



**Vestavia Hills**  
**Board of Zoning Adjustment Agenda**  
**March 16, 2023**  
**6:00 PM**

1. Roll Call
2. Approval Of Minutes: February 16, 2023
3. BZA-23-4     **J Barry Andrews** is requesting a **Variance for Location of Fence in the Front Setback** for the property located at **1883 Shades Crest Road**. The purpose of this request is to build a privacy fence in the front setback. The property is owned by J Barry Andrews and is zoned **Vestavia Hills R-1**.
4. BZA-23-5     **Christopher Catanzano** is requesting **Front & Rear Setback Variances** for the property located at **2404 Chestnut Road**. The purpose of this request is to reduce the front setback setback to 53' in lieu of the required 60' & to reduce the rear setback to 29' in lieu of the required 30', to build an addition to the principal structure. The property is owned by Christopher Catanzano and is zoned **Vestavia Hills R-1**.
5. Time Of Adjournment

**CITY OF VESTAVIA HILLS**  
**BOARD OF ZONING ADJUSTMENT**  
**MINUTES**

**February 16, 2023**

The Board of Zoning Adjustment of the City of Vestavia Hills met in regular session on this date at 6:00 PM. The roll was called with the following:

**MEMBERS PRESENT:**

Rick Rice, Chairman  
Michael Fliegel, Alt  
Stephen Greer  
Loring Jones, III  
Ryan Rummage, Alt

**MEMBERS ABSENT:**

Thomas Parchman  
Tony Renta

**OTHER OFFICIALS PRESENT:**

Jack Wakefield, Planner/GIS

**APPROVAL OF MINUTES**

The minutes of January 19, 2023 were presented for approval.

**MOTION** Motion to dispense with the reading of the minutes of January 19, 2023 was made by Mr. Fliegel and 2<sup>nd</sup> was by Mr. Jones. Motion as carried on a voice vote as follows:

Mr. Fliegel – yes	Mr. Rummage – yes
Mr. Greer - yes	Chairman Rice – yes
Mr. Jones – yes	
Motion carried.	

**SIDE SETBACK VARIACNE**

**BZA-23-1** Steven Hey is requesting a **Side Setback Variance** for the property located at **4300 Dolly Ridge Lane**. The purpose of this request is to reduce the side setback to 1’ in lieu of the required 10’, to build a carport. The property is owned by Steven Hey and is zoned **Vestavia Hills R-4**.

Mr. Wakefield explained that the request was to build a carport encroaching in the side setback.

Steven Hey, 4300 Dolly Ridge Lane, was present for the request and stated that the corner lot and septic tank on lot prevents buildable area. He also stated that the neighbor is supportive of the request.

Chairman Rice asked why can’t this be built on the other side of the lot?

Mr. Hey stated that a variance would be required there too, plus that is where the septic and field lines are. He also stated that there is a drainage ditch that runs that frontage.

Mr. Rice asks if this will have an overhang.

Mr. Hey said he has talked with Keith Blanton on overhang regulations and he is following what was recommended and will be the setback.

Chairman Rice opened the floor for a public hearing. There being no one present in regard to the request, Mr. Rice closed the public hearing and opened the floor for a motion.

**MOTION** Motion to APPROVE a 9’ Side Setback Variance to reduce the setback to 1’ in lieu of the required 10’, for the property located at 4300 Dolly Ridge Ln was made by Mr. Jones and 2nd was by Mr. Rummage. Motion was carried on a roll call vote as follows:

- Mr. Fliegel – yes
- Mr. Greer - yes
- Mr. Jones – yes
- Motion carried.
- Mr. Rummage – yes
- Chairman Rice – yes

**SIDE SETBACK VARIACNE**

**BZA-23-2** Lance Smith is requesting a **Side Setback Variance** for the property located at **3515 Thornhill Drive**. The purpose of this request is to reduce the side setback to 12’ in lieu of the required 15’, to build a pool house. The property is owned by Lance Smith and is zoned **Vestavia Hills R-2**.

Mr. Wakefield explained that the request was to build a pool house that will connect to the principal structure.

Mark Hancock, 3515 Thornhill Drive, was present for the request and stated that the odd shaped lot and topography causes a hardship. Also, the house is nonconforming on that side and the addition will extend another 8 inches past the current house setback.

Mr. Fliegel asked if the structure is attached to the house.

Mark Hancock stated that they will extend the roof of the house to meet the new pool house.

Chairman Rice opened the floor for a public hearing. There being no one present in regard to the request, Mr. Rice closed the public hearing and opened the floor for a motion.

**MOTION** Motion to APPROVE a 3’ Side Setback Variance to reduce the setback to 12’ in lieu of the required 15’, for the property located at 3515 Thornhill Drive was made by Mr. Jones and 2nd was by Mr. Greer. Motion was carried on a roll call vote as follows:

- Mr. Fliegel – yes
- Mr. Greer - yes
- Mr. Jones – yes
- Motion carried.
- Mr. Rummage – yes
- Chairman Rice – yes

**TWO FRONT & A SIDE SETBACK VARIACNE**

**BZA-23-3 Jason McGee** is requesting a **Side Setback Variance & Two Front Setback Variances** for the property located at **2301 Shades Crest Road**. The purpose of this request is to reduce the side setback to 12’ in lieu of the required 17’ & to reduce the front setback (Shades Crest) to 41’ in lieu of the required 60’, & to reduce the front setback (Sunset) to 22’ in lieu of the required 60’, to build a house. The property is owned by Jason McGee and is zoned **Vestavia Hills R-1**.

Mr. Wakefield explained that the request was to build a pool house that will connect to the principal structure.

Jason McGee, 2301 Shades Crest Road, was present for the request and stated that the corner lot and odd shape of the lot caused a hardship.

Chairman Rice opened the floor for a public hearing. There being no one present in regard to the request, Mr. Rice closed the public hearing and opened the floor for a motion.

**MOTION** Motion to APPROVE a 5' side setback variance to reduce the setback to 12' in lieu of the required 17' & a 19' front setback variance (Shades Crest) to reduce the setback to 41' in lieu of the required 60' & 38' front setback variance (Sunset) to reduce the setback to 22' in lieu of the required 60', for the property located at 2301 Shades Crest Road was made by Mr. Jones and 2nd was by Mr. Fliegel. Motion was carried on a roll call vote as follows:

Mr. Fliegel – yes	Mr. Rummage – yes
Mr. Greer - yes	Chairman Rice – yes
Mr. Jones – yes	

Motion carried.

At 6:16 PM, Mr. Jones made a motion to adjourn. The meeting adjourned at 6:16 PM.

Jack Wakefield,  
Planner/GIS



VESTAVIA HILLS

## **Board of Zoning Adjustment Planners Report**

### **MEETING DATE**

March 16, 2023

### **AGENDA ITEM**

BZA-23-4 **J Barry Andrews** is requesting a **Variance for Location of Fence in the Front Setback** for the property located at **1883 Shades Crest Road**. The purpose of this request is to build a privacy fence in the front setback. The property is owned by J Barry Andrews and is zoned **Vestavia Hills R-1**.

### **BACKGROUND**

Variance for Location of Fence in the Front Setback.

### **PLANNER'S REVIEW/RECOMMENDATION**

Applicant is seeking a variance for the location of a fence in the front setback. The applicant contends the corner lot causes a hardship. Terrain limitations also prevent placement of a fence in a large portion of the rear of the lot. The fence will be a 5' metal rod fence. The property is zoned Vestavia Hills R-1.

### **ATTACHMENTS**

1. Application
2. Survey
3. Survey with Fence
4. Fence Demensions
5. Fence Example
6. Owners Affidavit

Jack Wakefield  
City Planner



## BZA-23-4

### Variance and Special Exception Application

**Status:** Active

**Date Created:** Feb 13, 2023

#### **Applicant**

J Barry Andrews  
barry@uab.edu  
1883 Shades Crest Rd  
Vestavia Hills, AL 35216-1421  
205 401-5780

#### **Primary Location**

1883 SHADES CREST RD  
VESTAVIA HILLS, AL 35216

#### **Owner:**

J Barry Andrews & Letitia J Hayes  
1883 Shades Crest Rd Vestavia Hills, AL 35216-1421

#### **Agenda Information**

##### **Agenda Scheduling**

March 2023

#### **Applicant Information**

##### **I am filling this out as the**

Owner

#### **Billing/Responsible Party**

##### **Name**

J Barry Andrews

##### **Phone #**

205 401-5780

##### **Address**

1883 Shades Crest Rd

##### **City/State/Zip**

Vestavia Hills/AL/35216

##### **Email**

barry@uab.edu

## Subject Property Information

### Subject Property Address

1883 Shades Crest Rd

### Legal Description of Subject Property

Lot 1, Block 2, Montclair First Sector, Map Vol 36, page 63, office of the Judge of Probate Jefferson County, AL

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## REASONS FOR REQUEST

### Variance for location of a fence.



### Details

Corner lot. Request placing a fence in the "front yard" to the side of the house.

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## ZONING

### Vestavia Hills Zoning for the subject property is

R-1

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## PROJECT

### Describe the scope of the project and/or the reason for requesting this variance.

Scope: We are hoping to add fencing, primarily in our back yard, to provide space for two puppies to safely run and play as they grow.

Reason for requesting variance: Terrain limitations prevent placing a fence in a large portion of the lot. The two-front-yards issue of our corner lot limits using a gently sloping area of our lot.

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## HARDSHIP

**Please answer the following questions regarding hardship and briefly summarize and describe those things which you feel justify the action requested in the box below. An Undue Hardship is required in order to seek a variance. List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. (Use additional space on separate page if necessary).**

The steeply downward sloping terrain from our patio towards the back corner of our lot leads to major areas of fence un-buildability. Our corner lot currently prevents us from placing any fencing beyond the Montclair Circle side of our house. We are seeking a variance to allow placement of a portion of the fencing within our second "front yard" on the side of our house.



Before any variance is granted, the BZA must find that ALL of the following conditions exist. Please describe each of the following details in order for the BZA to determine if these warrants the described hardship.

**1. There are extraordinary and exceptional conditions, which are peculiar to the piece of property in question because of its size, shape or topography, that are not applicable to the other lands or structures in the same district. Please explain:**

Property is a corner lot and front-yard requirements must be met along both the Shades Crest Rd and the Montclair Circle sides of the lot. Most residential properties only have one front yard.

**2. Granting the variance requested will not confer upon the applicant any special privileges that are denied to other owners of property in the District in which the property is located. Please explain:**

No special privileges are requested. Home owners with non-corner lots are allowed to extend fencing from both sides of their house to their property line.

**3. All literal interpretations of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by others of property in the district in which the property is located. Please explain:**

Correct. We would not be able to have fencing in locations allowed for other homeowners in the area.

**4. The requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare. Please explain:**

True. An attractive, 4-foot high, decorative, black aluminum fence has been selected that would be barely visible from the road on the Montclair Circle side and not at all visible from the Shades Crest Road side. The fence will not hinder the sight lines or safety of the public.

**5. The special circumstances are not the intended result of the actions of the applicant (i.e., self-imposed hardship). Please explain:**

Correct. This is not a self-imposed hardship.

**6. The variance requested is the minimum variance that will make possible the legal use of the land, building or structure. Please explain:**

We are requesting only a 4 foot variance towards Montclair Circle beyond the rear corner of our house. The fence location will still be approximately 40 feet from our property line at its closest approach and more than 50 feet off the road.

7. The no non-conforming use of neighboring lands, structures, or buildings in the same district, and no permitted or non-conforming use of lands, structures, or building in other districts shall be considered grounds for the issuance of a variance.

**8. That a variance will not allow the permanent establishment of a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.**

I believe this request complies with the ordinance.

NOTE: In proving that an unnecessary hardship has been imposed on the property as a result of the strict interpretation of this Ordinance, the following conditions cannot be considered pertinent to the determination of whether or not an unnecessary hardship exists: (1) proof that a variance would increase the financial return from land; or (2) personal or economic hardship; or (3) self-imposed hardship. In other words, hardship alone is not sufficient to permit a variance. It must be an "unnecessary hardship." Mere financial loss of a kind, which might be common to all of the property owners in a district, is not an "unnecessary hardship."

