

**CITY OF VESTAVIA HILLS
BOARD OF ZONING ADJUSTMENT
AGENDA
September 15, 2022
6:00 P.M.**

- (1) **Roll Call**
- (2) **Approval of Minutes: August 18, 2022**
- (3) **BZA-22-15** **Teresa Black** is requesting **Front and Rear Setback Variances** for the property located **2009 Southwood Road**. The purpose of this request is to reduce the front setback to 25' in lieu of the required 50' & to reduce the rear setback to 28' in lieu of the required 30', to build a master bath and closet addition. The property is owned by Teresa Black and is zoned **Vestavia Hills R-3**.
- (4) **BZA-22-16** **Lisa Holmes** is requesting a **Variance for Location of Fence in the Front Setback** for the property located at **1110 Mayland Lane**. The purpose of this request is to build a fence in the Mayland Lane frontage. The property is owned by the Lisa Holmes and is zoned **Vestavia Hills R-3**.
- (5) **BZA-22-17** **Benjamin Patterson** is requesting a **Side Setback Variance** for the property located at **248 Monterey Place**. The purpose of this request is to reduce the side setback to 15' in lieu of the required 17', to build a house. The property is owned by the Benjamin Patterson and is zoned **Vestavia Hills R-1**.
- (6) **BZA-22-18** **Chris Grissom** is requesting a **Front and Side Setback Variances** for the property located at **229 Vestavia Circle**. The purpose of this request is to reduce the front setback to 37' in lieu of the required 60' & to reduce the rear setback to 8' in lieu of the required 17', to build a house. The property is owned by the Chris Grissom and is zoned **Vestavia Hills R-1**.
- (7) **Time of Adjournment**

**CITY OF VESTAVIA HILLS
BOARD OF ZONING ADJUSTMENT**

MINUTES

August 18, 2022

The Board of Zoning Adjustment of the City of Vestavia Hills met in regular session on this date at 6:00 PM. The roll was called with the following:

MEMBERS PRESENT:

Rick Rice, Chairman
Robert Gower
Stephen Greer
Loring Jones, III
Thomas Parchman, Alt

MEMBERS ABSENT:

Tony Renta
Ryan Rummage, Alt

OTHER OFFICIALS PRESENT:

Jack Wakefield, Planner/GIS

APPROVAL OF MINUTES

The minutes of June 16, 2022 & July 22, 2022 were presented for approval.

MOTION Motion to dispense with the reading of the minutes of June 16, 2022 & July 22, 2022 was made by Jones and 2nd was by Gower. Motion as carried on a voice vote as follows:

*Stipulation that Chairmanship is corrected in previous Minutes.

Mr. Gower – yes Mr. Parchman – yes
Mr. Greer – yes Chairman Rice – yes
Mr. Jones – yes
Motion carried.

VARIANCE FOR LOCATION OF FENCE

BZA-22-10 Jenni Mote is requesting **Variance for Location of Fence in the Front Setback** for the property located **1932 Highfield Drive**. The purpose of this request is to build an 8’ wooden fence in the Mayland Lane frontage. The property is owned by Jenni Mote and is zoned **Vestavia Hills R-3**.

Mr. Wakefield explained that the property is a corner lot and that the fence would go on the Mayland Lane frontage.

Jenni Mote, 1932 Highfield Drive, was present for the case and stated that her hardship is a corner lot. Ms. Mote also stated that this is an 8’ wooden privacy fence and would be 17’ from the road.

There were no questions or objections from the Board.

Chairman Rice opened the floor for a public hearing. There being no one present in regard to the request, Mr. Rice closed the public hearing and opened the floor for a motion.

MOTION Motion to APPROVE a variance for the location of a fence in the front setback, for the property located at 1932 Highfield Drive, was made by Mr. Jones and 2nd was by Mr. Parchman. Motion was carried on a roll call vote as follows:

Mr. Gower – yes Mr. Parchman – yes
Mr. Greer – yes Chairman Rice – yes
Mr. Jones – yes
Motion carried.

SIDE SETBACK VARIANCE

BZA-22-13 Alison Parden is requesting a **Side Setback Variance** for the property located at **1832 Old Creek Trail**. The purpose of this request is to reduce the side setback to 5’ in lieu of the required 15’, to build a carport. The property is owned by the Alison Parden and is zoned **Vestavia Hills R-3**.

Mr. Wakefield stated that the applicant is proposing to build a carport and the odd-shaped lot caused a hardship.

Alison Parden, 1832 Old Creek Trail, stated the purpose of the request and the need for covered parking.

Mr. Jones requested Ms. Parden to state her hardship was an odd-shaped lot, which Mr. Parden stated.

Mr. Gower asked if the home was on septic or sewer, to which Ms. Parden replied sewer.

Chairman Rice opened the floor for a public hearing. There being no one present in regard to the request, Mr. Rice closed the public hearing and opened the floor for a motion.

MOTION Motion to APPROVE a 10’ side setback variance to reduce the setback to 5’ in lieu of the required 15’, for the property located at 1832 Old Creek Trail, was made by Mr. Jones and 2nd was by Mr. Greer. Motion was carried on a roll call vote as follows:

Mr. Gower – yes Mr. Parchman – yes
Mr. Greer – yes Chairman Rice – yes
Mr. Jones – yes
Motion carried.

REAR SETBACK VARIANCE

BZA-22-14 Bobby Adams is requesting a **Rear Setback Variance** for the property located at **3417 Mountainside Road**. The purpose of this request is to reduce the rear setback to 10’ in lieu of the required 25’, to build a kitchen space addition. The property is owned by the Bobby Adams and is zoned **Vestavia Hills R-4**.

Mr. Wakefield stated that the applicant is proposing a kitchen space addition and that their hardship is an odd-shaped lot. Mr. Wakefield stated that the odd-shaped lot is created because the roadway for Mountainside Road was forced down the middle of the applicant’s property, as a result of unbuildable terrain at the right-of-way.

Bobby Adams, 3417 Mountainside Road, was present for the case and stated the hardship is a result of the encroaching roadway. Mr. Adams also stated that the property is on two lots and the new plat has been approved by Planning and Zoning.

There were no questions or objections from the Board

Chairman Rice opened the floor for a public hearing. There being no one present in regard to the request, Mr. Rice closed the public hearing and opened the floor for a motion.

MOTION Motion to APPROVE a 15’ rear setback variance to reduce the setback to 10’ in lieu of the required 25’, for the property located at 3417 Mountainside Road, was made by Mr. Jones and 2nd was by Mr. Gower. Motion was carried on a roll call vote as follows:

Mr. Gower – yes Mr. Renta – yes
Mr. Jones – yes Mr. Rummage – yes
Mr. Parchman – yes Chairman Jones – yes
Motion carried.

At 6:14 PM, Mr. Jones made a motion to adjourn. The meeting adjourned at 6:14 PM.

Jack Wakefield,
Planner/GIS

CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE BOARD OF ZONING ADJUSTMENT

Date: September 15, 2022

- **CASE: BZA-22-15**
- **REQUESTED ACTION:** 25' Front Setback Variance to Reduce the Setback to 25' in Lieu of the Required 50' & 2' Rear Setback Variance to Reduce the Setback to 28' in Lieu of the Required 30'.
- **ADDRESS/LOCATION:** 2009 Southwood Road
- **APPLICANT/OWNER:** Teresa Black
- **REPRESENTING AGENT:** Ryan Harry
- **GENERAL DISCUSSION:** The applicant is seeking a front and rear setback variance to build a 10' addition for a master bath and closet. The applicant contends the corner lot causes a hardship. The addition is proposed on the side of the house, but considered a front setback because of the corner lot. The rear setback is requested to bring the existing rear carport into Zoning Code compliance. The applicant's property is zoned Vestavia Hills R-3.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** No problems noted.
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted.
 4. **Building Safety Review:** No problems noted.



BZA-22-15

Variance and Special Exception Application

Status: Active

Date Created: Aug 15, 2022

Applicant

Ryan Harry
rharry@argos-us.com
2009 Southwood Rd
Vestavia, AL 35216
2052098811

Primary Location

2009 SOUTHWOOD RD
VESTAVIA HILLS, AL 35216

Owner:

Teresa Black
2009 Southwood Road Vestavia, AL 35216

Applicant Information

I am filling this out as the
Representative Agent

Billing/Responsible Party

Name

Teresa Black

Phone #

205-410-2099

Address

2009 Southwood Road

City/State/Zip

Vestavia, AL 35216

Representing Attorney/Other Agent

Subject Property Information

Subject Property Address

2009 Southwood Road

Legal Description of Subject Property

Lot 7, according to the Survey of Fourth Addition to Beacon Hills, as recorded in Map Book 38, page 3, in the Probate Office of Jefferson County, Alabama

REASONS FOR REQUEST

Front Setback Variance



Setback Required

50'

Setback Requested

25'

Rear Setback Variance



Setback Required

30'

Setback Requested

28'

ZONING

Vestavia Hills Zoning for the subject property is

R-3

HARDSHIP

Describe those things which you feel justify the action requested. An Undue Hardship is required in order to seek a variance. List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. (Use additional space on separate page if necessary).

Requesting a hardship due to corner lot. Existing house now only has 35' of side setback not 50' and we would like to extend that to 25' of setback in order to complete a master bedroom addition to the property.

PROJECT

Describe the scope of the project and/or the reason for requesting this variance.

To complete a 10' addition for master bath and closet

OWNER AFFIDAVIT

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. Simultaneously with the submittal of this application, I am hereby

