS, AND GROUND COVER SHALL BE ON SEPARATE ZONES.
- THOSE SHOWN VERIFY ALL SUCH CONDITIONS AS WELL AS THE PRESENCE AND LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. NO CHANGE IN CONTRACT PRICE WILL BE GRANTED FOR ANY CHANGES TO THE LAYOUT PRIOR TO CONSTRUCTION.
- LOCATE AND MARK THE LOCATION OF THE MAIN TRUNK WITH THE UTILITY MARKERS PRIOR TO CONSTRUCTION.
- CONNECTION TO WATER LINE SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- CLEANUP AND DISPOSE OF OFF OWNERS PROPERTY ALL DEBRIS, WASTE AND EXCESS MATERIAL FROM ALL WORK INCLUDING COMPLETE LUMP AND LEAVE NEAR, CLEAN AND READY FOR REUSE.
- AUTHOITIES, OBTAIN ALL PERMITS, LICENSES, ETC. REQUIRED FOR EXECUTION OF WORK.
- ALL IRRIGATION SHALL BE IN PERFECT WORKING ORDER AND LIKE NEW CONDITION AT CLOSE OF PROJECT.
- ALL IRRIGATION HEADS IN SHRUB BEDS ARE TO BE 12" POP-UPS. HEADS LOCATED IN SOO AREAS ARE TO BE 4" POP-UPS.



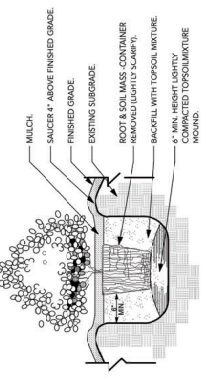
6 Groundcover Planting Detail
 Not To Scale



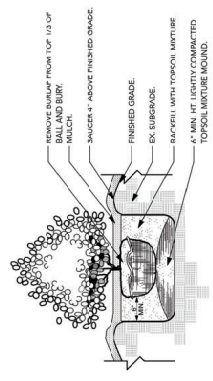
7 Liner Pipe Planting Detail
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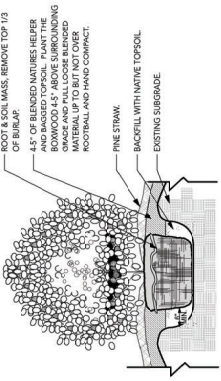
8 Eriogon Detail
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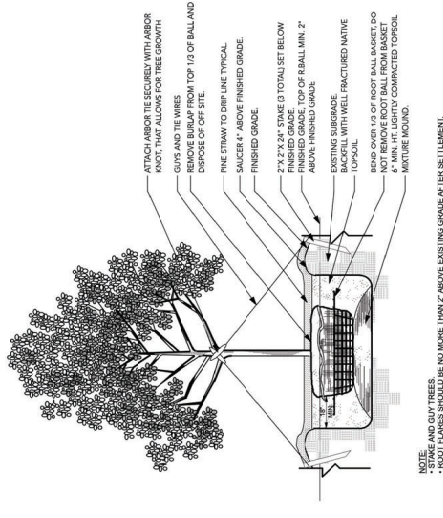
3 Container Shrub Planting Detail
 Not To Scale



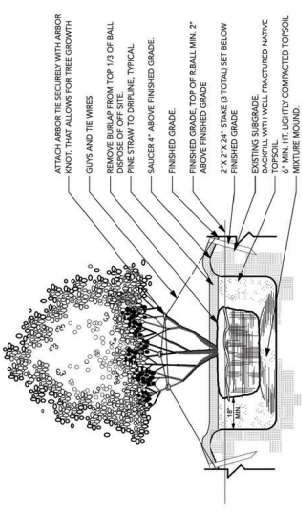
4 B&B Shrub Planting Detail
 Not To Scale



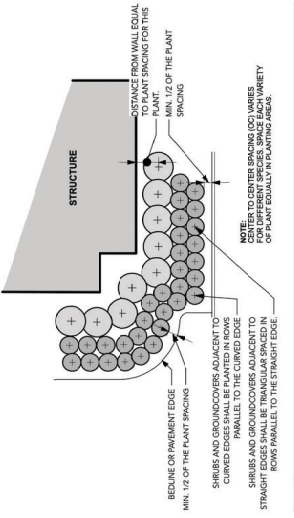
5 Boxwood Planting Detail
 Not To Scale



1 B&B Tree Planting Detail
 Not To Scale



2 Multi-Trunk Tree Planting Detail
 Not To Scale



9 Typical Plant Layout Detail
 Not To Scale

LIST OF APPROVED NURSERIES:

- HUNTER TREES, LLC**
 Toll Free: 1-866-348-6837
 Fax: 1-866-TREE-FAX
 Email: info@huntertrees.com
 Website: www.huntertrees.com
 Physical Address: 800 Old Springs Rd., Birmingham, Alabama 35208
- SELECT TREES, INC.**
 Phone: (770) 769-8879
 Fax: (770) 769-8879
 Email: sales@selecttrees.com
 Website: www.selecttrees.com
 Physical Address: 3900 Old Springs Rd., Marietta, Georgia 30067
- PLANTATION TREE COMPANY**
 Toll Free: 1-800-848-0964
 Fax: (256) 335-1555
 Email: info@plantationtree.com
 Website: www.plantationtree.com
 Physical Address: 1200 Old Springs Rd., Selma, Alabama 36709
- GREEN VALLEY FARMS**
 Phone: (205) 468-6155
 Fax: (205) 468-6155
 Email: info@greenvalleyfarms.com
 Website: www.greenvalleyfarms.com
 Physical Address: 12975 Highway 17, Montevallo, Alabama 35115-6730
- BOLD SPRINGS NURSERY, INC.**
 Office: (770) 337-6196
 Fax: (770) 481-8537
 Email: info@boldspringsnursery.com
 Website: www.boldspringsnursery.com
 Physical Address: 700 Inman Valley Road, Atlanta, Georgia 30014
- TOTALSCAPE FARMS**
 Office: (205) 465-3277
 Fax: (205) 465-3277
 Email: info@totalscapefarms.com
 Website: www.totalscapefarms.com
 Physical Address: Enterprise, Alabama 36021

ADDITIONAL NURSERIES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.