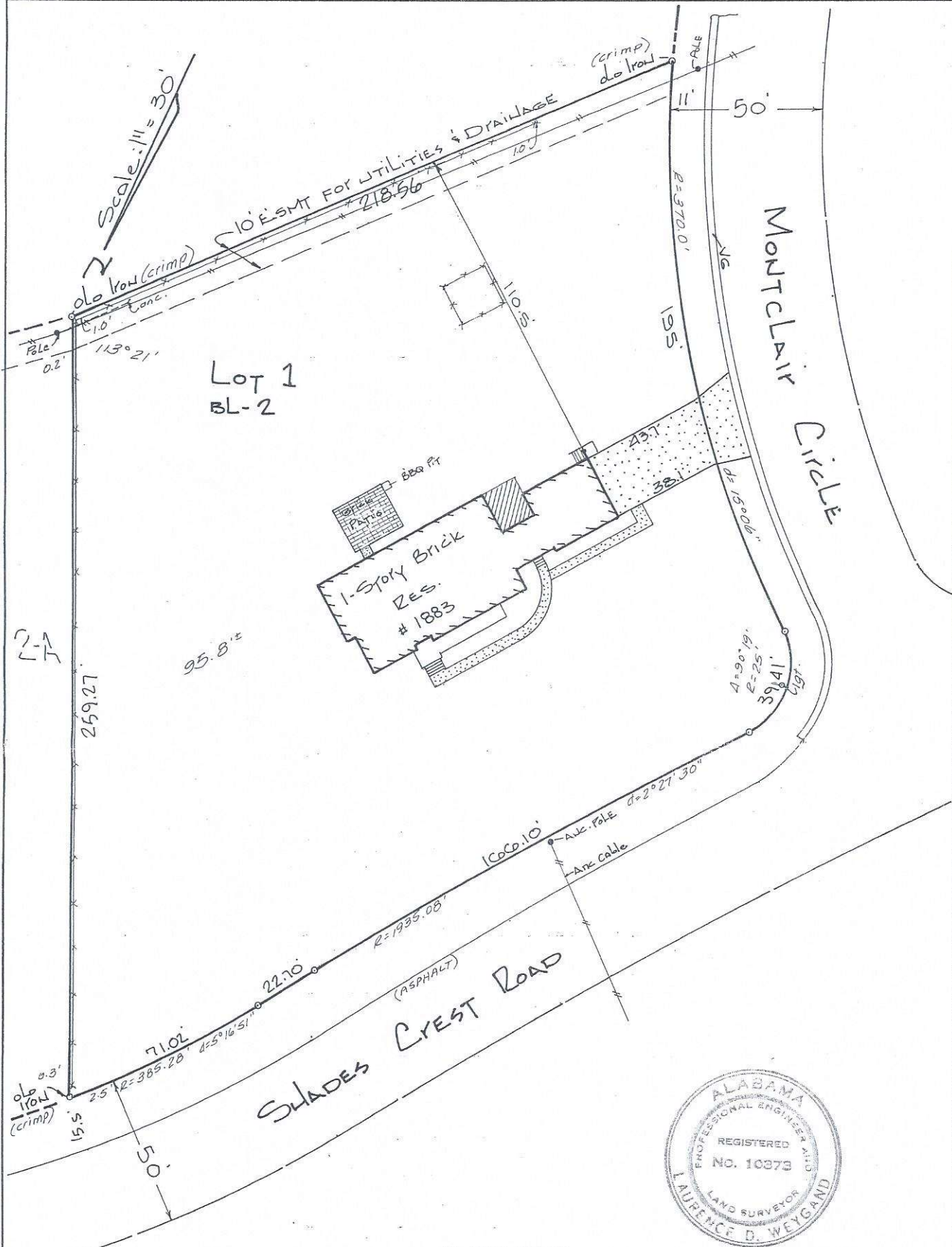
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## **OWNER AFFIDAVIT**

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. Simultaneously with the submittal of this application, I am hereby submitting a notarized affidavit signed by the owner of the property in the attachments section of this application. NOTE: Applications cannot be processed without the notarized owners affidavit. Owners authorization may be found on our main page.

### **Owner Signature**

James Barry Andrews  
02/12/2023



STATE OF ALABAMA }  
JEFFERSON COUNTY }

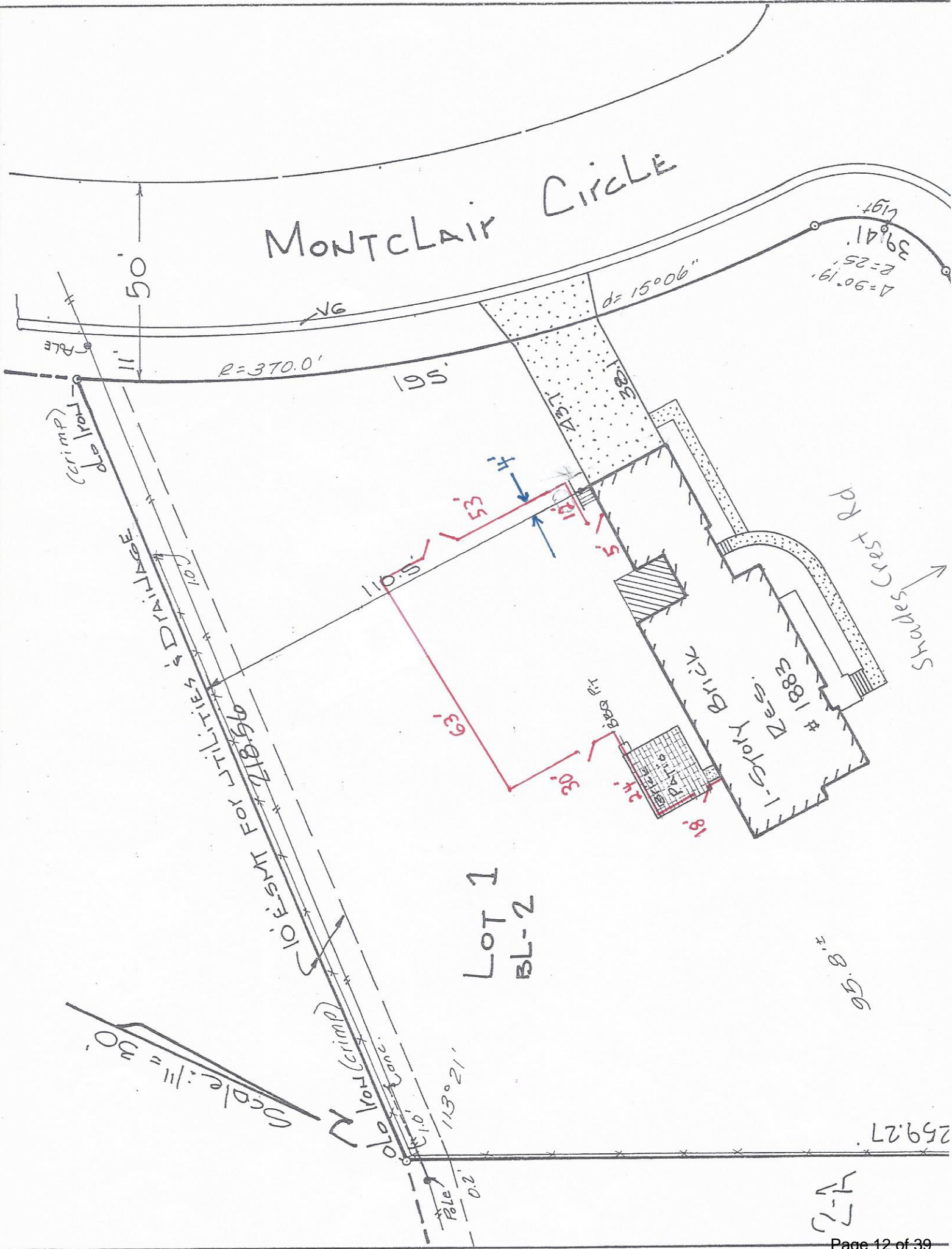
AS BUILT SURVEY  
MEETS M.T.S.

I, Laurence D. Weygand, a registered Engineer-Land Surveyor, certify that I have surveyed Lot 1, Block 2, MONTCLAIR, First Sector, as recorded in Map Volume 36, Page 63, in the office of the Judge of Probate, JEFFERSON County, Alabama; that there are no rights-of-way, easements, or joint driveways over or across said land visible on the surface except as shown; that there are no electric or telephone wires (excluding wires which serve premises only) or structures or supports therefor, including poles, anchors and guy wires, on or over said premises except as shown; that I have consulted the Federal Insurance Administration "Flood Hazard Boundary Map" and found that this property is not located in "a special flood hazard area", that there are no encroachments on said lot except as shown; that improvements are located as shown above; and that the correct address is as follows: 1883 SHADES CREST ROAD; according to my survey of: MAY 19, 2001

ANDREWS & HAYES Survey invalid if not sealed in red.  
Flood Zone: "X"  
Order No. 45965 01073C 0483E

Laurence D. Weygand, Reg. No. 10373 phone 942-0086  
169 Oxmoor Road, Birmingham, AL 35209

# MONTCLAIR Circle



Lot 1  
BL-2

1-Story Brick  
Res. # 1883

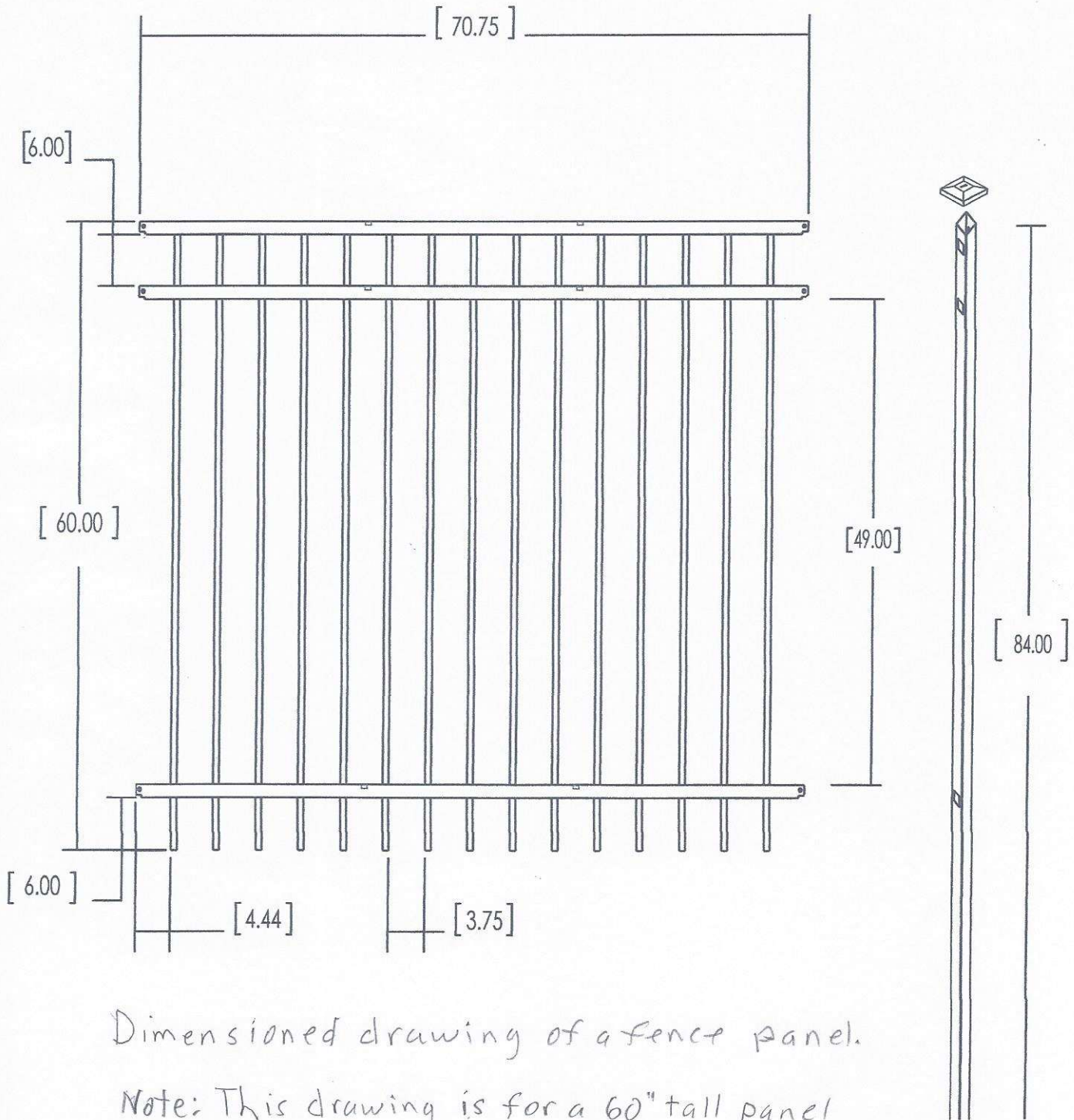
Scale: 1/4" = 30'  
Old Iron (Crimp)  
10' Easmt For Utilities & Driveway

Light  
39' 41"  
R=25'  
Δ=90° 19'

95' 8" 66

259.27

2-A

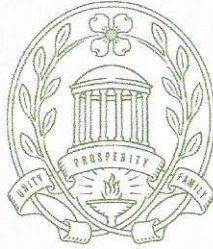


Dimensioned drawing of a fence panel.

Note: This drawing is for a 60" tall panel  
We will use 48" tall panels.



Example of Fencing Selected for 1883 Shades Crest Rd



**City of Vestavia Hills  
Office of the City Clerk**

**OWNER AFFIDAVIT (This form must be notarized):**

I do hereby declare that the following statements are correct concerning the subject property located at: 1883 Shades Crest Rd., Vestavia Hills, Alabama and that statements submitted in my application are true and that I am: *(please check all that apply)*.

the Property Owner and representing myself in said request.

the Property Owner, but I am authorizing a Representing Agent by the name of: \_\_\_\_\_ to represent me in the following request:

And am requesting: (please check)

- |  |  |
|--|--|
| <input type="checkbox"/> Rezoning Request          | <input checked="" type="checkbox"/> Request for Variance |
| <input type="checkbox"/> Preliminary Plat Approval | <input type="checkbox"/> Special Exception               |
| <input type="checkbox"/> Final Plat Approval       | <input type="checkbox"/> Design Review Approval          |
| <input type="checkbox"/> Conditional Use Approval  |  |

Signed: Jenny Berg Anderson 2/13/23  
Owner Signature/Date

STATE OF ALABAMA  
COUNTY OF Jefferson

Given under my hand and seal this 13<sup>th</sup> day of Feb, 2023

[Signature]  
Notary Public

My commission expires 30<sup>th</sup> day of July, 2023



VESTAVIA HILLS

## Board of Zoning Adjustment Planners Report

### MEETING DATE

March 16, 2023

### AGENDA ITEM

BZA-23-5 **Christopher Catanzano** is requesting **Front & Rear Setback Variances** for the property located at **2404 Chestnut Road**. The purpose of this request is to reduce the front setback to 53' in lieu of the required 60' & to reduce the rear setback to 29' in lieu of the required 30', to build an addition to the principal structure. The property is owned by Christopher Catanzano and is zoned **Vestavia Hills R-1**.