Representing Agent Signature

Ryan Lee Harry
08/15/2022

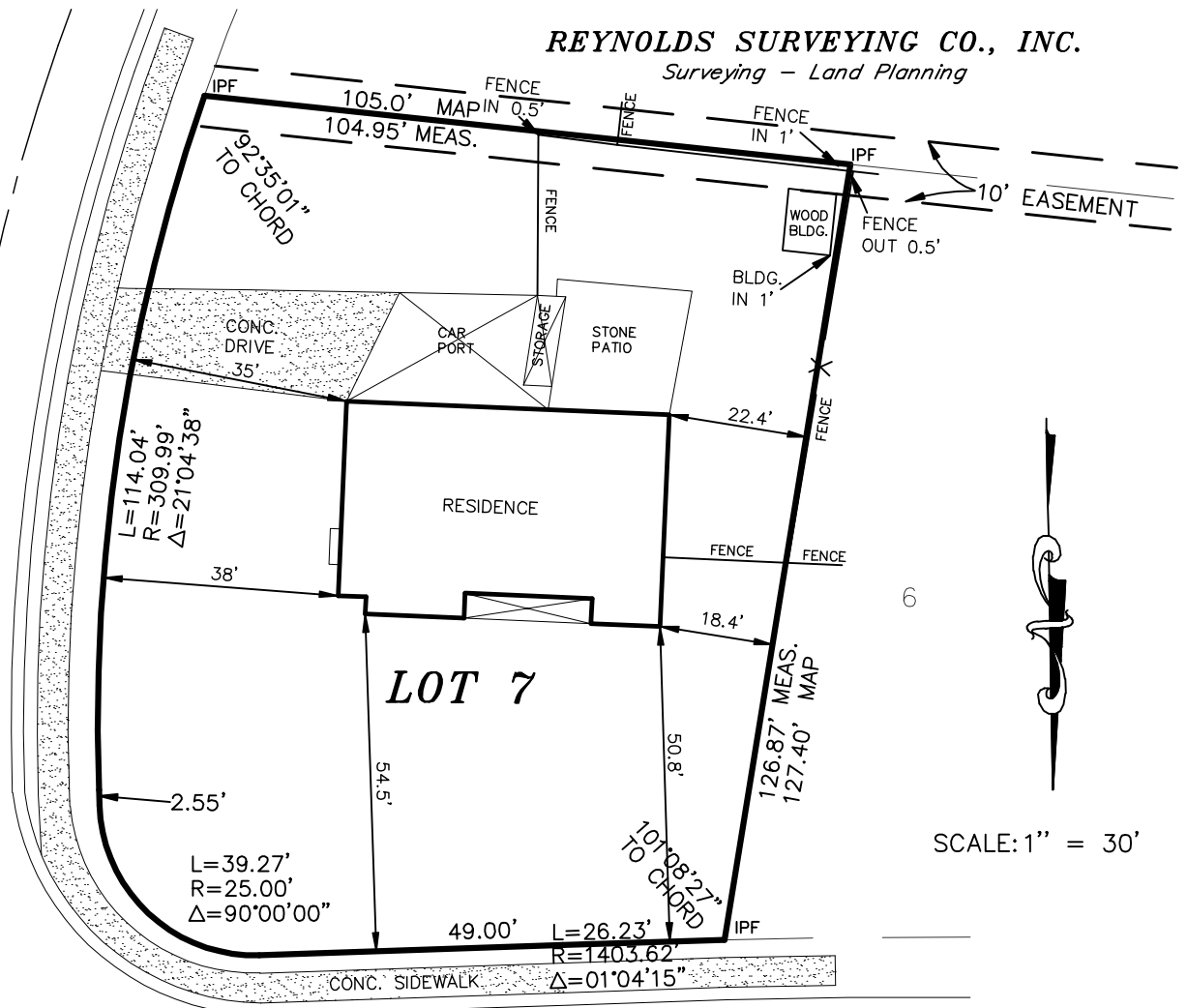
Notarized Owner Authorization

submitting a notarized affidavit signed by the owner of the property in the attachments section of this application. NOTE: Applications cannot be processed without the notarized owners affidavit. Owners authorization may be found on our main page.



Owner Affidavit Southwood.jpg
Uploaded by Ryan Harry on Aug 15, 2022 at 4:36 pm

EASTWOOD PLACE
 50' R.O.W.



SOUTHWOOD ROAD
 50' R.O.W.

- LEGEND
- UTILITY POLE
 - GUY WIRE
 - RETAINING WALL
 - CONCRETE
 - X- FENCE
 - OE- OVERHEAD ELECTRICAL
 - IPF IRON PIN FOUND
 - IPS IRON PIN SET

STATE OF ALABAMA
 JEFFERSON COUNTY

SITE STUDY PLAN

LOT AREA= 14161.7 SQ. FT.+/-
 0.3 ACRES+/-

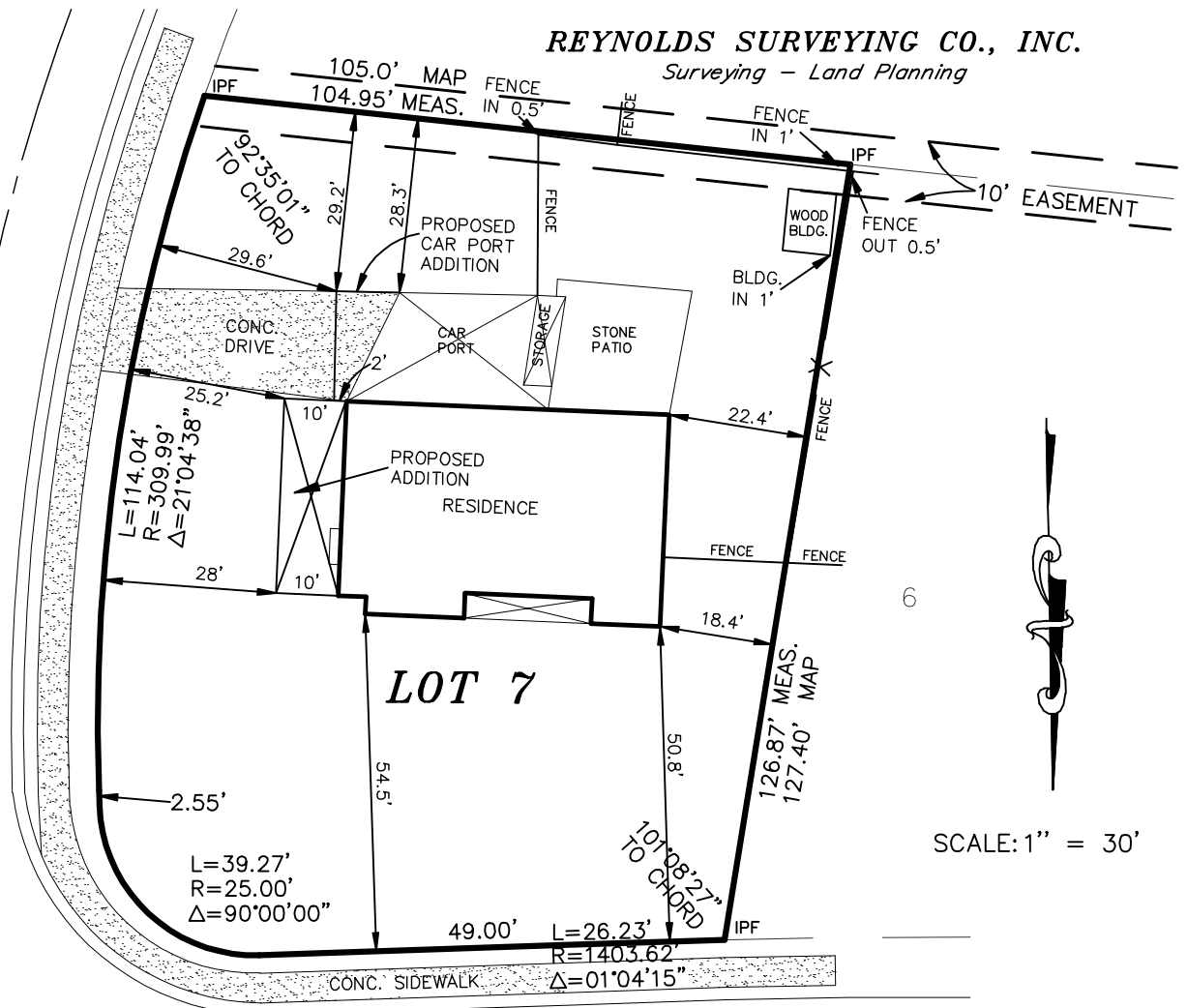
EXISTING IMPERMEABLE AREA= 3417 SQ. FT.+/-
 0.08 ACRES+/-

PERCENT COVERAGE= 24%



REYNOLDS SURVEYING CO., INC.
Surveying - Land Planning

EASTWOOD PLACE
 50' R.O.W.



6

SCALE: 1" = 30'

SOUTHWOOD ROAD
 50' R.O.W.

- LEGEND**
- UTILITY POLE
 - GUY WIRE
 - RETAINING WALL
 - CONCRETE
 - X- FENCE
 - OE- OVERHEAD ELECTRICAL
 - IPF IRON PIN FOUND
 - IPS IRON PIN SET



STATE OF ALABAMA
 JEFFERSON COUNTY

"PLOT PLAN & SURVEY"

I, Robert Reynolds, a Registered Surveyor, do here by state that this is a true and correct plat or map of Lot 7, Block -, of FOURTH ADDITION TO BEACON HILL, as recorded in Map Book 38, Page 3 in the Office of the Judge Of Probate in Jefferson County, Alabama. All parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice of Surveying in the State of Alabama to the best of my knowledge, information and belief. The improvements on said premises are as shown. There are no visible encroachments on over or across said lands except as shown. According to my survey this the 22nd day of August, 2022.

NOTE: This survey is not transferable to any additional institutions or subsequent owners.

Purchaser: Black
 Address: 209 Southwood Road

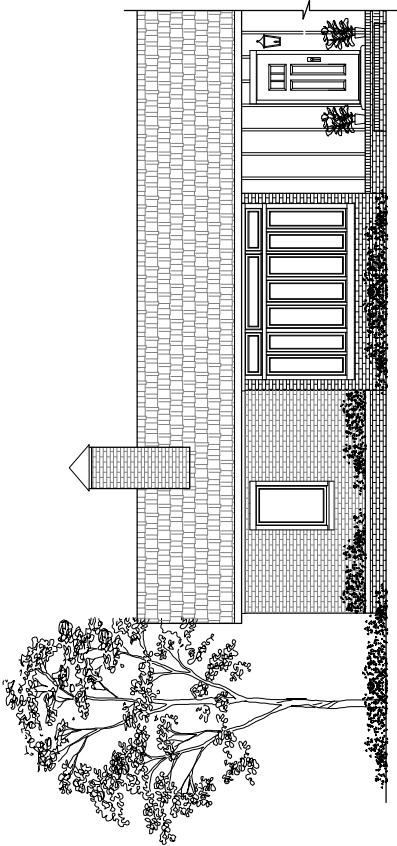
Robert Reynolds
 Reg. No. 25657 B141/13

General Notes:

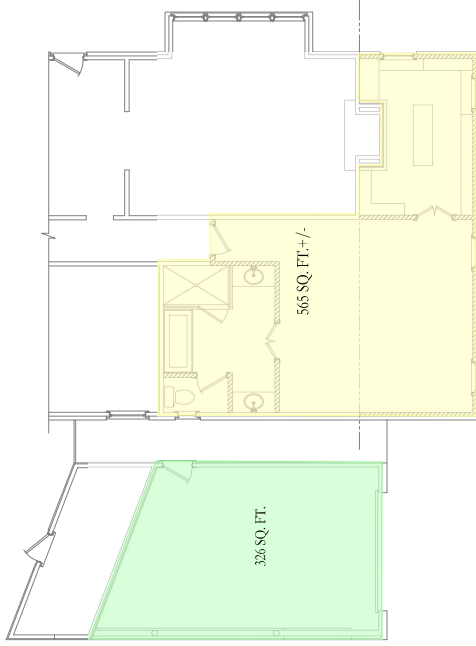
1. Do not scale drawings. If dimensions are in question, obtain clarification from the Owner before continuing with construction. All dimensions relating to existing conditions shall be field verified.
2. All structural details and callouts are given as general information and should be verified by local engineer. While constructing this project all Local, State and Federal codes that apply should be applied. By building this project you agree not to hold the designer or any party associated with them accountable for damages, lost of revenue or anything else associated with this project.
3. Dimensions are called out from outside face of studs @ exterior walls to centerline of interior stud walls. Window and door opening, in stud construction, are dimensioned to center of opening. Masonry walls are called out from out side face of masonry to face of masonry. Window and door opening, in masonry construction, are dimensioned as masonry openings (noted as M.O.).
4. Dimensions for elevations, sections, and details are called out from top of sub floor.
5. Any dimensional discrepancies are to be directed to the Owner, before fabrication of area in question.
6. Contractor to field verify all existing conditions and dimensions. Contractor to notify Owner of any discrepancies with these drawings and/or site information prior to beginning construction and/or ordering materials.
7. Contractor to provide wood blocking for all millwork and any wall hung counters, ledges and shelving. Provide blocking as required by construction.
8. All finish work shall be smooth, free from abrasion and/or tool marks on any exposed surfaces. All specified finishes are to be installed per manufacturers instructions.
9. All construction shall comply with all building codes and requirements having jurisdiction over this project.
10. Verify with Owner reflected ceiling plan intent, the placement in relation to adjacent finishes or grids. Contractor to verify that any existing ceiling conditions are acceptable for the proposed ceiling. If not acceptable, the contractor shall have been framed and before any wall finishes have been applied. Modify electrical as required to accommodate any owner selected fixtures, appliances, Notify Owner of any revisions.
11. Piping located above grade and inside the building shall be concealed in chases/turret spaces with the exception of piping in equipment rooms. The contractor shall coordinate with other trades to provide huring for piping installed in finish areas.
12. All door frame locations are to be determined by: inside face of doorframe will be located minimum 4" clear from the edge of the adjacent partition, unless noted otherwise. For CMU walls - see dimensional plan.
13. Contractor to coordinate keying requirements with owner (master keying, grandmaster keying, etc.)
14. Contractor to verify location of electrical floor outlets, telephone receptacles, and cable connections with Owner prior to installation.
15. Contractor to verify location of thermostats, Air handlers, and condensing units with Owner prior to installation. All ductwork is to be concealed unless otherwise noted.
16. Beams, Headers, Footings, Foundation Walls and Lintels to be sized by an engineer or manufacturer.
17. Use double joists under walls, which run parallel to joists.
18. Exact size and reinforcement of all concrete footings must be determined by local soil conditions and acceptable practices of construction. Verifying design with local Geotech Engineer.
19. Electrical Contractor to verify and/or size electrical system to meet or exceed local code requirements.
20. H.V.A.C. Contractor to verify and/or size heating and cooling loads for local codes, climatic conditions and building orientation, and volume of interior space.
21. Plumbing Contractor: plumbing materials and installation to be done in accordance with local requirements.
22. Windows designations are provided as the other such dimensions of the unit, and called out in feet and inches, wide by feet and inches tall. (Example: 28x52 designation is a window with a 2 foot 8 inch wide by 5 foot 2 inch tall sash.) Contractor to coordinate sill extensions as required for exterior wall conditions.
23. Builder to have braced walls and shear walls designed by others. Designer is not responsible for designing braced walls.

LIABILITY RELEASE:

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www.ksclm.com

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DESIGNS
YOUR RESIDENTIAL DESIGN SOLUTION

MEMBER

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AMERICAN INSTITUTE OF BUILDING DESIGN

Plan Schedule

Date: 08/19/2022
Revisions: AS-BUILT & REVIEW SET
08-15-2022
Review Set
Full CD's
Final Drawings

S.Q. FOOTAGES

Addition 295 SQ.FT +/-
Updated Area 565 SQ.FT +/-
New Garage 320-SQ. FT.

SHEET INDEX

Cover Page
T1.0 Site Plan
S1.0 Foundation & Details
A1.0 Roof Plan & Framing Details
A1.1 Main Level As-Built
A2.0 Main Level Section Plan
A2.1 Main Level Floor Plan
A2.2 Landscaping
A2.3 Exterior Elevations
A3.0 Electrical Plans

SHEET NUMBER
Cover Page
T1.0

DOCUMENTS FOR REVIEW AND COMMENT ONLY
NOTE: THIS IS A PRELIMINARY SCHEMATIC DRAWINGS ONLY. DESIGN AND SQUARE FOOTAGE IS SUBJECT TO ALTERATIONS THAT ARE NEEDED TO PREPARE ACTUAL CONSTRUCTION DOCUMENTS.

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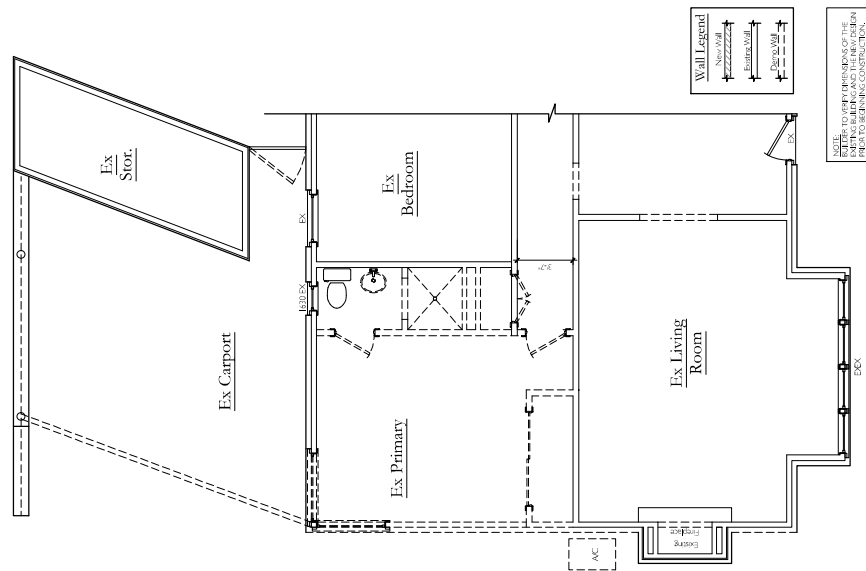
Date:	08/10/2022
Revisions:	As-Built & Review Set
Plan Schedule:	Review Set
	Full CD's
	Final Drawings

S.Q. FOOTAGES	
Addition	295 SQ. FT. +/-
Updated Area	565 SQ. FT. +/-
New Garage	320 SQ. FT.

SHEET INDEX	
T1.0	Cover Page
S1.0	Site Plan
A1.0	Foundation & Details
A1.1	Roof Plans & Framing Details
A2.0	Main Level As-Built
A2.1	Main Level Addition Plan
A2.2	Main Level Floor Plan
A2.3	Landings
A3.0	Exterior Elevations
F1.0	Framed Plans

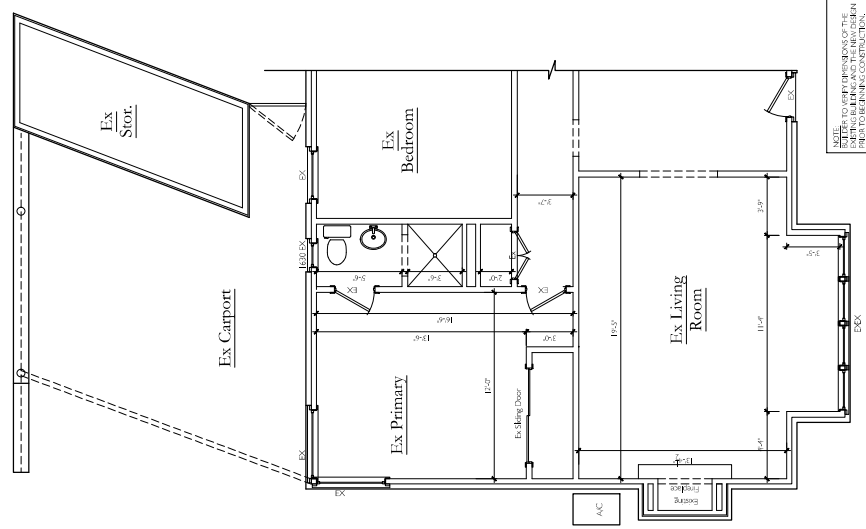
SHEET NUMBER
 Main Level As-Built
A2.0

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2 Main Level Demolition Plan
 Scale: 1/8" = 1'-0"

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1 Main Level As Built
 Scale: 1/8" = 1'-0"

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Revisions:

Date	Description
08/10/2022	As-Built & Review Set
08/15/2022	Review Set
	Final CD's
	Final Drawings

S.Q. FOOTAGES

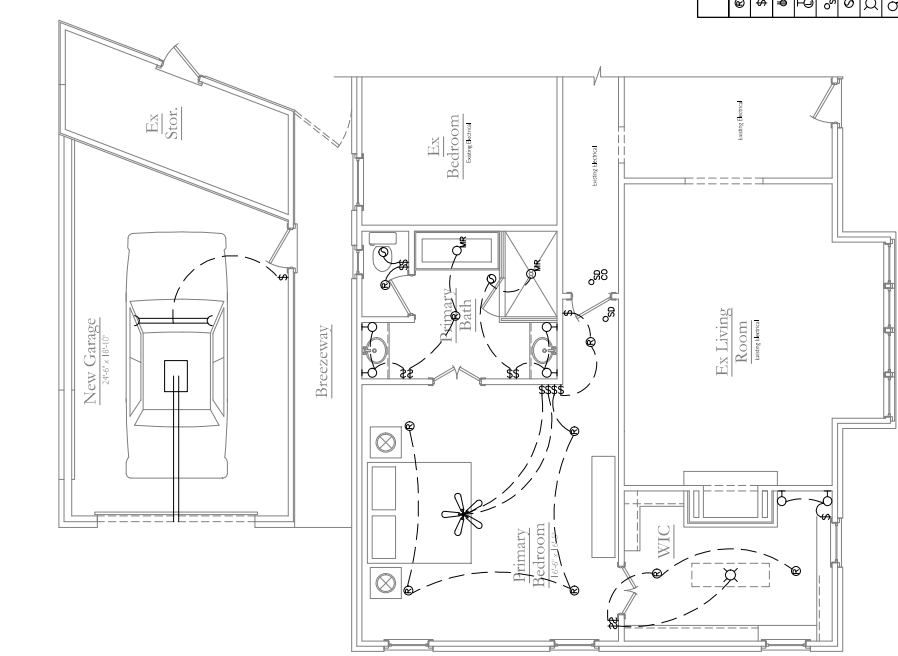
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Updated Area	565 SQ. FT. +/-
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A1.0	Foundation & Details
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A2.0	Main Level As-Built
A2.1	Main Level Addition Plan
A2.2	Main Level Floor Plan
A2.3	Renderings
A3.0	Exterior Elevations
F1.0	Interior Plans

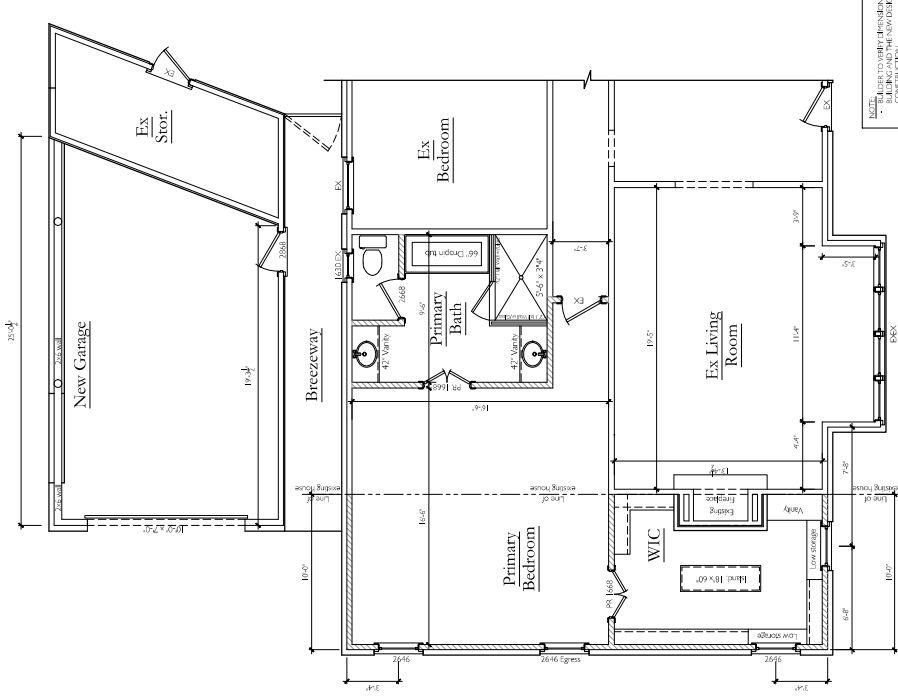
SHEET NUMBER
 Main Level Demolition
A2.1

HAND SIGNED RELEASE LETTER FROM KEYSTONE DESIGNS MUST BE INCLUDED WITH PLANS IN ORDER FOR PLANS TO BE PERMITTED OR BUILT.