### BACKGROUND

7' Front Setback Variance to Reduce the Setback to 53' in Lieu of the Required 60' & 1' Rear Setback Variance to Reduce the Setback to 29' in Lieu of the Required 30'.

### PLANNER'S REVIEW/RECOMMENDATION

Applicant is requesting front and rear setback variances to build an addition to the principal structure. The applicant contends that the shape of the lot, along with the septic tank, causes a hardship. The addition will be a two-level addition. A garage and storage space will reside on the 1st floor, and bedroom and home office space above it. This property is zoned Vestavia Hills R-1.

### ATTACHMENTS

1. Engineering Comments
2. Application
3. Survey
4. Site Plan
5. Additional Drawings
6. Septic Tank Documents
7. Vicinity Sketch
8. Owners Affidavit

Jack Wakefield  
City Planner





BZA-22-27

## Engineering Review

Variance and Special Exception Application

**Status:** Complete

**Became Active:** 12/27/2022

**Assignee:** Christopher Brady

**Completed:** 01/03/2023

### Applicant

Twin Construction  
summer@twincompanies.com  
2907 Central Avenue  
Suite 105  
Birmingham, AL 35209  
205-802-3920

### Primary Location

2104 CHESTNUT RD  
VESTAVIA HILLS, AL 35216

### Owner:

Drew and Sara Gunnells  
2104 Chestnut Road Vestavia, AL 35216

### Comments

**Christopher Brady, Jan 3, 2023 at 2:00pm**

Final permit request is subject to engineering review of impervious area. Total lot coverage cannot exceed 30%. Existing impervious area may need to be removed or modified to offset new addition. Please discuss with engineering prior to submitting for building permit.

**Twin Construction , Jan 9, 2023 at 12:09pm**

Hi Christopher, does Vestavia have a list of approved permeable materials if we would like to modify areas of the exterior addition?



## BZA-23-5

### Variance and Special Exception Application

**Status:** Active

**Date Created:** Feb 13, 2023

#### Applicant

Christopher Catanzano  
cbcatanzano@gmail.com  
2404 Chestnut Road  
Vestavia Hills, AL 35216  
205-230-1190

#### Primary Location

2404 CHESTNUT RD  
VESTAVIA HILLS, AL 35216

#### Agenda Information

##### Agenda Scheduling

March 2023

#### Applicant Information

##### I am filling this out as the

Owner

#### Billing/Responsible Party

##### Name

Christopher Catanzano

##### Phone #

205-230-1190

##### Address

2404 Chestnut Road

##### City/State/Zip

Vestavia Hills, AL 35216

##### Email

cbcatanzano@gmail.com

#### Subject Property Information

**Subject Property Address**

2404 Chestnut Road

**Legal Description of Subject Property**

Vestavia Hills 6th Addition, Lot 6

**REASONS FOR REQUEST**

**Front Setback Variance**

**Setback Requested**

53'

**Setback Required**

30'

**Setback Required**

60'

**Rear Setback Variance**

**Setback Requested**

29'

**ZONING**

**Vestavia Hills Zoning for the subject property is**

R-1

**PROJECT**

**Describe the scope of the project and/or the reason for requesting this variance.**

We are looking to make improvements to our home, in particularly for accommodations for our family over the years to come. The reason for the request is due to the setbacks resulting from the curve in the road, the mid-lot corner and along with current and future considerations for septic requirements.

**HARDSHIP**

**Please answer the following questions regarding hardship and briefly summarize and describe those things which you feel justify the action requested in the box below. An Undue Hardship is required in order to seek a variance. List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. (Use additional space on separate page if necessary).**

The lot has exceptional conditions in which this piece of property has odd-shaped property lines due to the curve in the road and the mid-lot corner

Before any variance is granted, the BZA must find that ALL of the following conditions exist. Please describe each of the following details in

order for the BZA to determine if these warrants the described hardship.

**1. There are extraordinary and exceptional conditions, which are peculiar to the piece of property in question because of its size, shape or topography, that are not applicable to the other lands or structures in the same district. Please explain:**

The curve in the road and the mid lot corner creates an odd-shaped lot that is not seen on other properties in the vicinity map. The radius of the road reaches its most outer edge at this corner.

**2. Granting the variance requested will not confer upon the applicant any special privileges that are denied to other owners of property in the District in which the property is located. Please explain:**

No. This variance is being requested based on a non-conforming lot due to abnormal perimeter dimensions.

**3. All literal interpretations of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by others of property in the district in which the property is located. Please explain:**

No. This request is solely intended for the use of this property in regard to the extraordinary and exceptional conditions stated above.

**4. The requested variance will be in harmony with the purpose and intent of this Ordinance and will not be injurious to the neighborhood or to the general welfare. Please explain:**

Yes. This request is solely intended for the use of this property in regards to the extraordinary and exceptional conditions stated above. The intent of this variance is not to be injurious to the neighborhood, but to improve the structure value while improving and adding value to the neighborhood as well.

**5. The special circumstances are not the intended result of the actions of the applicant (i.e., self-imposed hardship). Please explain:**

No. The property does not offer any other reasonable locations for the proposed improvements (including septic field lines requirements) within the current setback requirements.

**6. The variance requested is the minimum variance that will make possible the legal use of the land, building or structure. Please explain:**

No. The property does not offer any other reasonable locations for the proposed improvements (including septic field lines requirements) within the current setback requirements.

7. The no non-conforming use of neighboring lands, structures, or buildings in the same district, and no permitted or non-conforming use of lands, structures, or building in other districts shall be considered grounds for the issuance of a variance.

**8. That a variance will not allow the permanent establishment of a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.**

Yes, True.

NOTE: In proving that an unnecessary hardship has been imposed on the property as a result of the strict interpretation of this Ordinance, the following conditions cannot be considered pertinent to the determination of whether or not an unnecessary hardship exists: (1) proof that a variance would increase the financial return from land; or (2) personal or economic hardship; or (3) self-imposed hardship. In other words, hardship alone is not sufficient to permit a variance. It must be an "unnecessary hardship." Mere financial loss of a kind, which might be common to all of the property owners in a district, is not an "unnecessary hardship."

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## **OWNER AFFIDAVIT**

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. Simultaneously with the submittal of this application, I am hereby submitting a notarized affidavit signed by the owner of the property in the attachments section of this application. NOTE: Applications cannot be processed without the notarized owners affidavit. Owners authorization may be found on our main page.

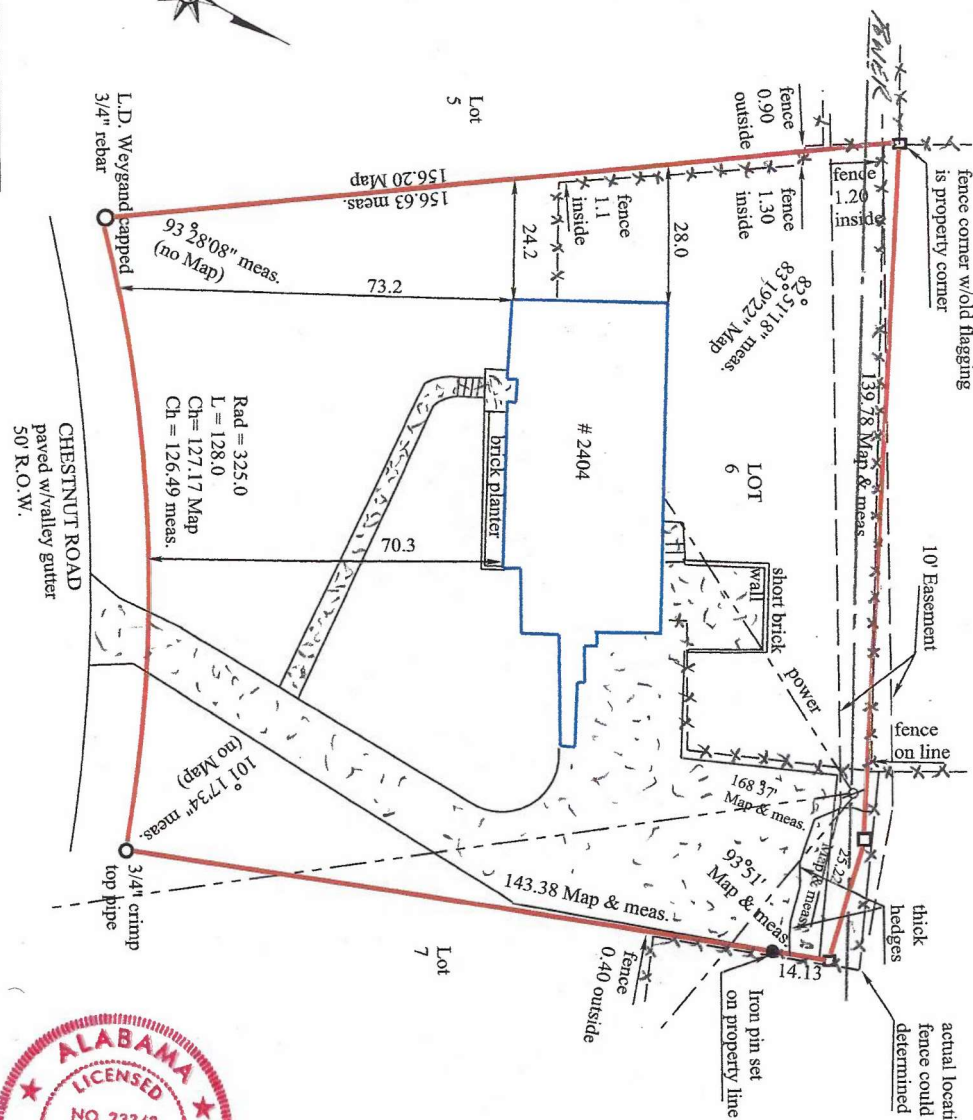
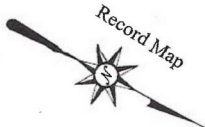
### **Owner Signature**

Christopher Catanzano  
02/13/2023

FILE NAME 2404 CHESTNUT RD - VESTAVIA.TRV		
SCALE 30 Ft/In	DATE 1-22-2022	DRAWN BY JWC
JOB FB 50/39	REVISION 1/1	SHEET 1/1

This map drawn with TRAVERSE PC, Software

SOURCES OF SURVEY:  
Map Book 37 page 1 &  
survey by John Gustin III 10/4/1978



- LEGEND
- map = record map
  - meas. = measured angle or distance
  - Field book = 50
  - Page = 39
  - (D) = Deed
  - R.O.W = Right of way
  - = calculated point
  - = Iron pin found
  - with dot = Iron pin set (1/2 rebar w/cap)
  - with cross = not to scale
  - ▨ = wood
  - ⊠ = power box
  - ⊗ = power pole
  - x—x— = concrete
  - x—x— = fence line
  - 1" = 30' = scale
  - CL = centerline
  - Y— = Guy Anchor
- Type of survey = As - Built / Property Boundary Survey

I Jerry W. Cockrell a Professional Land Surveyor in the State of Alabama do hereby certify that all parts of this survey and drawing have been completed in accordance with the current requirements of the practice for Surveying in the State of Alabama to the best of my knowledge, information and belief and that this a true and correct drawing of LOT 6, VESTAVIA HILLS SIXTH ADDITION as recorded in Map Book 37 page 1 in the Office of the Judge of Probate of Jefferson County Ala., there are no visible right of ways, easements or joint driveways over or across the property except as shown. There are no visible encroachments of electric or telephone lines (excluding those that serve the property), or structures, walls or fences, except as shown, according to my survey on January 12, 2022, Field work.

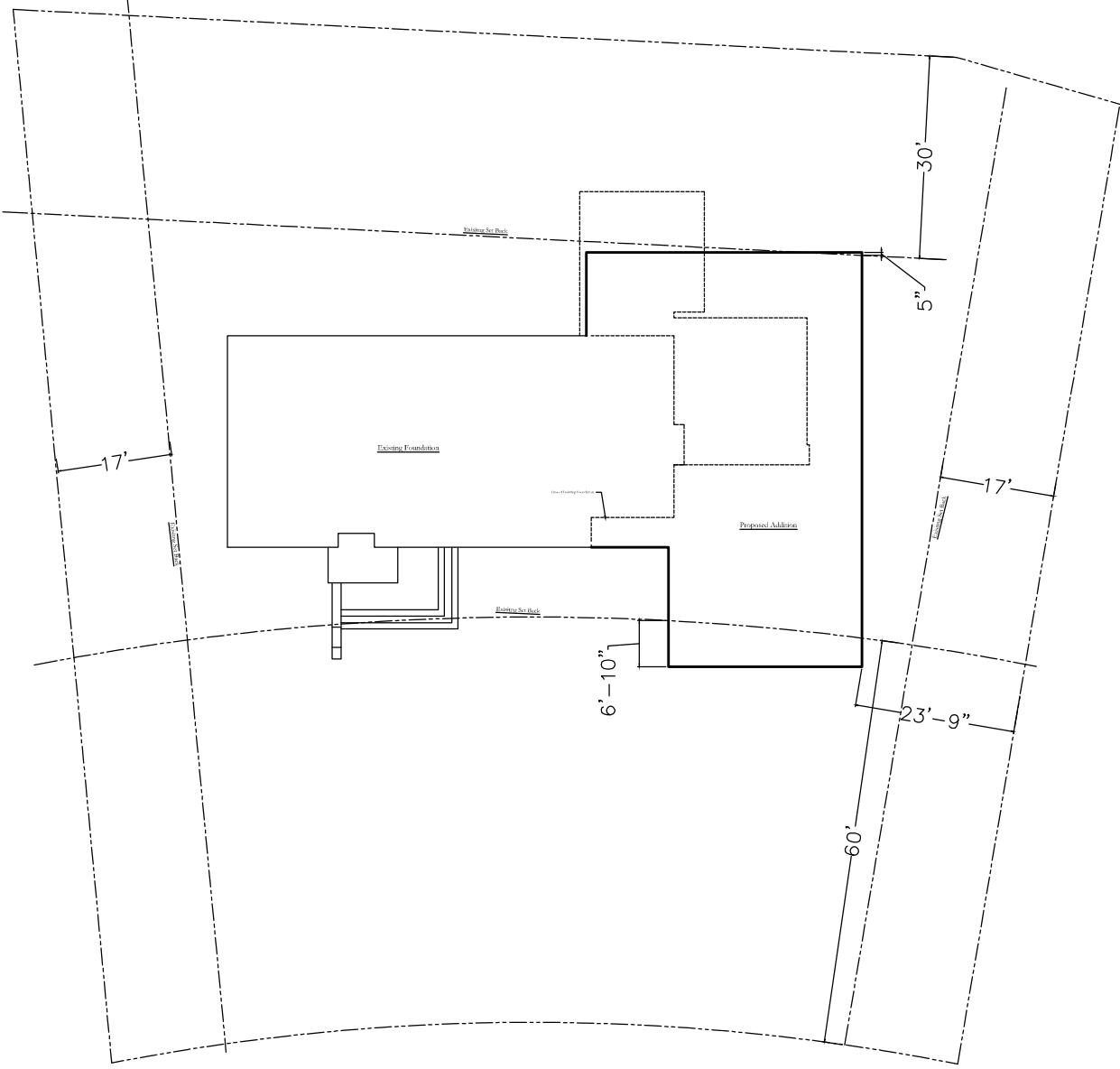
NOTE: This drawing is only valid for the date above

and is the property of CHRIS & KATE CATAZINO

*Jerry W. Cockrell*

Alabama Registration No. 23342 Cell Ph 205-515-2308  
Email [surveyor145@gmail.com](mailto:surveyor145@gmail.com)