2 Main Level Electrical Plan
 Scale: 1/4" = 1'-0"

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 ***** NOT FOR CONSTRUCTION *****



1 New Main Level Plan
 Scale: 1/4" = 1'-0"

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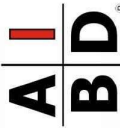
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AMERICAN INSTITUTE of BUILDING DESIGN

Date: 08/10/2022
Revisions:
08/10/2022 AS-Built & Review Set
08/15/2022 Review Set
Full CDs
Final Drawings

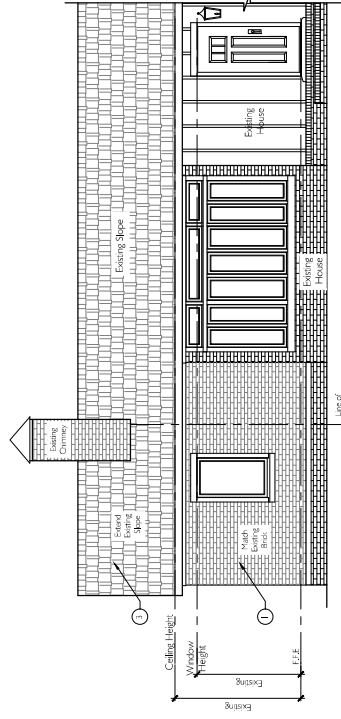
SQ. FOOTAGES
Addition 295 SQ. FT +/-
Updated Area 565 SQ. FT +/-
New Garage 330 SQ. FT.

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F1.0 Electrical Plans

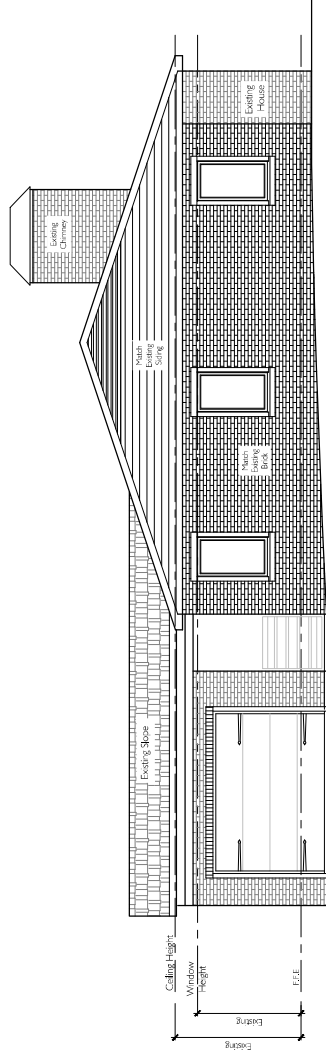
SHEET NUMBER
Exterior Elevations
A3.0

MATERIALS LEGEND

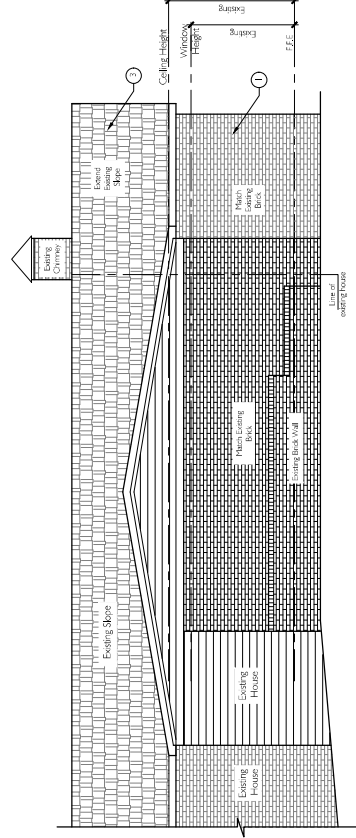
- ① Brick: Match Existing
- ② 1x6 Siding: Match Existing
- ③ Architectural Asphalt Shingle: Match Existing



1
A3.0
Front Elevation
Scale: 1/4" = 1'-0"



2
A3.0
Left Elevation
Scale: 1/4" = 1'-0"



3
A3.0
Rear Elevation
Scale: 1/4" = 1'-0"

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CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE BOARD OF ZONING ADJUSTMENT

Date: September 15, 2022

- **CASE: BZA-22-16**
- **REQUESTED ACTION:** Variance for Location of Fence in the Front Setback
- **ADDRESS/LOCATION:** 1110 Mayland Lane
- **APPLICANT/OWNER:** Lisa Holmes
- **REPRESENTING AGENT:** NA
- **GENERAL DISCUSSION:** The applicant is seeking a variance for the location of a fence in the front setback. The applicant contends shared private drive/alley on the side of the property causes a hardship. The shared driveway is used by multiple other property owners and not the applicant. The fence would allow for added privacy and protection to the applicant's property. City Engineers have looked at sight distance and have stated that the fence would not obstruct view at intersection of Mayland Lane and private drive/alley. The applicant's property is zoned Vestavia Hills R-3.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** No problems noted.
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted.
 4. **Building Safety Review:** No problems noted.



BZA-22-16

Variance and Special Exception Application

Status: Active

Date Created: Aug 15, 2022

Applicant

Lisa Holmes
lisa.holmes58@yahoo.com
1110 Mayland Lane
Vestavia Hills, AL 35216
205-527-3615

Primary Location

1143 MAYLAND LN
VESTAVIA HILLS, AL 35216

Owner:

Lisa Holmes
1110 Mayland Lane Vestavia Hills, AL 35216

Applicant Information

I am filling this out as the

Owner

Billing/Responsible Party

Name

Lisa Holmes

Phone

205-527-3615

Address

1110 Mayland Lane

City/State/Zip

Vestavia Hills AL 35216

Email

lisa.holmes58@yahoo.com

Subject Property Information

Subject Property Address

1110 Mayland Lane Vestavia Hills, AL 35216

Legal Description of Subject Property

REASONS FOR REQUEST

Variance for location of a fence.



ZONING

Vestavia Hills Zoning for the subject property is
residential

HARDSHIP

Describe those things which you feel justify the action requested. An Undue Hardship is required in order to seek a variance. List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. (Use additional space on separate page if necessary).

Attached are videos and pictures. These videos and pictures were taken from October 2021 through May of this year. They show my neighbor (Patsy Kanter) raking pine straw that I had just put down (\$250) and destroying what I did. Also shows her trash bags and etc. that she piles up and deliberately puts so that it shows on my property but not on hers. In addition, she has deliberately put solar lights on string and poles that face my yard but away from hers. Pure harassment.

I paid over \$1,000 on a survey (which I left for you at your office). I paid thousands of dollars on those beautiful fence panels to keep any additional discord between the neighbor. My boyfriend and I installed it over a period of many weeks. I even called 811 dig so we did it correctly. I made sure we did not go up to or passed the existing tree, flower bed, and cable box. I did everything I could to make it look super nice. It definitely enhances my property and looks great and coordinates beautifully with the style of my home and the landscape that it borders. It stays clear of existing tree and cable box that are already on my property. I did not want to take a neighbor to civil court. I just want peace and not to be harassed any more. Please feel free to reach out to the other neighbor that borders Ms. Kanter's property. Rhonda Head and Kay Wilson 205-965-5097. 205-281-6954. They have been extremely harassed by her as well.

Thank you and give me a call when you can.

Lisa Holmes
205-527-3615

PROJECT

Describe the scope of the project and/or the reason for requesting this variance.

I have photos and videos (from October 2021- May 2022) showing the harassment I have received from a neighbor (Patsy Kanter). She has several large trees that run parallel to my property line, and are growing over onto my property. I need the variance to ensure additional trash, garbage, etc do not affect my property value. I had a survey done and I made sure fence panels were put up about `12" from the property line. Also, made sure that it stayed clear from the electrical/cable box on the property as well as an existing tree. It does not interfere with the line of sight coming from the alley/drive that runs parallel to my property. I did not want to take a neighbor to civil court, I only want peace between neighbors and to make sure my property value was not in jeopardy. This same neighbor has done the same thing to the other neighbor that borders her. It has totally gotten out of hand.

OWNER AFFIDAVIT

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. Simultaneously with the submittal of this application, I am hereby submitting a notarized affidavit signed by the owner of the property in the attachments section of this application. NOTE: Applications cannot be processed without the notarized owners affidavit. Owners authorization may be found on our main page.

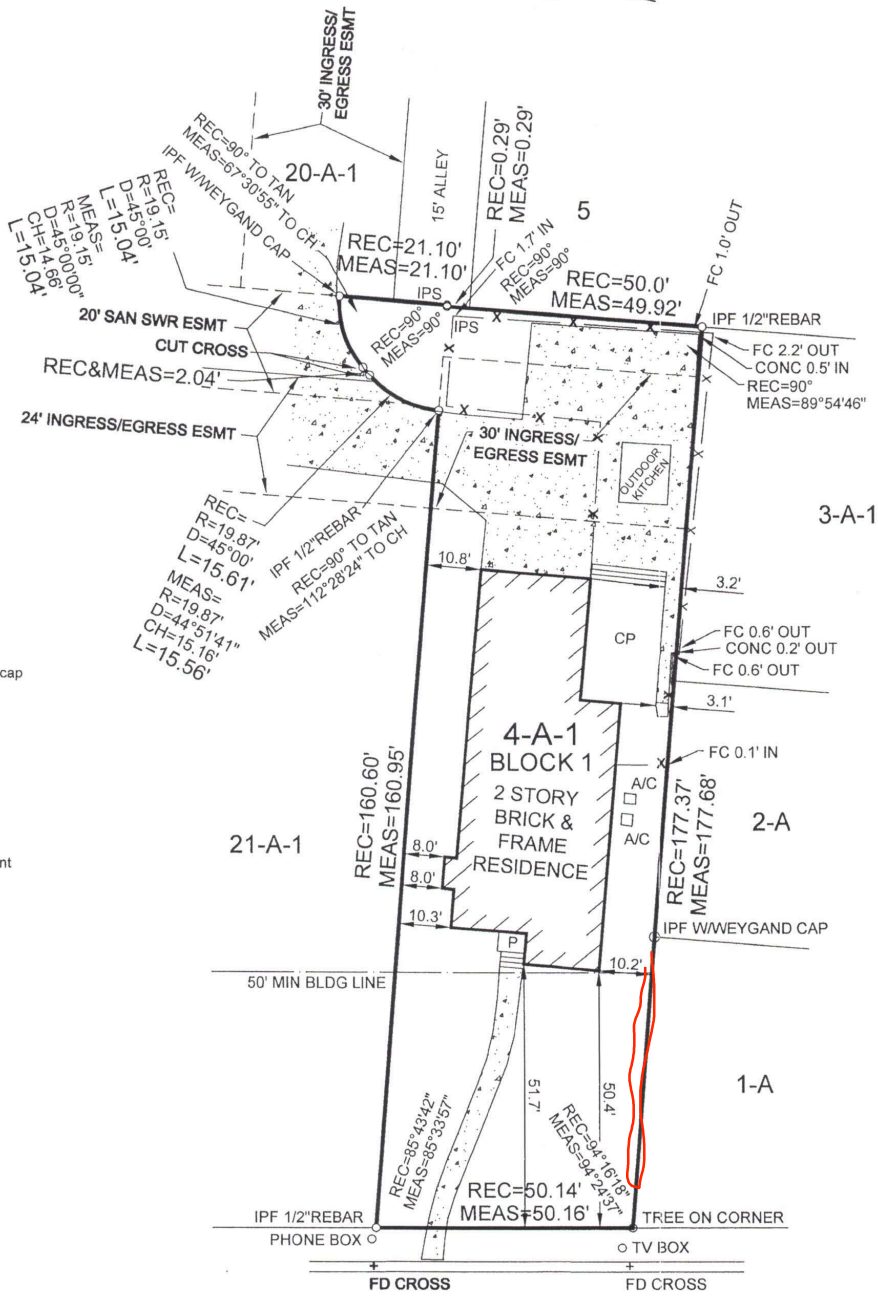
Owner Signature

Lisa Holmes
08/15/2022

SCALE: 1"=30'