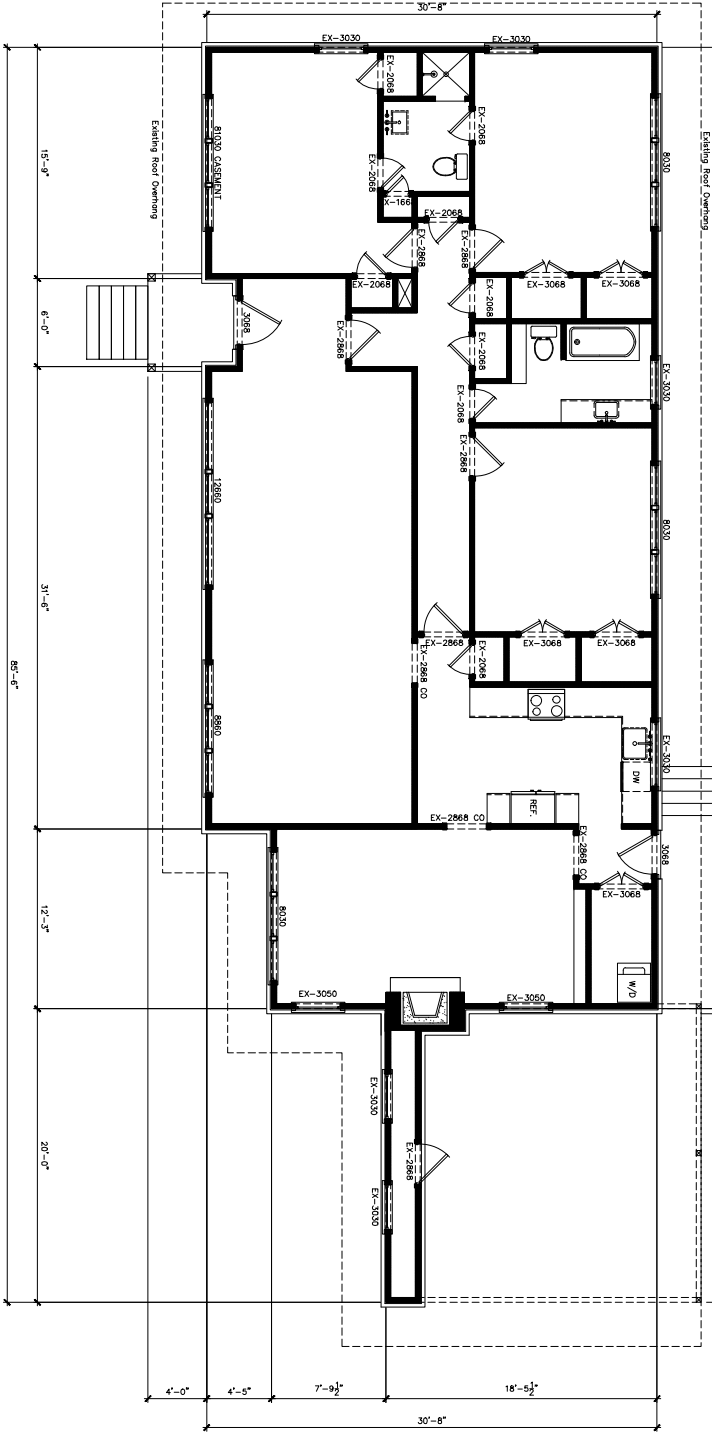
Jerry W. Cockrell  
190 Chase Creek Circle  
Pelham, Ala 35124



**READ THIS BEFORE CONSTRUCTION:**  
 THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND ALL DIMENSIONS AND CONDITIONS BEFORE START OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THAT THE EXISTING CONDITIONS AND ALL DIMENSIONS AND CONDITIONS ARE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND THE DESIGNER'S INTENT. IF ANY DISCREPANCIES OR OMISSIONS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGNER IN WRITING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

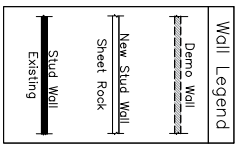
- NOTES:**
1. VERIFY ALL JOIST & CEILING CONDITIONS.
  2. VERIFY ALL EXISTING WALLS AND PARTITIONS.
  3. VERIFY ALL EXISTING FLOORING AND FINISHES.
  4. VERIFY ALL EXISTING ROOFING AND EXTERIOR WALLS.
  5. VERIFY ALL EXISTING MECHANICAL AND ELECTRICAL SYSTEMS.
  6. VERIFY ALL EXISTING PLUMBING AND SANITARY SYSTEMS.
  7. VERIFY ALL EXISTING INSULATION AND SOUND BARRIERS.
  8. VERIFY ALL EXISTING GLAZING AND WINDOW OPERATIONS.
  9. VERIFY ALL EXISTING DOOR AND WINDOW OPERATIONS.
  10. VERIFY ALL EXISTING STAIRS AND ELEVATOR SYSTEMS.
  11. VERIFY ALL EXISTING PAVING AND SITEWORK.
  12. VERIFY ALL EXISTING LANDSCAPE AND Hardscape.
  13. VERIFY ALL EXISTING SIGNAGE AND MARKINGS.
  14. VERIFY ALL EXISTING SECURITY SYSTEMS.
  15. VERIFY ALL EXISTING ACCESSIBILITY FEATURES.
  16. VERIFY ALL EXISTING ENERGY EFFICIENCY MEASURES.
  17. VERIFY ALL EXISTING SUSTAINABILITY FEATURES.
  18. VERIFY ALL EXISTING HISTORIC PRESERVATION FEATURES.
  19. VERIFY ALL EXISTING SPECIALTY FEATURES.
  20. VERIFY ALL EXISTING OTHER FEATURES.

**NOTE:**  
 CONTRACTOR/BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE START OF CONSTRUCTION. CONTRACTOR/BUILDER SHALL VERIFY THAT ALL DIMENSIONS AND CONDITIONS ARE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND THE DESIGNER'S INTENT. IF ANY DISCREPANCIES OR OMISSIONS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGNER IN WRITING.



1 Main Level - As-Built  
 A0.1 SCALE: 1/4" = 1'-0"

- General Framing Notes:**
1. Contractor to Verify and Note any Structural Changes.
  2. All Changes to be Noted on the Plan to be Continued on Windows or Doors, unless noted otherwise.
  3. Verify Existing Layout. Dimensions May Vary.



ARJ HOME CONSTRUCTION, LLC PROJECT MANAGER PROJECT DESIGN	
<b>PLANNING INFORMATION</b> Catanzano	
Chris and Katie Catanzano 2404 Chesnut Road Vestavia Hills, Alabama	
Date:	1/2/21
Issue:	Construction Set
Date:	02/01/23
Revision:	
Date:	
Revision:	
Date:	
Revision:	

<b>SHEET INDEX</b>	
A0.1	Main Level - As-Built
A0.2	Demo Plan Phase 1
A0.3	Demo Plan Phase 2
A1.1	Foundation Plan
A1.2	Footings Plan
A2.1	1st Floor Framing Plan
A2.2	2nd Floor Framing Plan
A3.1	Roof Plan
A3.2	Roof Trusses Plan
A3.3	Roof Deck Plan
A4.1	Foundation Details
A4.2	1st Floor Sections
A4.3	2nd Floor Sections
A4.4	Roofing Details
A4.5	Lighting Plan

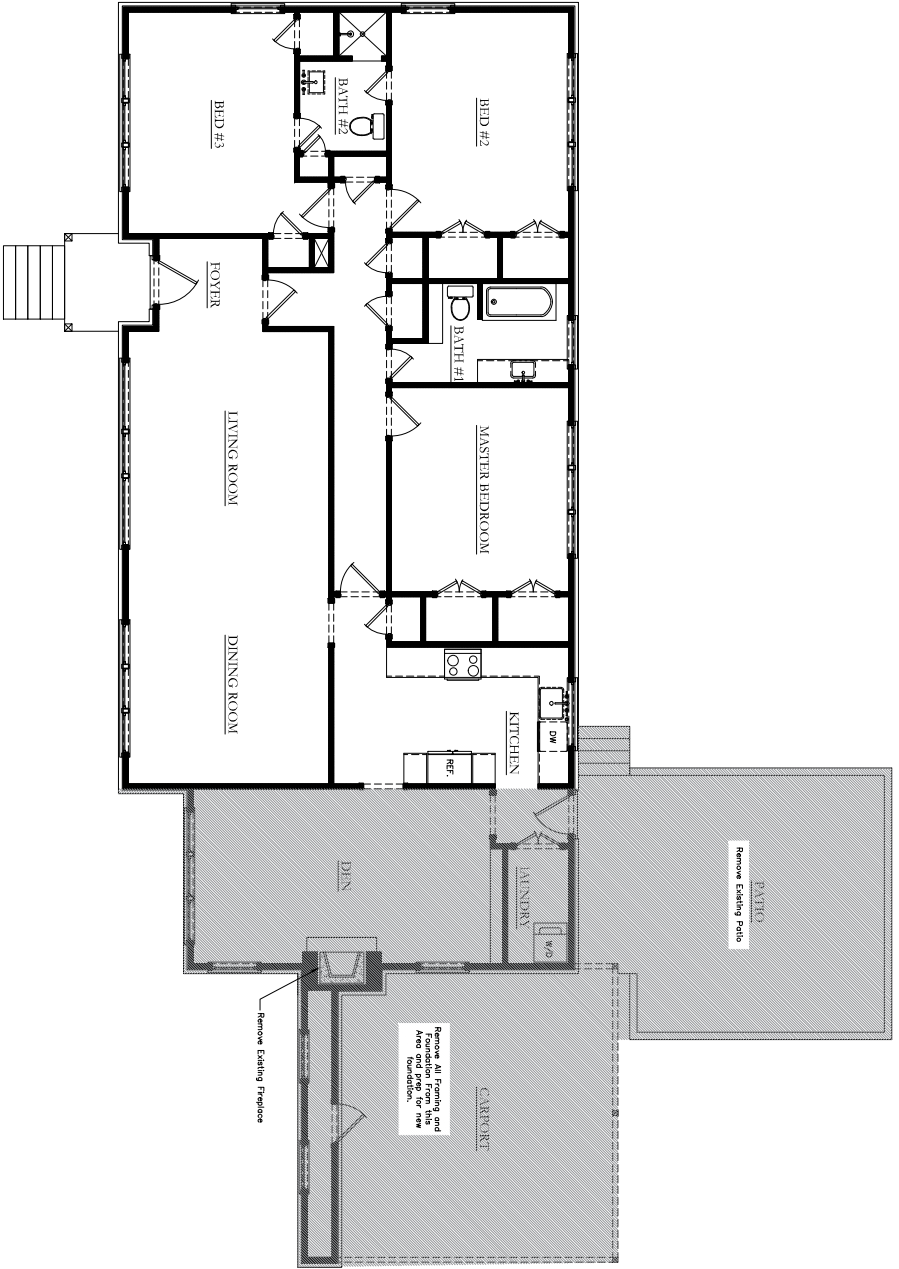
SHEET NUMBER  
 A0.1



**General Framing Notes:**

1. Contractor to Verify and Note any Structural Changes.
2. All Demolitions are to Inside Face of Stud or Rotted otherwise.
3. Verify Existing layout. Dimensions May Vary.

Wall Legend	
	Demo Wall
	New Stud Wall
	Sheet Rock
	Stud Wall Existing



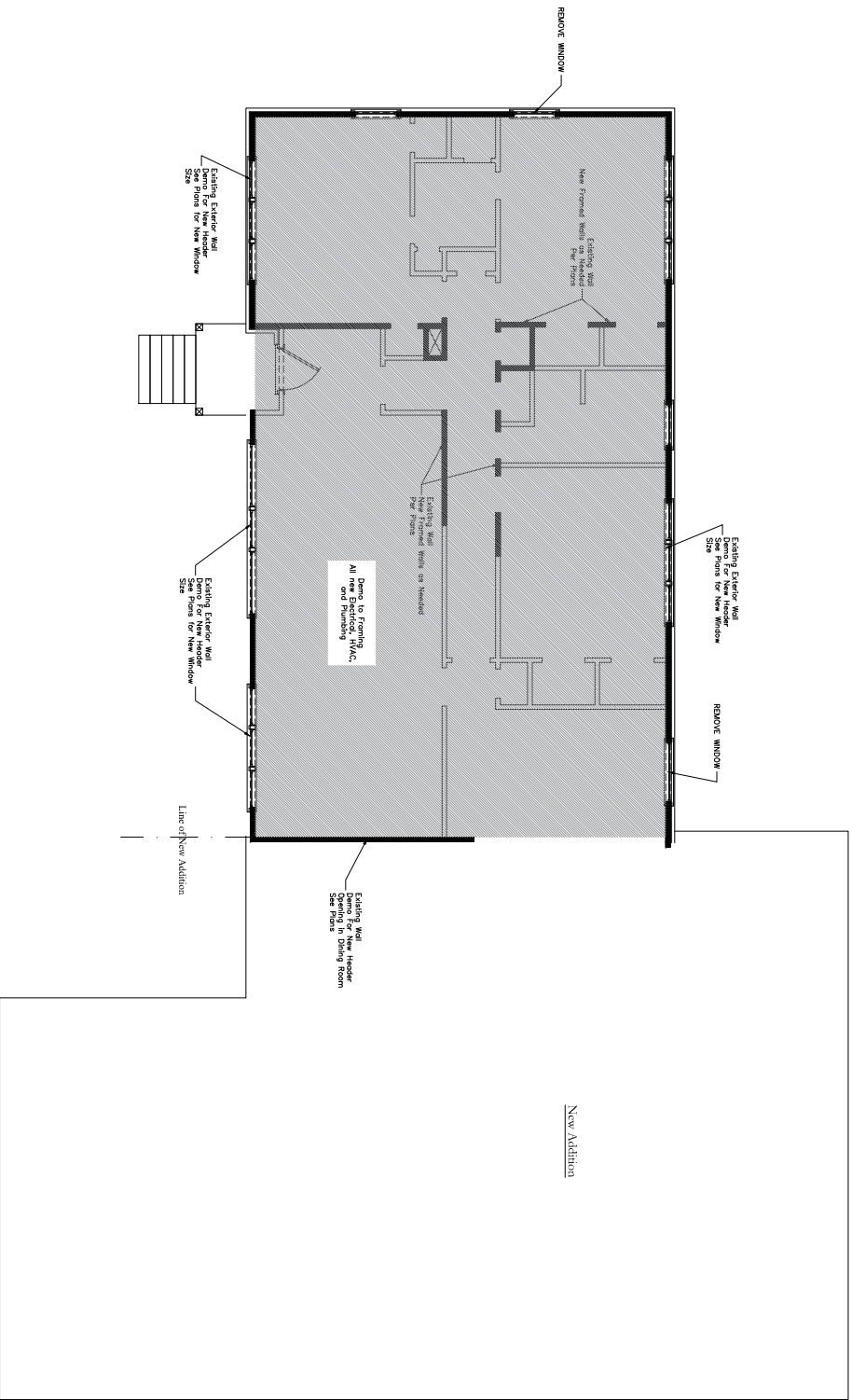
**1** Phase 1—Demolition Plan  
**A0.2** SCALE: 1/4" = 1'-0"

ARJ HOME CONSTRUCTION, LLC PLANNING & CONTRACTING SERVICES PROJECT ADDRESS	
PLANNING INFORMATION	
Caranzano	
Chris and Katie Caranzano 2404 Chestnut Road Vestavia Hills, Alabama	
Date	1/25/23
Drawn By	Revise No
Checked By	Revise No
Date	02/01/23
Construction Set	
Date	
Revisions	
x	
x	
S H E E T I N D E X	
A0.1	As-Built
A0.2	Demolition Plan Phase 1
A0.3	Demolition Plan Phase 2
A0.4	Foundation Plan
A0.5	Foundation Plan
A0.6	Foundation Plan
A0.7	Foundation Plan
A0.8	Foundation Plan
A0.9	Foundation Plan
A0.10	Foundation Plan
A0.11	Foundation Plan
A0.12	Foundation Plan
A0.13	Foundation Plan
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A0.94	Foundation Plan
A0.95	Foundation Plan
A0.96	Foundation Plan
A0.97	Foundation Plan
A0.98	Foundation Plan
A0.99	Foundation Plan
A0.100	Foundation Plan
S H E E T N U M B E R	
Demolition Plan	
<b>A0.2</b>	

**General Framing Notes:**

1. Contractor to Verify and Note any Structural Changes.
2. All dimensions are to inside face of stud or to centerline of windows or doors, unless noted otherwise.
3. Verify Existing layout. Dimensions May Vary.

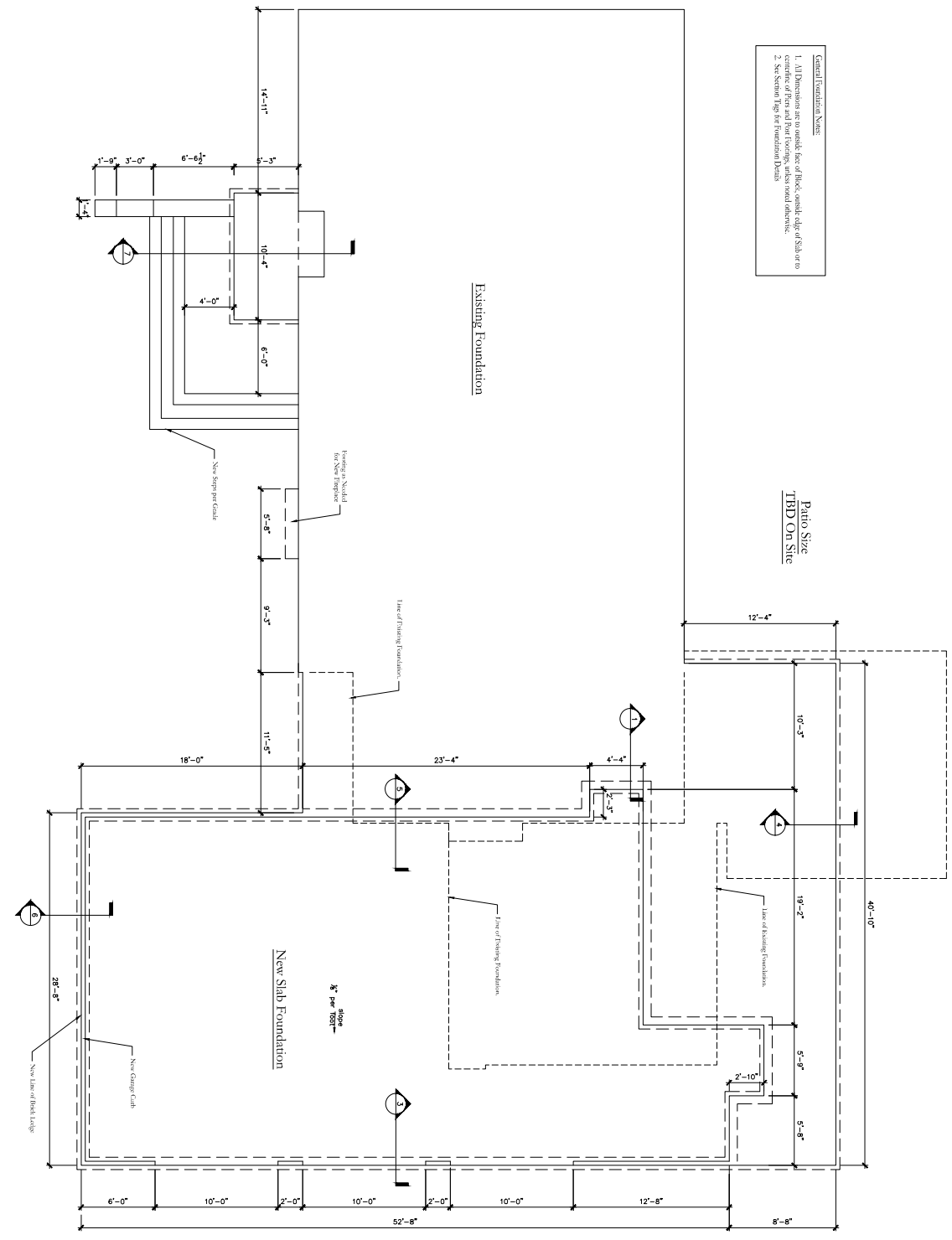
Wall Legend	
	Demo Wall
	New Stud Wall
	Sheet Rock
	Stud Wall Existing



**1** Phase 2 - Demolition Plan  
A0.3 SCALE: 1/4" = 1'-0"

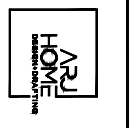
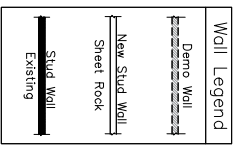
ARJ HOME DESIGN, LLC PLANNING & ARCHITECTURE PROJECT ADDRESS CANTAZZO	
Chris and Karin Cantazzo 2404 Chestnut Road Vestavia Hills, Alabama	
Date	1/27/23
Rev	1
Date	02/01/23
Rev	2
Date	
Rev	
Date	
Rev	
Date	
Rev	
<b>S H E E T I N D E X</b>	
A0.1 Additions A0.2 Demo Plan Phase 1 A0.3 Demo Plan Phase 2 A1.1 Foundation Plan A2.1 Upper Level Plan A2.2 Lower Level Plan A3.1 Elevation A3.2 Foundation Details A3.3 Live Sections A3.4 Lighting Plan	
<b>S H E E T N U M B E R</b> Demolition Plan <b>A0.3</b>	

General Foundation Notes  
 1. All Dimensions are to outside face of blocks, except edge of Slab or on  
 2. Sectioned Tags for Foundation Details



1 Foundation Plan  
 SCALE: 1/4" = 1'-0"

General Framing Notes:  
 1. Contractor to Verify and Note any Structural  
 2. All Dimensions are to inside face of stud or  
 3. Field Verify Existing layout. Dimensions May Vary



ARJ HOME DESIGN SOLUTIONS, LLC  
 2145 N. GUYTONS AVENUE  
 FLORENCE, ALABAMA 36833  
 PHONE: 256.768.8288

CLIENT INFORMATION  
 Carrazzo  
 Chris and Katie Carrazzo  
 2414 Chestnut Road  
 Vestavia Hills, Alabama

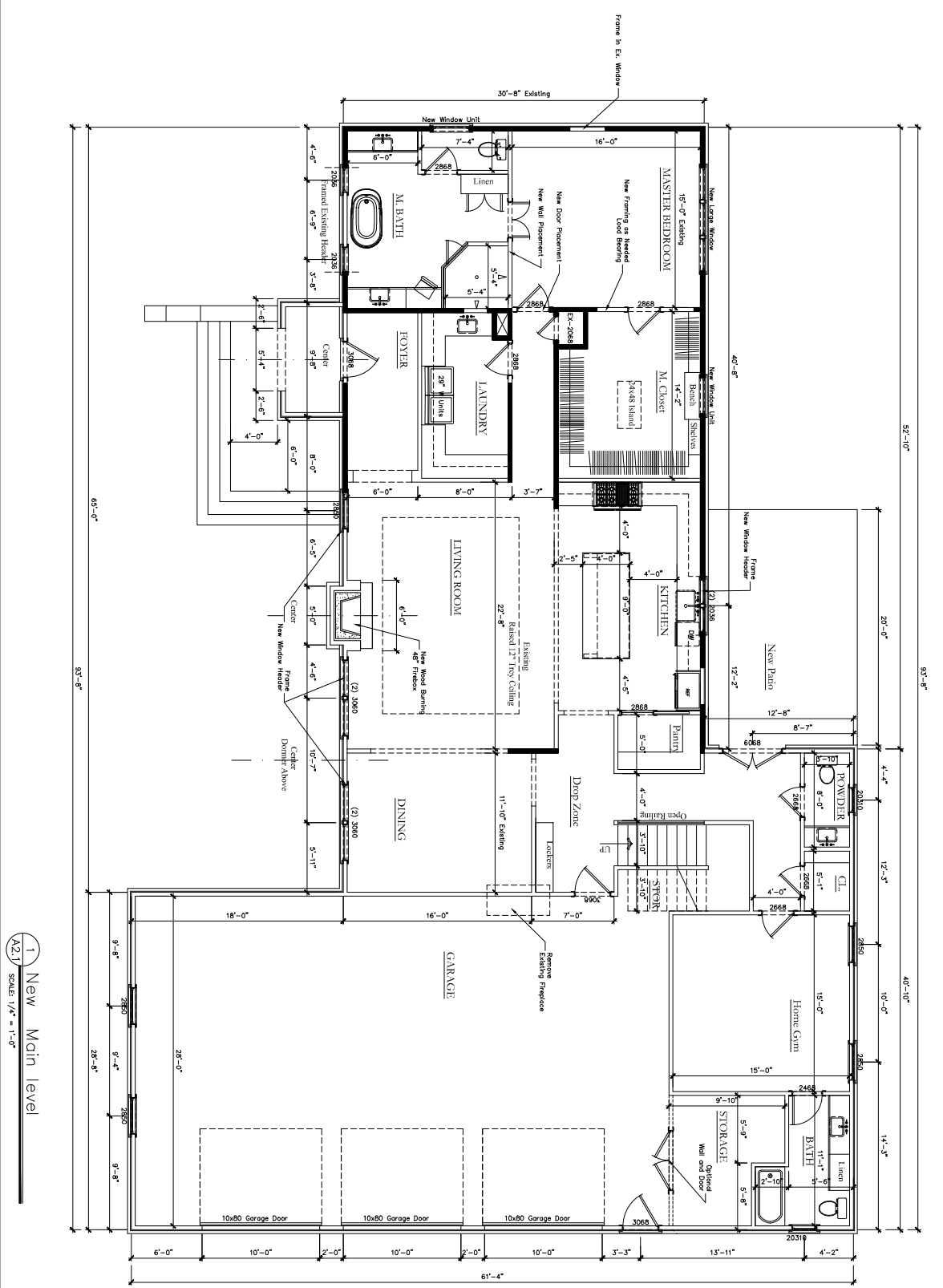
DATE  
 01/30/23  
 02/01/23  
 Description: Review Set  
 Bid Set  
 Construction Set

DATE REVISIONS  
 X  
 X  
 X

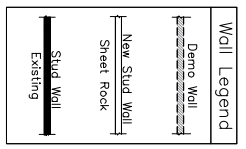
SHEET INDEX

A1.1	As Shown
A1.2	Demolition Phase 1
A1.3	Demolition Phase 2
A1.11	Foundation
A2.1	Main Level Plan
A2.2	Upper Level Plan
A3.1	Foundation
A3.2	Foundation Details
A3.3	Foundation Details
E1.1	Lighting Plan

SHEET NUMBER  
 Foundation Plan  
 A1.1



- General Framing Notes:**
1. Contractor to Verify and Note any Structural Changes.
  2. All Dimensions are to inside face of stud or to centerline of windows or doors, unless noted otherwise.
  3. Verify Existing layout. Dimensions May Vary.