LEGEND:

- ASPH = asphalt
- BRG = bearing
- BLDG = building
- CALC = calculated
- CAP = capped iron
- CL = centerline
- CH = chord
- CONC = concrete
- C = covered
- d = deflection
- D = curve delta angle
- E = east
- ESMT = easement
- FC = fence
- FD = found
- HW = headwall
- IPF = iron pin found
- IPF* = iron pin found w/KBW cap
- IPS = iron pin set w/SSI cap
- L = length
- MEAS = measured
- MIN = minimum
- MH = manhole
- N = north
- OH = overhang
- P = porch
- PC = point of curve
- POB = point of beginning
- POC = point of commencement
- PT = point of tangent
- PVMT = pavement
- R = radius
- REC = recorded
- RES = residence
- ROW = right of way
- S = south
- SAN = sanitary
- STM = storm
- SWR = sewer
- SYN = synthetic
- UTIL = utility
- U = uncovered
- W = west
- YI = yard inlet
- ° = degrees
- ' = minutes, in
- " = bearings or angles
- " = seconds, in
- ' = bearings or angles
- ' = feet, in distance
- AC = acres
- ± = more or less, or plus or minus



MAYLAND LANE

STATE OF ALABAMA
SHELBY COUNTY

I, Carl Daniel Moore, a registered Land Surveyor, certify that I have surveyed Lot 4-A-1 Block 1, MAYLAND SQUARE RESURVEY as recorded in Map Book 165, Page 65 in the Office of the Judge of Probate, Jefferson County, Alabama; that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information, and belief; that the correct address is as follows: 1110 Mayland Lane according to my survey of November 30, 2021. Survey is not valid unless it is sealed with embossed seal or stamped in red.

SURVEYING SOLUTIONS, INC.
2232 CAHABA VALLEY DRIVE SUITE M
BIRMINGHAM, AL 35242
PHONE: 205-991-8965

Carl Daniel Moore

Carl Daniel Moore, Reg. L.S. #12159

12-1-2021

Date of Signature



Order No. 260135
Purchaser: Holmes
Type of Survey: Property Boundary















CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE BOARD OF ZONING ADJUSTMENT

Date: September 15, 2022

- **CASE: BZA-22-17**
- **REQUESTED ACTION:** 2' Side Setback Variance to Reduce the Setback to 158' in Lieu of the Required 17'.
- **ADDRESS/LOCATION:** 248 Monterey Place
- **APPLICANT/OWNER:** Benjamin Patterson
- **REPRESENTING AGENT:** NA
- **GENERAL DISCUSSION:** The applicant is seeking side setback variance to build a house. The applicant contends the odd-shaped lot causes a hardship. The encroachment is less than a foot, but the request is for a 2' encroachment in case there is a measurement difference. The applicant's property is zoned Vestavia Hills R-1.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** No problems noted.
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted.
 4. **Building Safety Review:** No problems noted.



BZA-22-17

Variance and Special Exception Application

Status: Active

Date Created: Aug 16, 2022

Applicant

BENJAMIN PATTERSON
bgrahampatterson@gmail.com
3558 Altadena Park Lane
BIRMINGHAM, AL 35243
2055277652

Primary Location

248 MONTEREY PL
VESTAVIA HILLS, AL 35216

Owner:

BENJAMIN PATTERSON
3558 Altadena Park Lane BIRMINGHAM, AL
35243

Applicant Information

I am filling this out as the
Owner

Billing/Responsible Party

Name

Benjamin Patterson

Phone #

2055277652

Address

3558 Altadena Park Lane

City/State/Zip

Birmingham, AL 35243

Email

bgrahampatterson@gmail.com

Subject Property Information

Subject Property Address

248 Monterey Place

Legal Description of Subject Property

LOT 8, VESTAVIA HILLS 8TH ADD

REASONS FOR REQUEST

Side Setback Variance



Setback Required

17

Setback Requested

15

ZONING

Vestavia Hills Zoning for the subject property is

R1

HARDSHIP

Describe those things which you feel justify the action requested. An Undue Hardship is required in order to seek a variance. List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. (Use additional space on separate page if necessary).

We are requesting a variance to adjust the east side yard setback from 17 feet to 15 feet from the edge of the property. The hardship is an irregular shaped lot. We have added an addition to the existing home. The preliminary survey indicated the existing home is 61 feet from the front property line. The updated foundation survey shows that the house is actually 62.8 feet from the front property line. As we based the addition on the preliminary survey the new addition sits .8 feet over the side yard setback. To get the corner of the addition setback in compliance we are requesting an adjustment to 15 feet as the irregular shape of the property has the side yard line cut across the addition at an angle creating a need for more than .8 feet of adjustment.

PROJECT

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OWNER AFFIDAVIT

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. Simultaneously with the submittal of this application, I am hereby submitting a notarized affidavit signed by the owner of the property in the attachments section of this application. NOTE: Applications cannot be processed without the notarized owners affidavit. Owners authorization may be found on our main page.

Owner Signature

Benjamin Patterson
08/16/2022

100 S. WASHINGTON STREET
BIRMINGHAM, AL 35203
P: 205.224.2246
F: 205.224.2247
WWW.AGDESIGNGROUP.COM

**AN ADDITION AND
RENOVATION FOR
GRAHAM AND
BETH PATTERSON**

PROJECT NO. 1001
SHEET NO. 1001-1

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	08/20/14
2	REVISIONS	08/20/14
3	REVISIONS	08/20/14
4	REVISIONS	08/20/14
5	REVISIONS	08/20/14

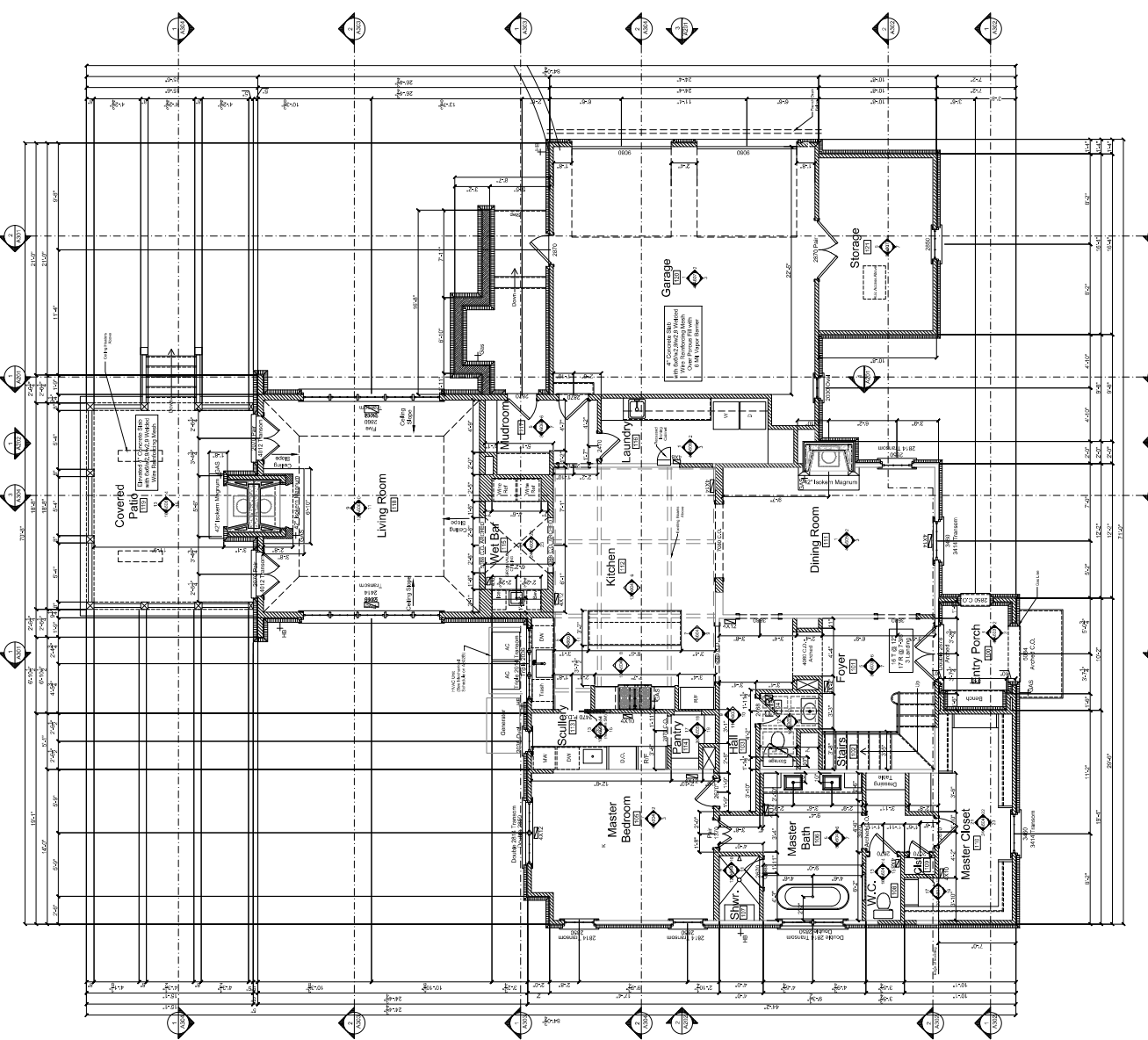
CONTRACTOR: JBC
DATE: 08/20/14

DESIGNED BY: AG
CHECKED BY: AG

SCALE: 1/8" = 1'-0"

SHEET INDEX

1001-1	COVER SHEET
1001-2	FOUNDATION
1001-3	FRONT PORCH
1001-4	REAR PORCH
1001-5	SCREENED PORCH
1001-6	SCREENED PORCH
1001-7	SCREENED PORCH
1001-8	SCREENED PORCH
1001-9	SCREENED PORCH
1001-10	SCREENED PORCH
1001-11	SCREENED PORCH
1001-12	SCREENED PORCH
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1001-95	SCREENED PORCH
1001-96	SCREENED PORCH
1001-97	SCREENED PORCH
1001-98	SCREENED PORCH
1001-99	SCREENED PORCH
1001-100	SCREENED PORCH