AR21 HOME CONSTRUCTION, LLC  
 PLANNING, ARCHITECTURE, INTERIORS  
 1000 W. UNIVERSITY BLVD.  
 SUITE 100  
 HOUSTON, TEXAS 77005

**PLANNING/INFORMATION**  
 CARIBBEANO

Chris and Kaitie Caribbeano  
 2404 Chestnut Road  
 Vestavia Hills, Alabama

Date	Description
01/20/23	Revised Set
x	Bid Set
02/01/23	Construction Set

Date	Revisions
02/05/23	update
x	

**S H E E T I N D E X**

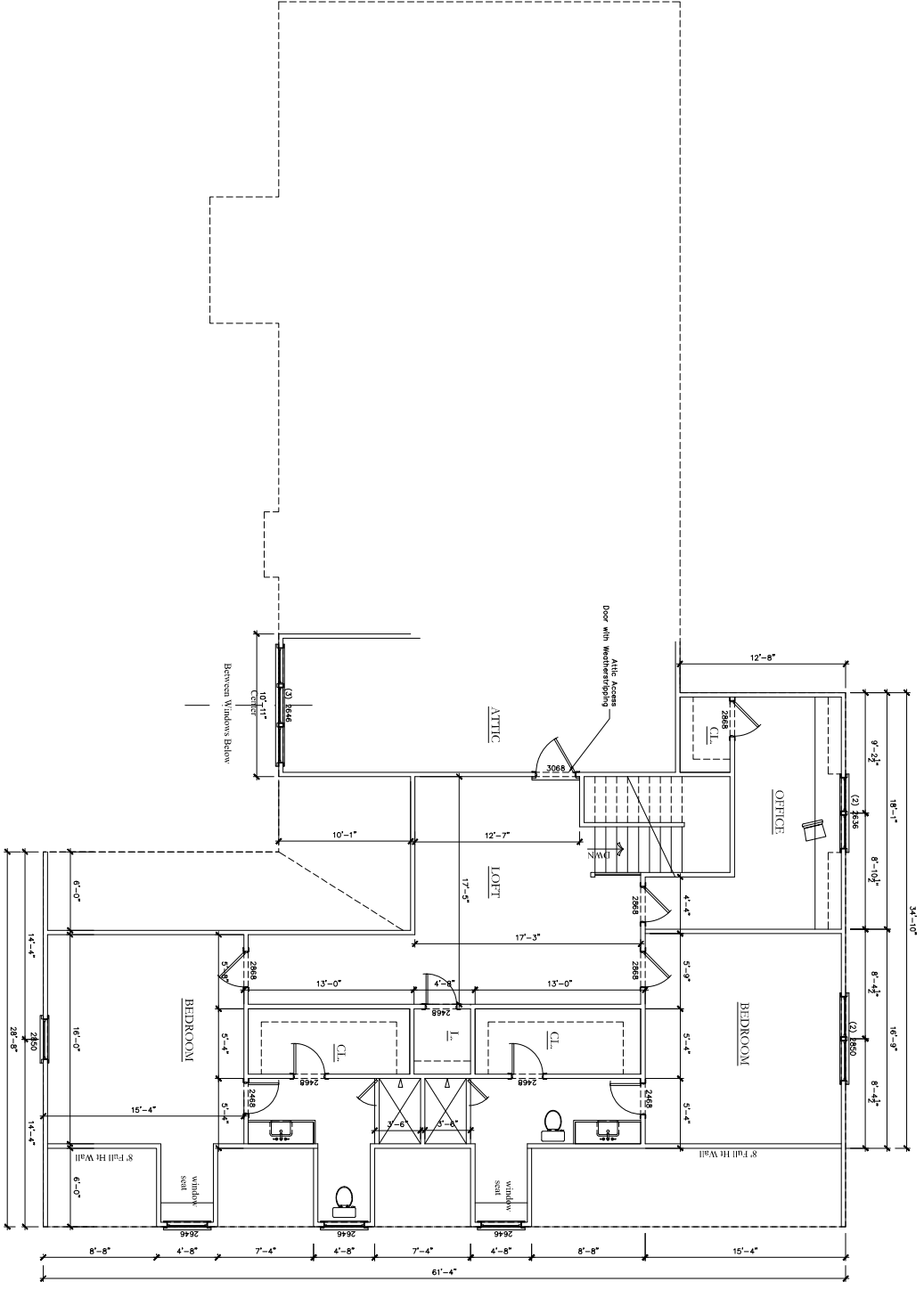
M01	As Noted
M02	Demolition Plan Phase 1
M03	Demolition Plan Phase 2
A01	Foundation Details
A02	Foundation Details
A03	Foundation Details
A04	Foundation Details
A05	Foundation Details
A06	Foundation Details
A07	Foundation Details
A08	Foundation Details
A09	Foundation Details
A10	Foundation Details
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A12	Foundation Details
A13	Foundation Details
A14	Foundation Details
A15	Foundation Details
A16	Foundation Details
A17	Foundation Details
A18	Foundation Details
A19	Foundation Details
A20	Foundation Details
A21	Foundation Details

**SHEET NUMBER**  
 Main Level Plan  
**A2.1**

**General Framing Notes:**

1. Contractor to Verify and Note any Structural Changes.
2. Dimensions are to inside face of stud or to centerline of windows or doors, unless noted otherwise.
3. Verify Existing layout. Dimensions May Vary.

Wall Legend	
	Demo Wall
	New Stud Wall
	Sheet Rock
	Stud Wall Existing



**1** Upper Level Plan  
SCALE: 1/4" = 1'-0"



ARJ HOME DESIGN, LLC  
PLANNING/CONTRACT ADMIN/WORKS  
PHONE: 205.235.5555

**PLAN INFORMATION**

Chris and Katie Carrazzino 2960 Chesnut Road Vestavia Hills, Alabama	Client
Chris and Katie Carrazzino 2960 Chesnut Road Vestavia Hills, Alabama	Architect
02/07/23	Construction Set

Date	Revisions
02/07/23	update
x	x

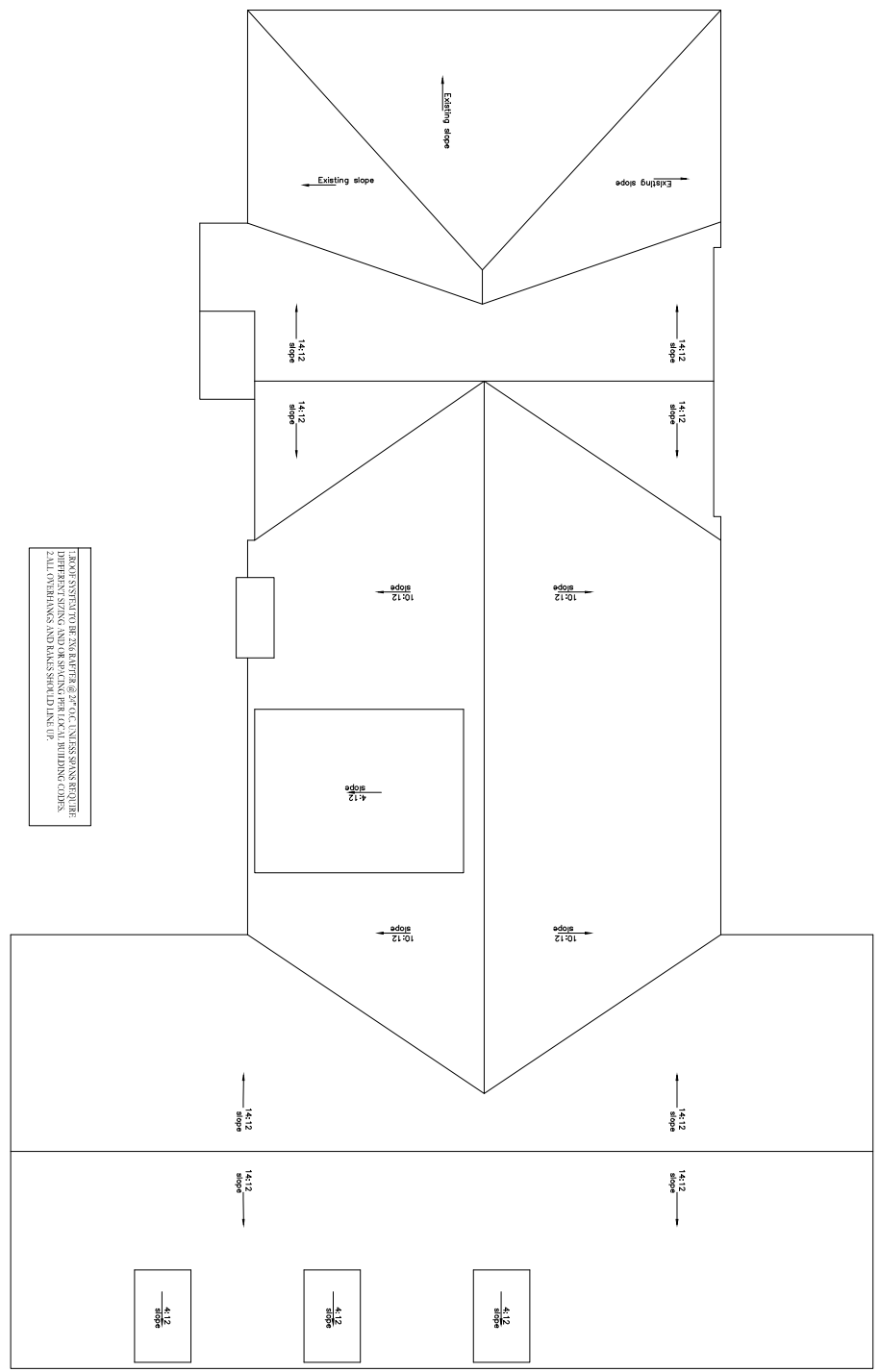
**SHEET INDEX**

A01	As-Built
A02	Demo Plan Phase 1
A03	Demo Plan Phase 2
A11	Foundation
A12	Foundation Details
A22	Upper Level Plan
A23	Basement Plan
A31	Roof Plan
A32	Roof Details
A41	Foundation Details
A42	Foundation Details
A43	Foundation Details
A44	Lighting Plan

**SHEET NUMBER**  
Upper Level Plan  
**A2.2**

- General Framing Notes:**
1. Contractor to Verify and Note any Structural Changes.
  2. All dimensions are to inside face of stud or to centerline of windows or doors, unless noted otherwise.
  3. Verify Existing layout. Dimensions May Vary.

Wall Legend	
	Demo Wall
	New Stud Wall
	Sheet Rock
	Stud Wall Existing

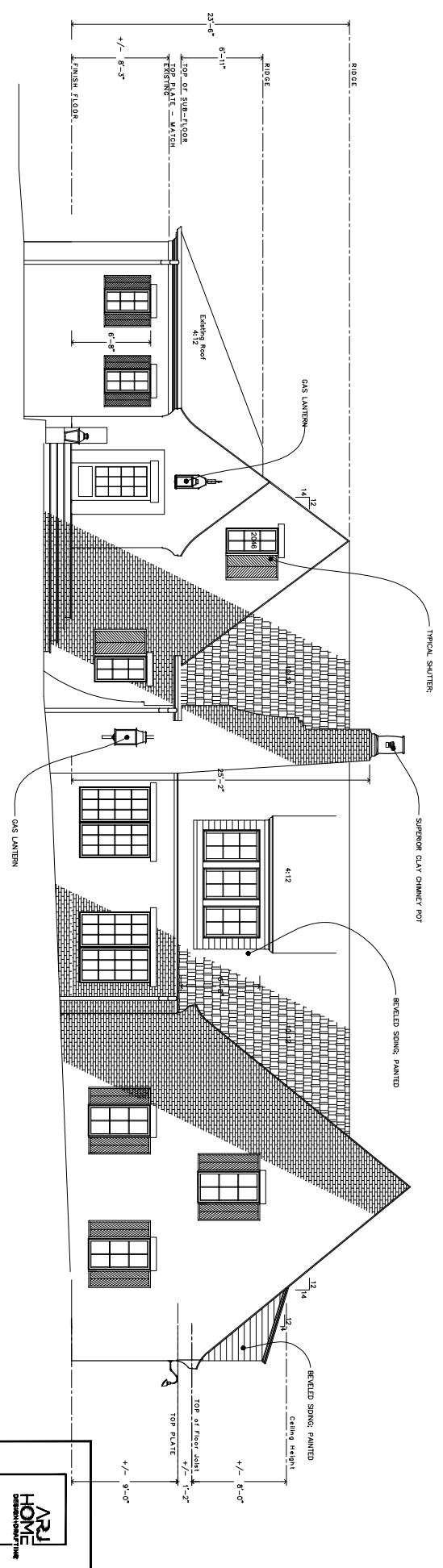


1. ROOF FINISH TO BE MAINTAIN 8" OR FLAT UNLESS SPANS EXISTING DIFFERENT SPANS AND/OR SPAN PERIODIC BUILDING CODES. 2. ALL DIMENSIONS AND MASS SHALL BE AS SHOWN.