Wall Legend	
[Symbol]	Stone Veneer
[Symbol]	CMU
[Symbol]	2" x 4" Stud Wall
[Symbol]	2" x 6" Stud Wall
[Symbol]	2" x 8" Stud Wall
[Symbol]	2" x 10" Stud Wall
[Symbol]	2" x 12" Stud Wall
[Symbol]	2" x 14" Stud Wall
[Symbol]	2" x 16" Stud Wall
[Symbol]	2" x 18" Stud Wall
[Symbol]	2" x 20" Stud Wall
[Symbol]	2" x 22" Stud Wall
[Symbol]	2" x 24" Stud Wall
[Symbol]	2" x 26" Stud Wall
[Symbol]	2" x 28" Stud Wall
[Symbol]	2" x 30" Stud Wall
[Symbol]	2" x 32" Stud Wall
[Symbol]	2" x 34" Stud Wall
[Symbol]	2" x 36" Stud Wall
[Symbol]	2" x 38" Stud Wall
[Symbol]	2" x 40" Stud Wall
[Symbol]	2" x 42" Stud Wall
[Symbol]	2" x 44" Stud Wall
[Symbol]	2" x 46" Stud Wall
[Symbol]	2" x 48" Stud Wall
[Symbol]	2" x 50" Stud Wall
[Symbol]	2" x 52" Stud Wall
[Symbol]	2" x 54" Stud Wall
[Symbol]	2" x 56" Stud Wall
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[Symbol]	2" x 60" Stud Wall
[Symbol]	2" x 62" Stud Wall
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[Symbol]	2" x 66" Stud Wall
[Symbol]	2" x 68" Stud Wall
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[Symbol]	2" x 74" Stud Wall
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[Symbol]	2" x 90" Stud Wall
[Symbol]	2" x 92" Stud Wall
[Symbol]	2" x 94" Stud Wall
[Symbol]	2" x 96" Stud Wall
[Symbol]	2" x 98" Stud Wall
[Symbol]	2" x 100" Stud Wall

1. Main Level Plan
Scale: 1/8" = 1'-0"

3333 9th Avenue South
Birmingham, AL 35222
205.933.5414
www.adamgerndt.com

AN ADDITION AND
RENOVATION FOR
GRAHAM AND
BETH PATTERSON

3333 9th Avenue South
Birmingham, AL 35222
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REVISIONS

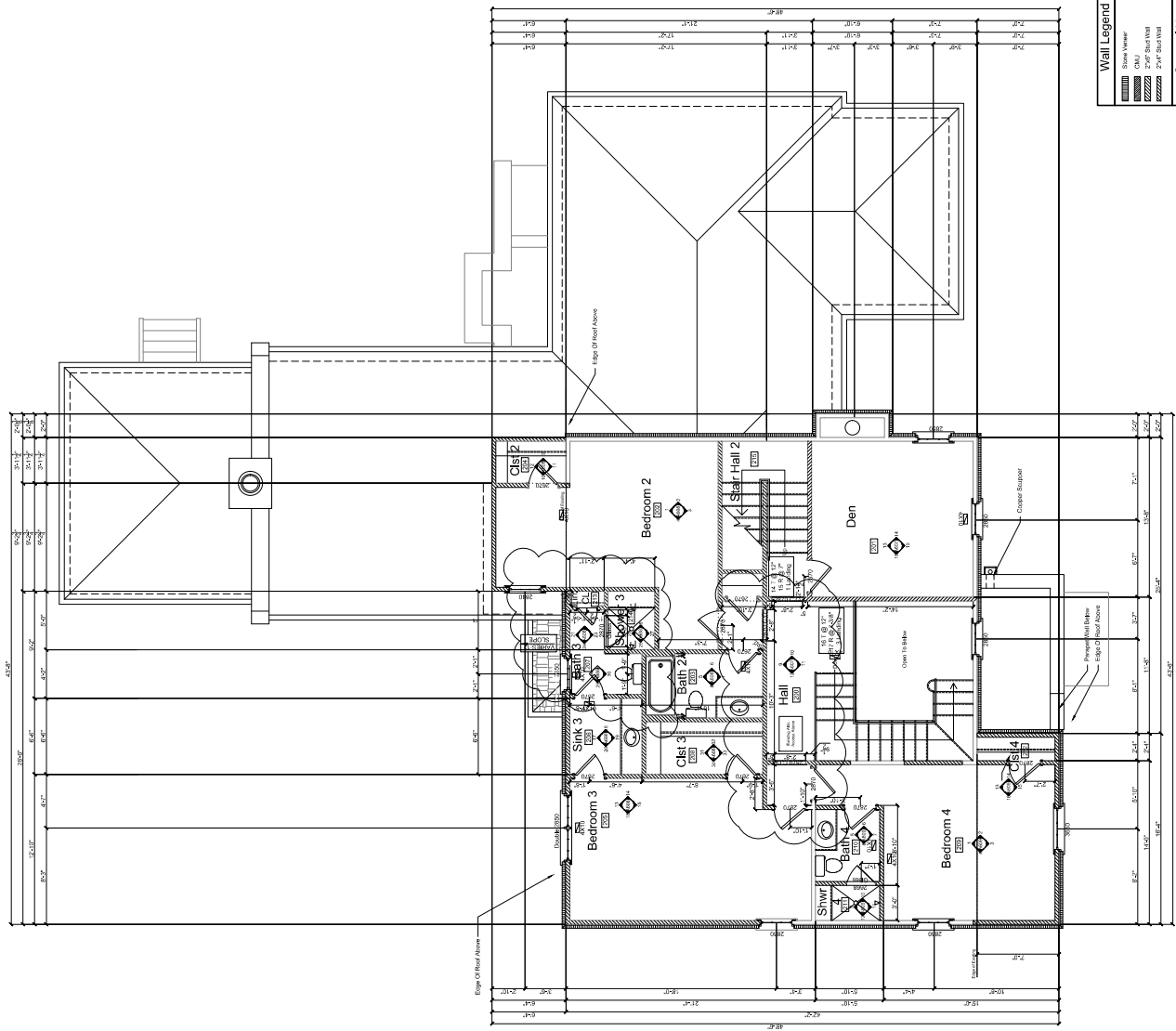
Revision #1	07/29/2010
Revision #2	08/16/2010
Revision #3	08/27/2010
Revision #4	09/02/2010
Revision #5	09/22/2010
Revision #6	10/01/2010

Drawn By: **AM**
Checked By: **AM**

STREET INDEX

- 6100 Sheet
- 6101 Site Plan
- 6102 Foundation
- 6103 Foundation Details
- 6104 Foundation Schedule
- 6105 Foundation Schedule
- 6106 Foundation Schedule
- 6107 Foundation Schedule
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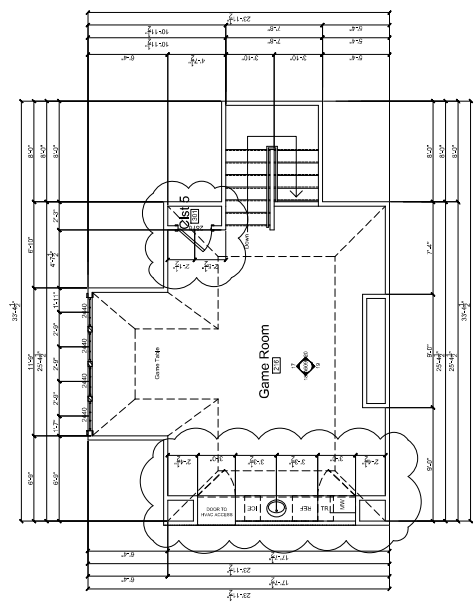
FOR CONSTRUCTION



Wall Legend	
[Symbol]	Stone Veneer
[Symbol]	CMU
[Symbol]	2" x 8" Stud Wall
[Symbol]	2" x 4" Stud Wall

General Notes	
Note 1:	Coordinate Window Sizes with Window Schedule.
Note 2:	Coordinate Door and Window Sizes with Door and Window Schedules.
Note 3:	Coordinate All Bathroom Hardware and Fixture Locations with Architect's Bathroom Installation.
Note 4:	Coordinate All Bedroom Hardware and Fixture Locations with Architect's Bedroom Installation.

2 Upper Level Plan
Scale: 1/4" = 1'-0"



1 Third Level Plan
Scale: 1/4" = 1'-0"

REVISED	DATE	DESCRIPTION
Revised 1	07/20/21	Initial Set
Revised 2	08/10/21	Revisions
Revised 3	08/15/21	Revisions
Revised 4	08/20/21	Revisions
Revised 5	08/25/21	Revisions
Revised 6	09/01/21	Revisions
Revised 7	09/05/21	Revisions
Revised 8	09/10/21	Revisions
Revised 9	09/15/21	Revisions
Revised 10	09/20/21	Revisions
Revised 11	09/25/21	Revisions
Revised 12	10/01/21	Revisions
Revised 13	10/05/21	Revisions
Revised 14	10/10/21	Revisions
Revised 15	10/15/21	Revisions
Revised 16	10/20/21	Revisions
Revised 17	10/25/21	Revisions
Revised 18	11/01/21	Revisions
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Revised 89	10/25/22	Revisions
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Revised 95	11/25/22	Revisions
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Revised 111	02/15/23	Revisions
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Revised 126	05/01/23	Revisions
Revised 127	05/05/23	Revisions
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Revised 129	05/15/23	Revisions
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Revised 140	07/10/23	Revisions
Revised 141	07/15/23	Revisions
Revised 142	07/20/23	Revisions
Revised 143	07/25/23	Revisions
Revised 144	08/01/23	Revisions
Revised 145	08/05/23	Revisions
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303 S.W. 35th Street, Suite 200
 Hialeah, FL 33012
 Phone: 305.415.1234
 Fax: 305.415.1235
 www.adamgerndt.com

AN ADDITION AND RENOVATION FOR GRAHAM AND BETH PATTERSON

3040 SW 15th St
 NW 15th St
 Hialeah, FL 33012

REVISIONS

NO.	DATE	DESCRIPTION
1	07/27/2021	ISSUED FOR PERMITS
2	08/02/2021	REVISED PER PERMITS
3	08/10/2021	REVISED PER PERMITS
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CITY OF VESTAVIA HILLS
SYNOPSIS AND STAFF RECOMMENDATION CONCERNING
APPLICATION BEFORE THE BOARD OF ZONING ADJUSTMENT

Date: September 15, 2022

- **CASE: BZA-22-18**
- **REQUESTED ACTION:** 23' Front Setback Variance to Reduce the Setback to 37' in Lieu of the Required 60' & 9' Side Setback Variance to Reduce the Setback to 8' in Lieu of the Required 17'.
- **ADDRESS/LOCATION:** 229 Vestavia Circle
- **APPLICANT/OWNER:** Chris Grissom
- **REPRESENTING AGENT:** Richard Long
- **GENERAL DISCUSSION:** The applicant is seeking a front and side setback variance to build a house. The applicant contends the odd-shaped lot and topography causes a hardship. The side of the house that has the infinity pool (right side) encroaches into the 17' setback. Existing house is being demolished and a new 2-story house will be built. Since the infinity pool is raised more than 30" above the ground in some location, staff felt it was necessary to add that as a part of the request. Side setback variance would only be for this side of the house, though. The applicant's property is zoned Vestavia Hills R-1.
- **STAFF REVIEW AND RECOMMENDATION:**
 1. **City Planner Review:** No problems noted.
 2. **City Engineer Review:** No problems noted.
 3. **City Fire Marshal Review:** No problems noted.
 4. **Building Safety Review:** No problems noted.



BZA-22-18

Variance and Special Exception Application

Status: Active

Date Created: Aug 16, 2022

Applicant

richard long
richard@longandlongdesign.com
1825 29th avenue south, apt. B
Homewood, AL 35209
2056375777

Primary Location

229 VESTAVIA CIR
VESTAVIA HILLS, AL 35216

Owner:

Chris Grissom
3360 Smith Cove Trace Vestavia, AL 35243

Applicant Information

I am filling this out as the
Representative Agent

Billing/Responsible Party

Name

chris grissom

Phone #

5218514

Address

3360 smith cove terrace

City/State/Zip

vestavia, al

Email

35243

Representing Attorney/Other Agent

Name

richard long

Phone #

6375777

Address

City/State/Zip

1825 29th avenue south, Apt B

homewood, al 35209

Email

richard@longandlongdesign.com

Subject Property Information

Subject Property Address

229 vestavia circle

Legal Description of Subject Property

Lot 7, Ninth Addition to Vestavia Hills

REASONS FOR REQUEST

Front Setback Variance



Setback Required

60 ft

Setback Requested

37'

Side Setback Variance



Setback Required

17

Setback Requested

8' (only at the location of the infinity pool)

ZONING

Vestavia Hills Zoning for the subject property is

R-2

HARDSHIP

Describe those things which you feel justify the action requested. An Undue Hardship is required in order to seek a variance. List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. (Use additional space on separate page if necessary).

The typography of the lot (and rock/soil conditions) make it difficult to relocate the proposed home design. The cul-de-sac shaped property also provides a challenge to maintain the required front setback along the width of the property. Therefore, the hardships are typography and shape of lot.

PROJECT

Describe the scope of the project and/or the reason for requesting this variance.

The plan is to remove the existing home and build a new two story in it's place (for the most part). This would require a front setback variance.

OWNER AFFIDAVIT

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. Simultaneously with the submittal of this application, I am hereby submitting a notarized affidavit signed by the owner of the property in the attachments section of this application. NOTE: Applications cannot be processed without the notarized owners affidavit. Owners authorization may be found on our main page.

Representing Agent Signature

Richard Ross Long
08/16/2022

Notarized Owner Authorization

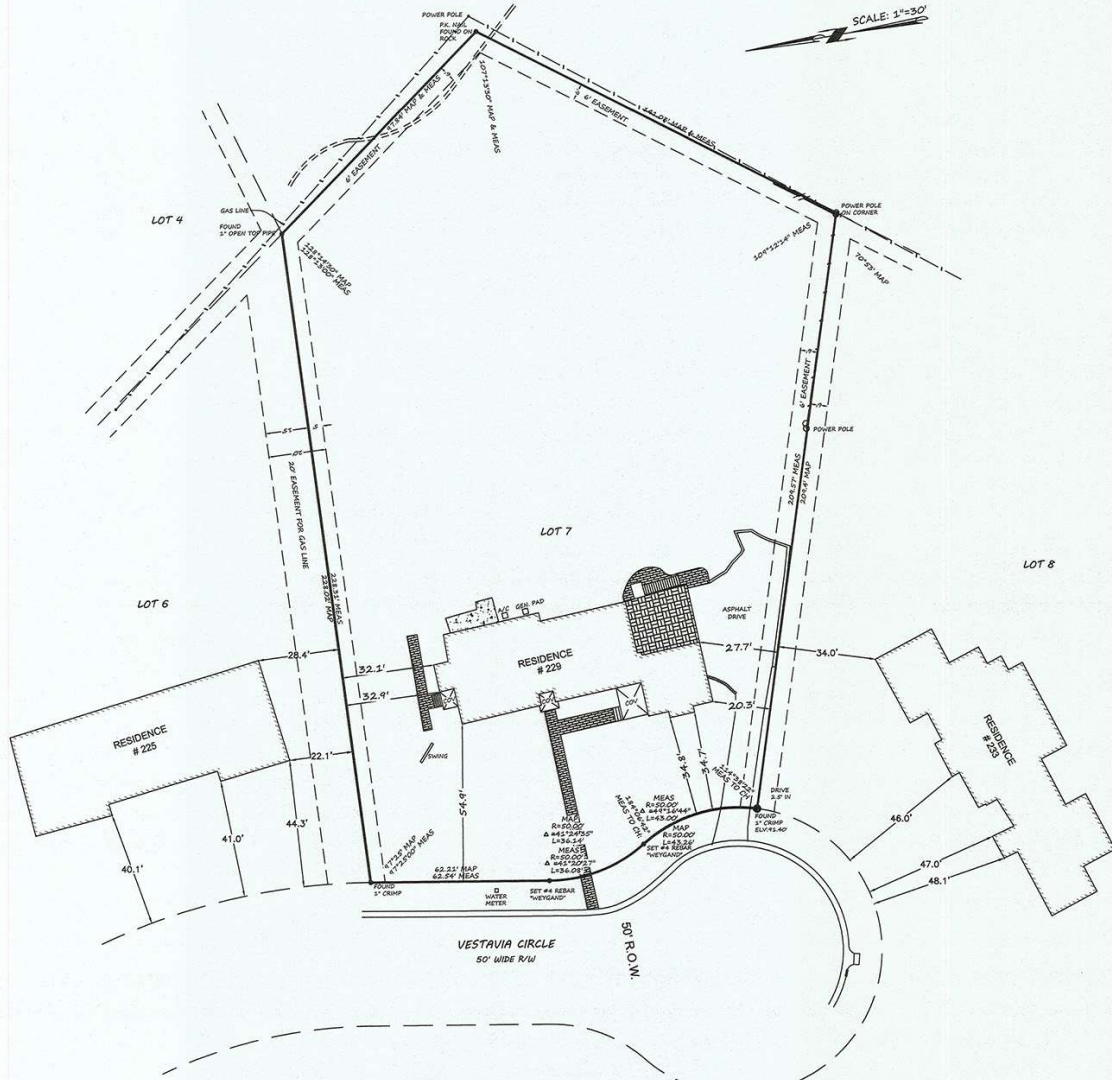


affidavit.pdf

Uploaded by richard long on Aug 16, 2022 at 1:07 pm

LEGEND

ASP	ASPHALT
BLDG	BUILDING
CALC	CALCULATED
MEAS	MEASURED
CH	CHORD
LNG	LONG CHORD
Δ	DEFLECTION
Δ	DELTA
ESMT	EASEMENT
H/W	HEADWALL
MIN	MINIMUM
M/H	MANHOLE
OH	OVERHANG
POR	PORCH
R	RADIUS
R.O.W.	RIGHT OF WAY
SAN	SANITARY
STM	STORM
UTIL	UTILITY
AC	ACRES
S.F.	SQUARE FEET
☉	CENTRLINE
A/C	AIR CONDITIONER
○	POLE
—	ANCHOR
-X-	FENCE
—	POWER LINE
P/MT	PAVEMENT
W/	WITH
TAN	TANGENT
RES	RESIDENCE
GLT	LIGHT COVERED
DECK	DECK
CONCRETE	CONCRETE
WALL	WALL



STATE OF ALABAMA
JEFFERSON COUNTY

"PROPERTY BOUNDARY SURVEY"

I, Ray Weygand, a Registered Land Surveyor, hereby certify to the purchaser of this property at this time, that I have surveyed Lot 7, NINTH ADDITION TO VESTAVIA HILLS, as recorded in Plat Book 39, Page 31, in the Office of the Judge of Probate, Jefferson County, Alabama. I hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief, according to my survey of JULY 1, 2022. Survey invalid if not sealed in red.

Order No.: 20221014
Purchaser:
Address: 229 VESTAVIA CIRCLE

Ray Weygand, Reg. L.S.#24973
169 Oxmoor Road, Homewood, AL 35209
Phone: (205) 942-0088 Fax: (205) 942-0087
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Note: (a) No title search of the public records has been performed by this firm and land shown hereon was not abstracted for easements and/or rights-of-way, recorded or unrecorded. The parcel shown hereon is subject to setbacks, easements, zoning, and restrictions that may be found in the public records of said county and/or city. (b) All bearings and/or angles, are deed-record map and actual unless otherwise noted. (c) Underground portions of foundations, footings, and/or other underground structures, utilities, cemeteries or burial sites were not located unless otherwise noted. (d) The shown north arrow is based on deed-record map. (e) This survey is not transferable. (f) Easements not shown on recorded map are not shown above.