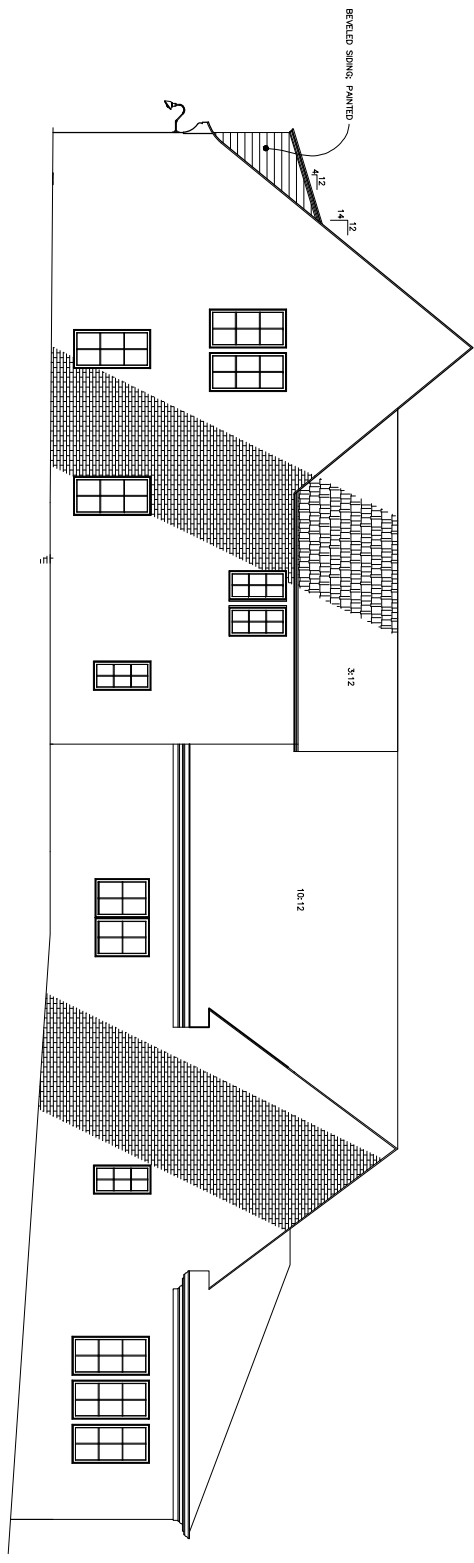
**1** Roof Plan  
 SCALE: 1/4" = 1'-0"

ARJ HOME CONSTRUCTION, LLC PLANNING / PROJECT MANAGER PROJECT MANAGER	
<b>PLAN INFORMATION</b>	
Client	Chris and Katie Cazanaro
Address	2404 Chestnut Road Vestavia Hills, Alabama
Date	02/01/23
Drawn By	BDL/ST
Checked By	Construction Set
Date	
Revisions	
<b>REFERENCE</b>	
1	Architectural
2	Demolition Plan Phase 1
3	Demolition Plan Phase 2
4	Foundation Plan
5	Foundation Plan
6	Foundation Plan
7	Foundation Plan
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99	Foundation Plan
100	Foundation Plan

Sheet Number  
 Rev: 0  
**A2.3**



1 Front Exterior  
 A3.1  
 Scale 1/4" = 1'-0"



4 Back Exterior  
 A3.1  
 Scale 3/16" = 1'-0"

ARJ HOME DESIGN, LLC PLANNING CONTACT: DAN LUYKENS PHONE: 205.245.5535	
<b>PLAN INFORMATION</b>	
Carriazo	
Chris and Katie Carriazo 2904 Chesnut Road Vestavia Hills, Alabama	
Date:	10/20/23
Drawn By:	RLN/SJ
Checked By:	RLN/SJ
Date:	10/20/23
Drawn By:	RLN/SJ
Checked By:	RLN/SJ
Date:	10/20/23
Drawn By:	RLN/SJ
Checked By:	RLN/SJ
<b>SHEET INDEX</b>	
A01	As-Built
A02	Demolition Plan Phase 1
A03	Demolition Plan Phase 2
A11	Foundation Details
A12	Foundation Details
A22	Roof Plan
A23	Roof Plan
A31	Exterior
A32	Exterior
A33	Foundation Details
A34	Foundation Details
A35	Foundation Details
A36	Foundation Details
A37	Foundation Details
A38	Foundation Details
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A40	Foundation Details
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A98	Foundation Details
A99	Foundation Details
A100	Foundation Details



AR21 HOME CONSTRUCTION, LLC  
 PLANNING, ARCHITECTURE, ENGINEERING  
 AND CONSTRUCTION

**PLANNING INFORMATION**

**CAIRNZANO**

Chris and Katie Cairnzano  
 2404 Chestnut Road  
 Vestavia Hills, Alabama

Date	Description
01/20/23	Request Set
x	Bid Set
02/01/23	Construction Set

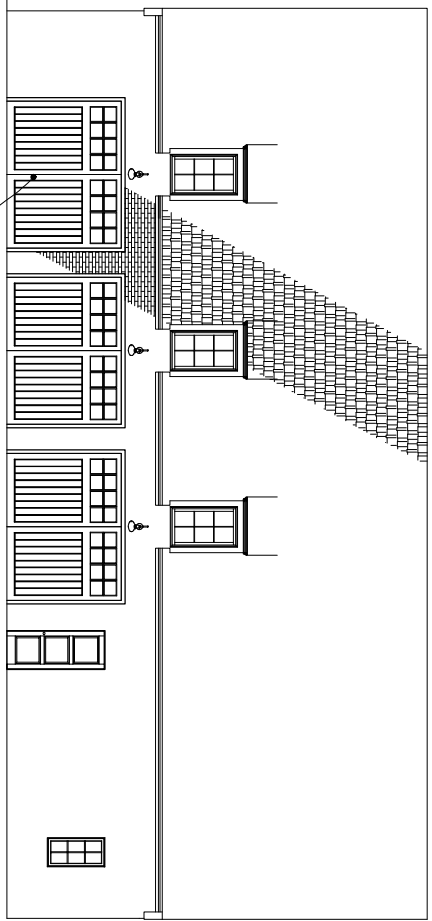
Date	Revisions
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x	x

**S H E E T I N D E X**

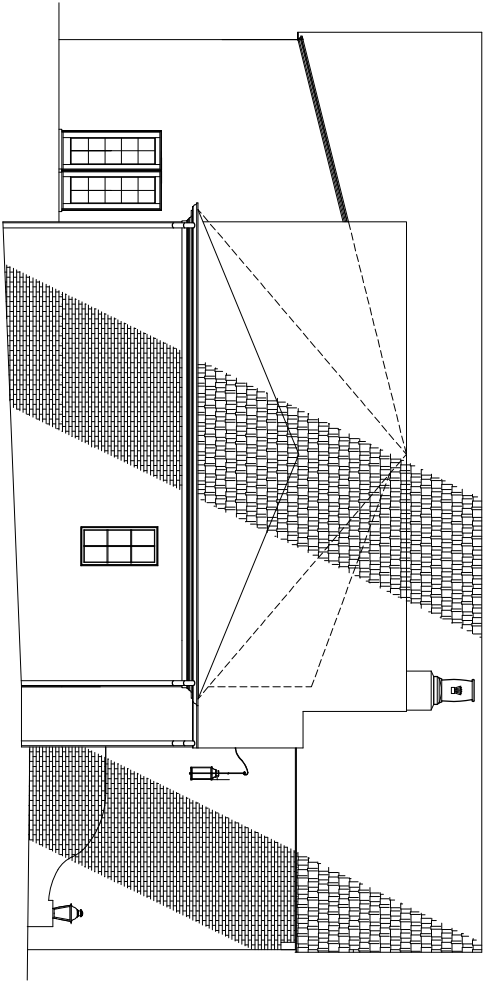
M01	As Built
M02	Detail Plan Phase 1
M03	Detail Plan Phase 2
A1	Foundation Details
A21	Main Level Plan
A22	Upper Level Plan
A23	Roof Plan
A3	Exterior
A3.1	Foundation Details
A3.2	Exterior
A3.3	Lighting Plan

SHEET NUMBER  
 Exterior

A3.2



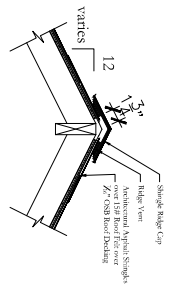
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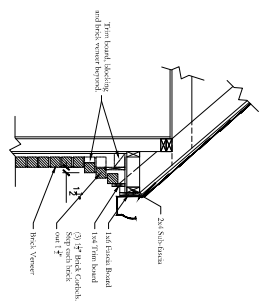
2 Left Side Exterior  
 Scale 1/4" = 1'-0"



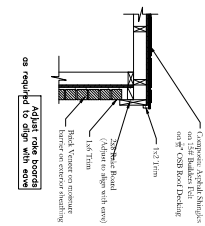




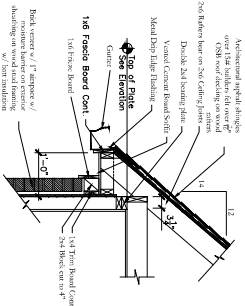
1 Ridge Vent Detail  
1-1/2" = 1'-0"



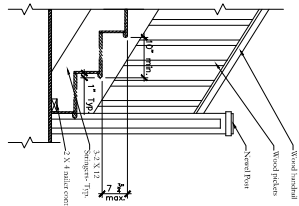
2 Typical Corbel Detail  
1-1/2" = 1'-0"



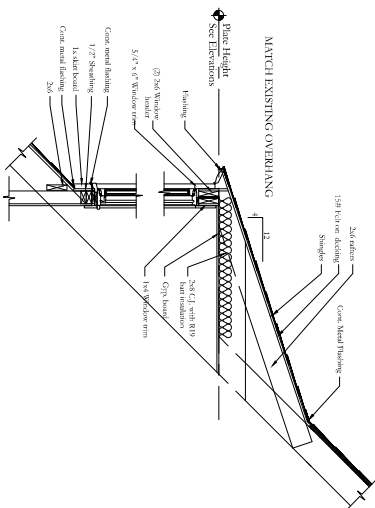
3 Rake Detail  
3/4" = 1'-0"



4 Eave Detail  
3/4" = 1'-0"



5 Typ. Stair Detail as Needed  
3/4" = 1'-0"



6 Dormer Window Section  
3/4" = 1'-0"

<b>ARJ HOME</b> DESIGN-BUILDERS	
ARJ HOME DESIGN-BUILDERS, LLC PLANNING, P.C. (AN ALABAMA LIMITED LIABILITY COMPANY)	
PLANNING INFORMATION	
CARRIZANO	
Chris and Kacie Carrizano 2404 Chesnut Road Vestavia Hills, Alabama	
Last Specific Plans	
Date	Description
11/20/23	Revised Set
x	Bid Set
12/01/23	Construction Set
Date	
Date	Revisions
x	x
x	x
S H E E T I N D E X	
M01	As Built
M02	Dormer Plan Phase 1
M03	Dormer Plan Phase 2
A10	Foundation Details
A21	Main Level Plan
A22	Upper Level Plan
A23	Roof Plan
A24	Roof Ribs
A25	Interior
A26	Exterior
A41	Foundation Details
A51	Large Sections
F11	Lifting Plan
S H E E T N U M B E R DETAILS A5.1	





JEFFERSON COUNTY DEPARTMENT OF HEALTH  
ENVIRONMENTAL HEALTH SERVICES  
COMMUNITY ENVIRONMENTAL PROTECTION

PERMIT TO REPAIR ON-SITE SEWAGE DISPOSAL SYSTEM

Repair No.: AR-08-126 Date: 9-18-08

Assigned to: STRONG Installer: RUFF S.T.

Subdivision: \_\_\_\_\_ Sector: \_\_\_\_\_ Addition: \_\_\_\_\_ Lot: \_\_\_\_\_ Block: \_\_\_\_\_

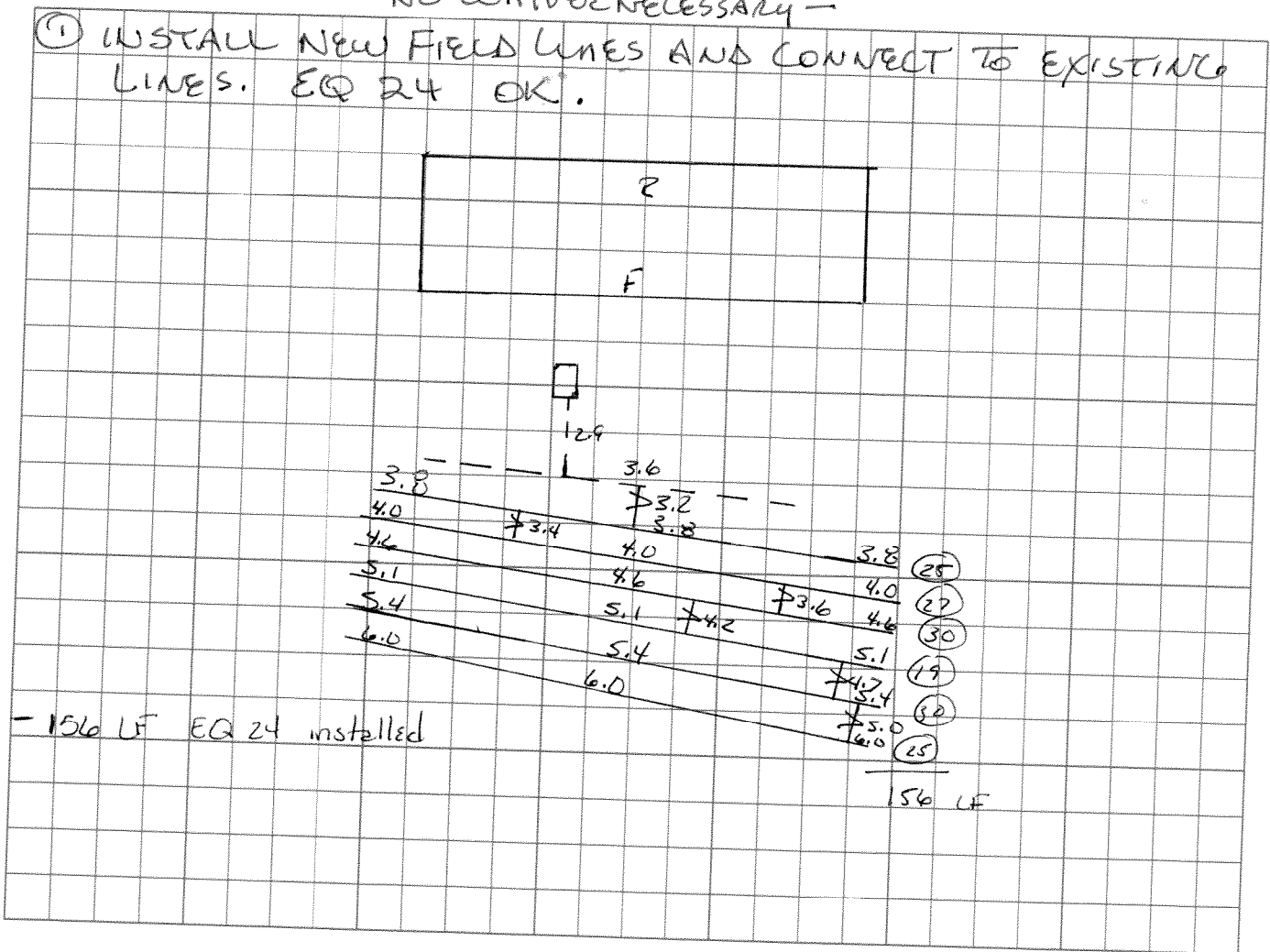
Address or Location: 2404 CHESTNUT RD VESTAVIA HILLS 35216

Owner: PENDER

Repairs are to be made and inspected in accordance with the rules and regulations of the Jefferson County Department of Health.

- NO WAIVER NECESSARY -

① INSTALL NEW FIELD LINES AND CONNECT TO EXISTING LINES. EQ 24 OK.



Sketch of Lot, Existing House, Septic Tank, Field Lines and Proposed Repairs.

Permit No: 42918 Date Approved: 9-19-08 Inspected By: T.A. (T. FRAZER)



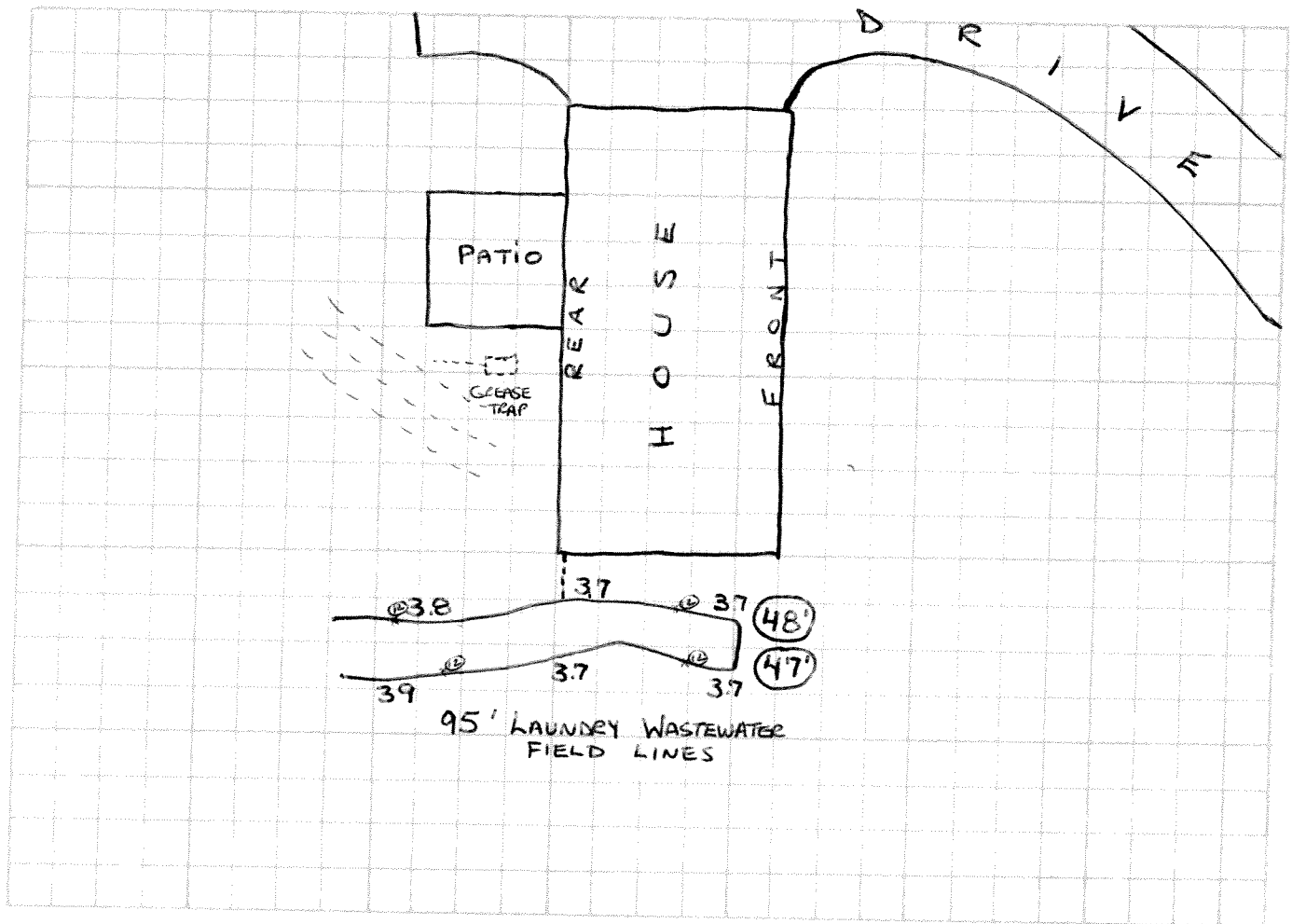
JEFFERSON COUNTY DEPARTMENT OF HEALTH  
BUREAU OF ENVIRONMENTAL HEALTH  
ENGINEERING DIVISION

*Handwritten initials*

PERMIT TO REPAIR ON-SITE DISPOSAL SYSTEM

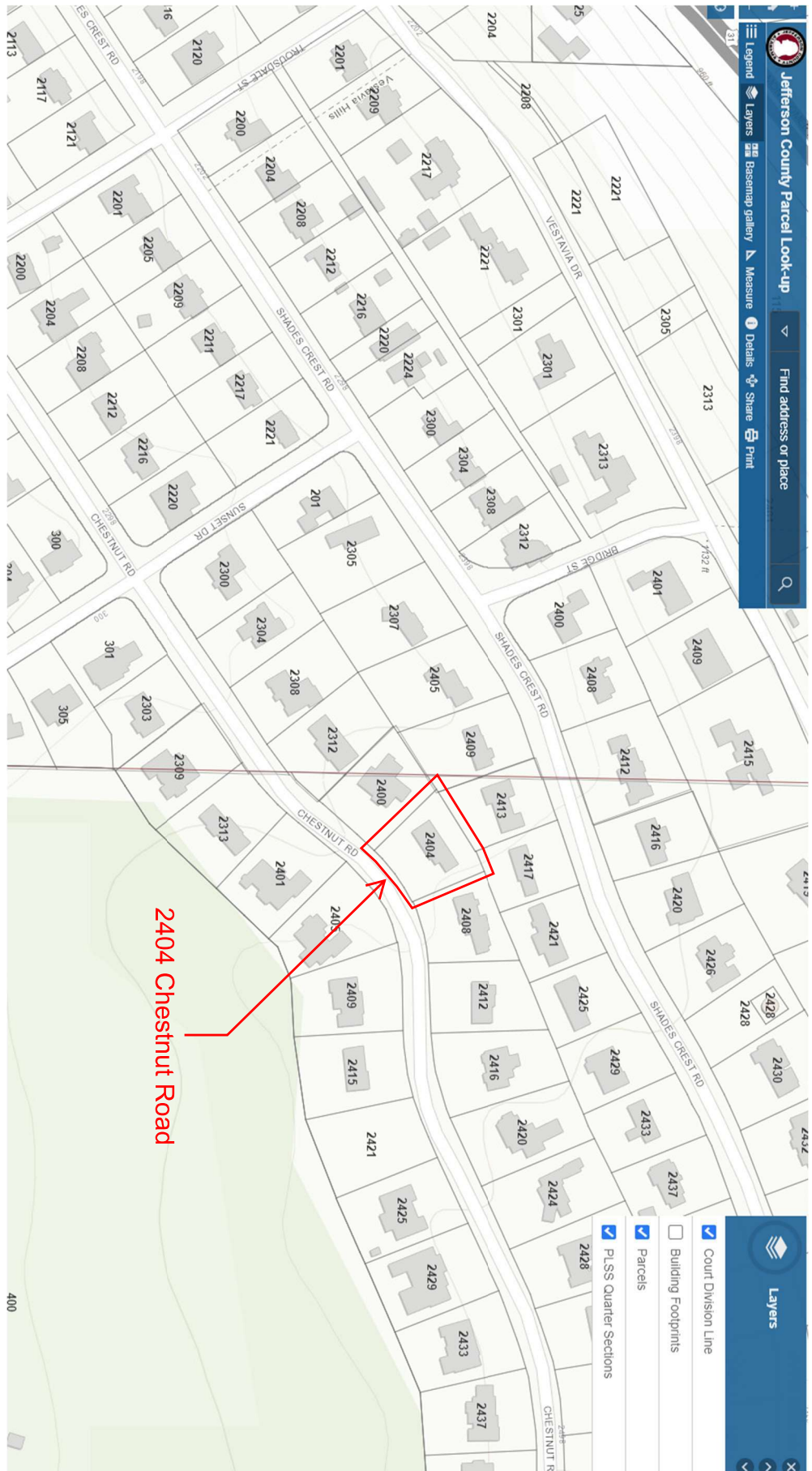
Work Ticket No.: AR-83-334 Date: DECEMBER 28, 1983  
Assigned To: LEE HENDRIX Installer: MIKE CARTER SEPTIC TANK  
Subdivision: \_\_\_\_\_ Sector: \_\_\_\_\_ Addition: \_\_\_\_\_ Lot: \_\_\_\_\_ Block: \_\_\_\_\_  
Address or Location: 2404 CHESTNUT ROAD VESTAVIA HILLS  
Owner: THOMAS L. PENDER

Repairs are to be made and inspected in accordance with the rules and regulations of the Jefferson County Department of Health.



Sketch of Lot, Existing House, Septic Tank, Field Lines and Proposed Repairs.

Permit No.: 5791 Date Approved: DEC. 28, 1983 Inspected By: A. Lee Hendrix, Jr.



**IV. ZONING**

Vestavia Hills Zoning for the subject property is R1.

**V. HARDSHIP**

**Describe those things which you feel justify the action requested. An Undue Hardship is required in order to seek a variance.** List, when necessary, the specific sections of the City Code(s) which have a bearing on your request. *(Use additional space on separate page if necessary).*

The lot has exceptional conditions in which this piece of property has odd-shaped property lines due to the curve in the road and the mid-lot corner.

**VI. PROJECT:**

**Describe the scope of the project and/or the reason for requesting this variance.**

We are looking to make improvements to our home, in particular for accommodations for our family over the years to come. The reason for the request is due to the setbacks resulting from the curve in the road, the mid-lot corner and along with current and future considerations for septic requirements.


**VII. OWNER AFFIDAVIT:**

I do hereby declare the above statements are true and that I, the owner, and/or my duly appointed representative will be at the scheduled hearing. I, also, understand that I am asking for a variance based on the Zoning Code only and not on any or all covenants that are on the subject property. **\*Note, this application must be signed by the owner of the property before a notary. The original application shall be submitted, no copies shall be accepted\***

 02/13/2023  
Owner Signature/Date

\_\_\_\_\_  
Representing Agent (if any)/date

Given under my hand and seal  
this 13<sup>th</sup> day of FEBRUARY, 2023.

  
Notary Public  
My commission expires 24<sup>th</sup>  
day of MARCH, 2026.