LONG & LONG
DESIGN

1531 34th Avenue South
Birmingham, AL 35222
Phone: 205-988-2277
longandlong.com

GRISSOM
RESIDENCE
Vestavia Hills, Alabama

PRICING SET
NOT FOR CONSTRUCTION
JULY 2022 - 2022

REVISIONS
8/17/22

Floor Plan

A0-0



1 Site Plan
8/17/22



LONG & LONG
DESIGN

1801 EAST 10TH AVENUE
BIRMINGHAM, ALABAMA 35202
205.988.2222
WWW.LONGANDLONG.COM

GRISOM
RESIDENCE
10000 10TH AVENUE

PRICING SET
NOT FOR CONSTRUCTION

JULY 2016 - 2018

REVISIONS

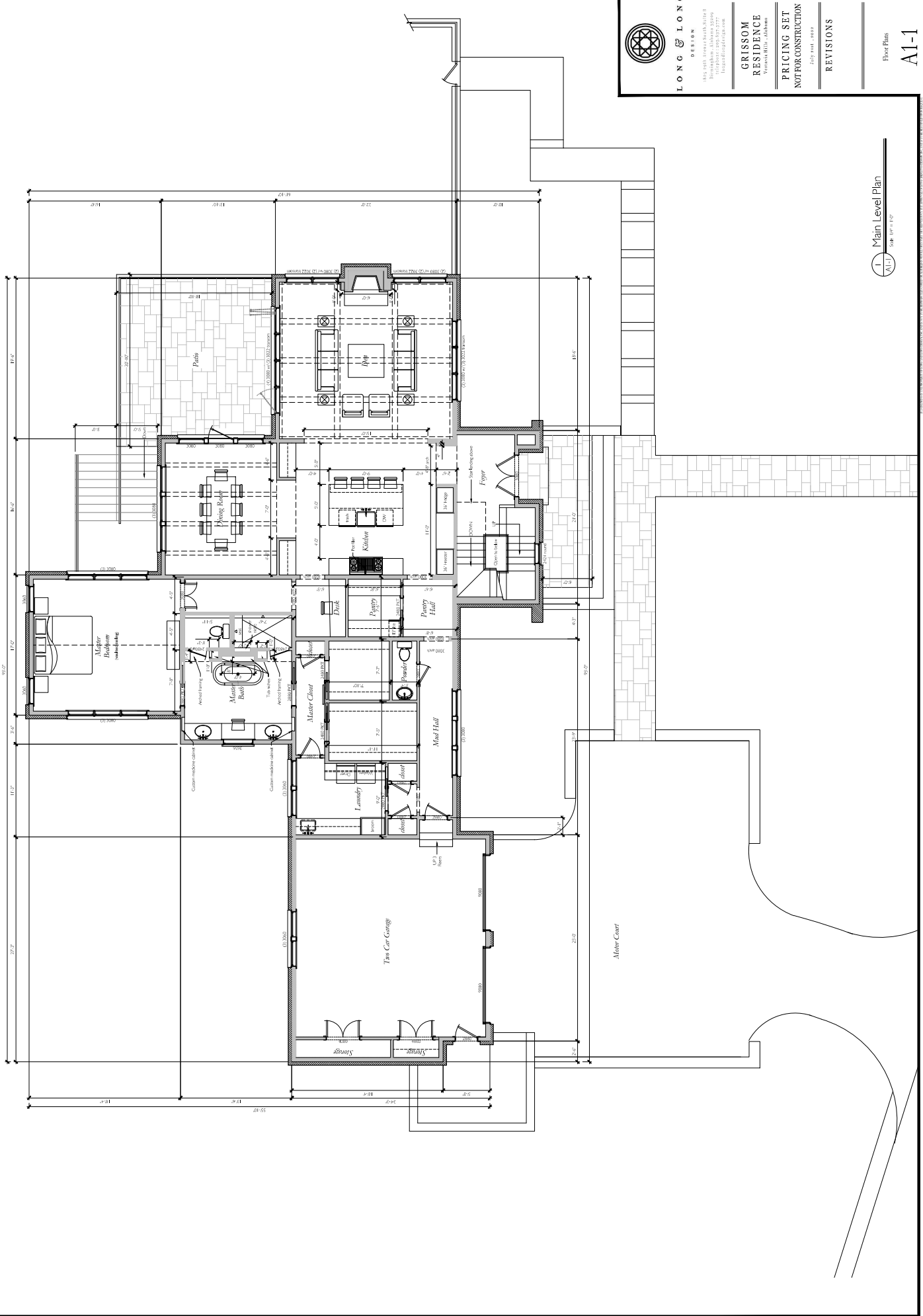
Floor Plans

A1-1

1 Main Level Plan

A1-1

1000 10TH AVENUE





LONG & LONG
DESIGN

1000 S. 10th St., Suite 100
Tomball, TX 77375
Tel: 281.358.1111
www.longandlong.com

GRISSOM
RESIDENCE
1000 S. 10th St., Suite 100
Tomball, TX 77375

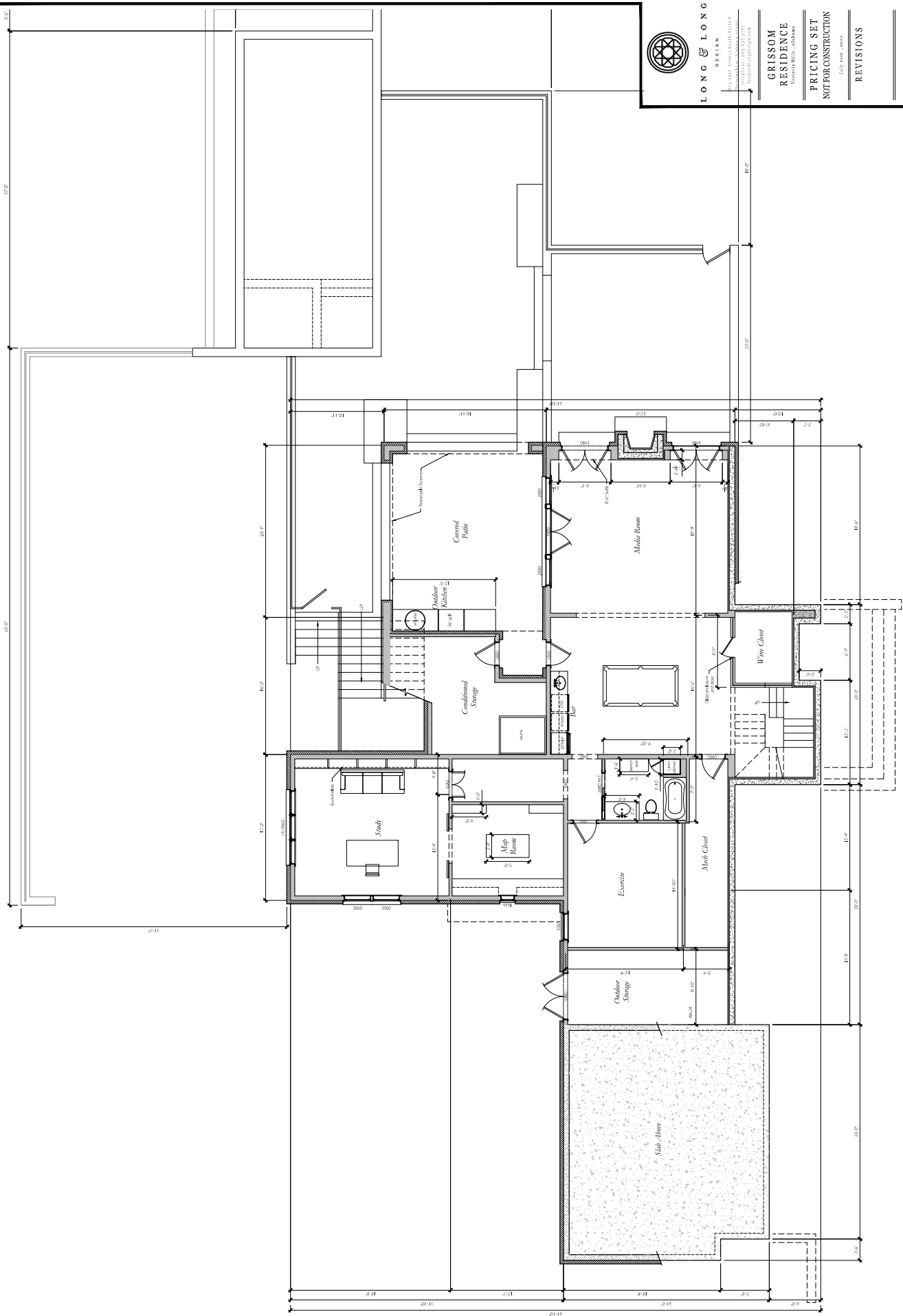
PRICING SET
NOT FOR CONSTRUCTION

July 2016 - 2018
REVISIONS

Floor Plans

A1-0

1 Lower Level Plan
A1-0 008 10' x 11' 0"





LONG & LONG
DESIGN

1000 1/2 ST. SW. SUITE 100
BIRMINGHAM, ALABAMA 35209
205.933.8888

GRISSOM
RESIDENCE
1000 1/2 ST. SW. SUITE 100

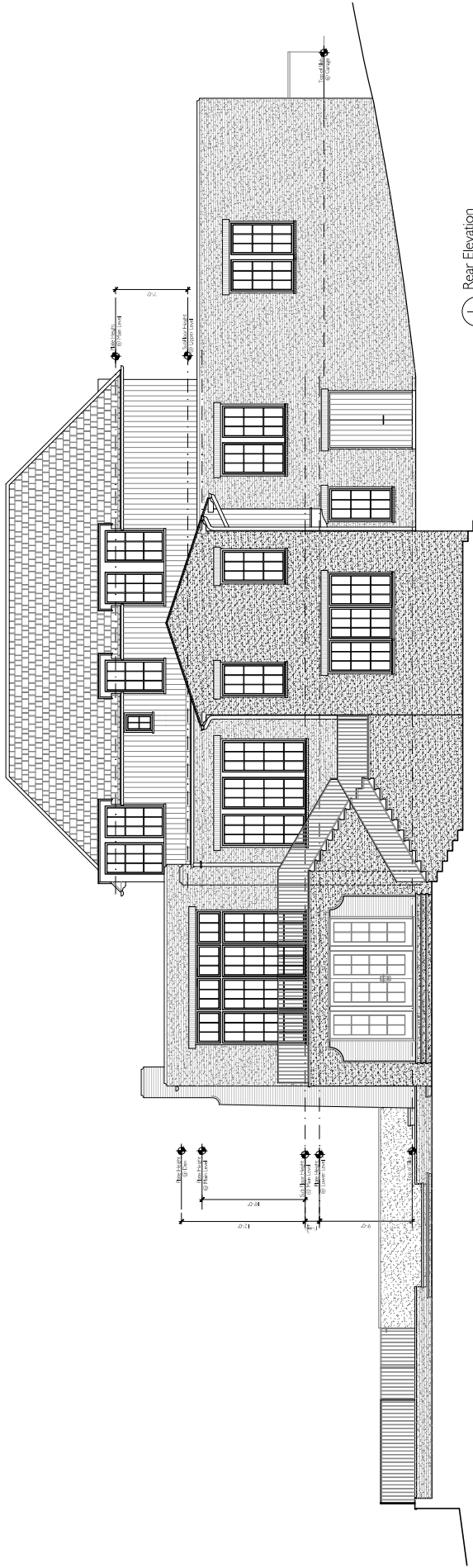
PRICING SET
NOT FOR CONSTRUCTION

JULY 2016 - 2016

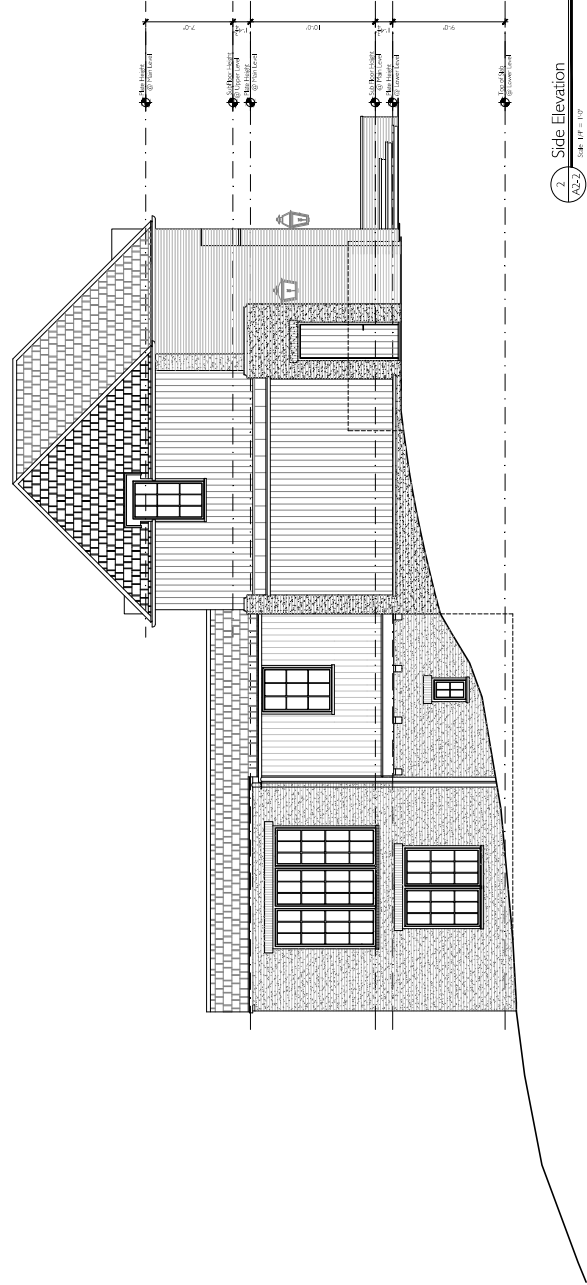
REVISIONS

Exterior Elevations

A2-2



1 Rear Elevation
Scale: 1/8" = 1'-0"



2 Side Elevation
Scale: 1/8" = 1'-0"

